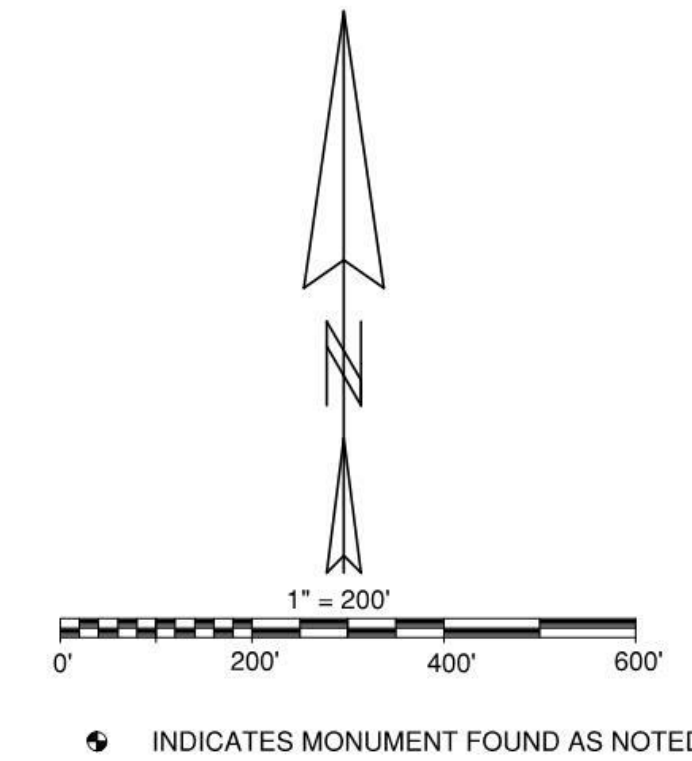
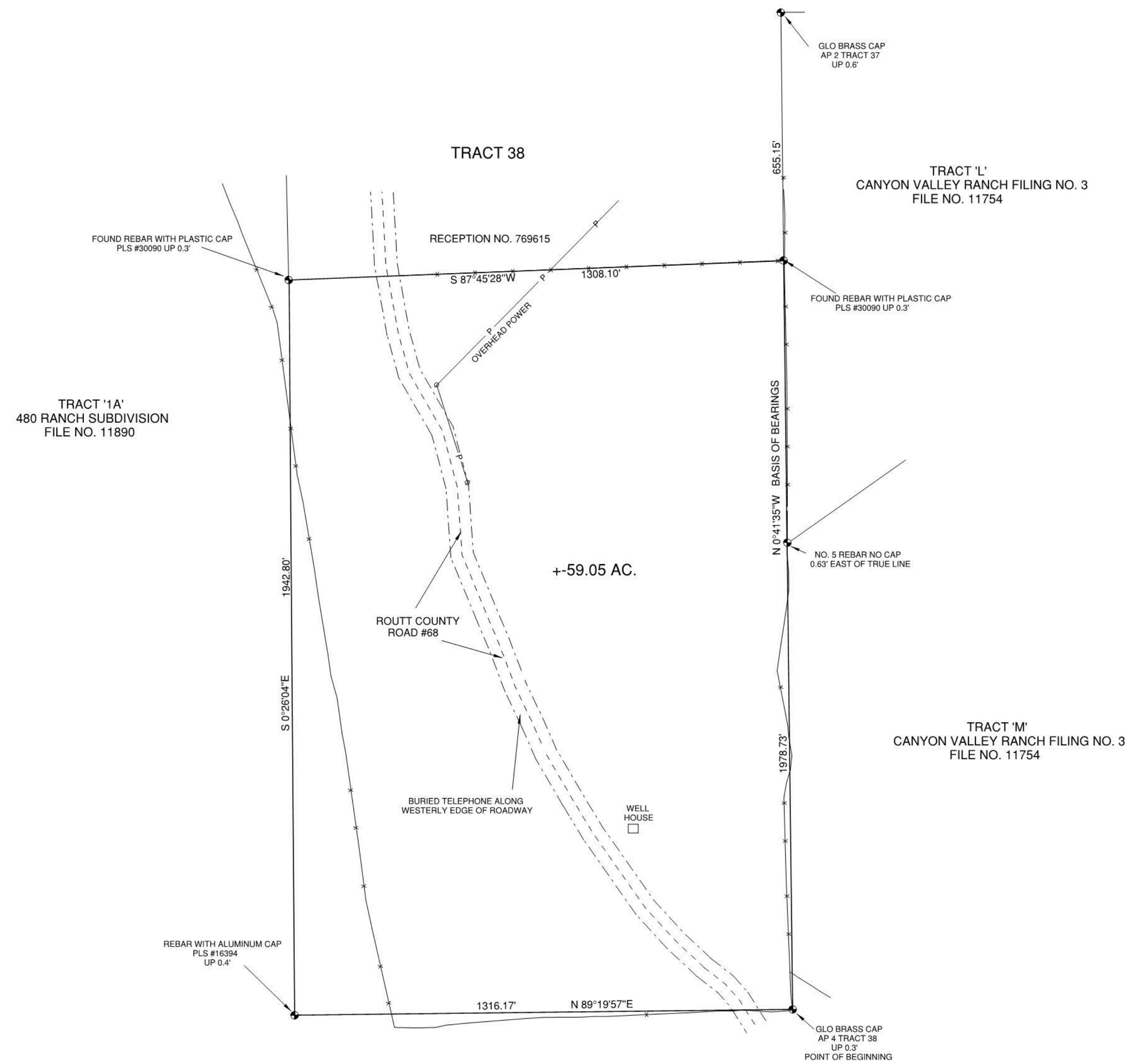






# IMPROVEMENT SURVEY PLAT

## PORTIONS OF TRACT 38, SECTION 1 T6N R87W, 6th P.M., ROUTT COUNTY, COLORADO



**NOTES:**

1. THE HISTORIC LEGAL DESCRIPTION AS NOTED IN THE TITLE COMMITMENT IS PER ORIGINAL SECTIONS, THE GOVERNMENT RESURVEY DESIGNATED PORTIONS OF IT AS TRACT 38, WHICH IS THE BASIS OF THE SHOWN LEGAL DESCRIPTION.
2. BEARINGS BASED ON THE INDICATED PORTION OF THE EAST LINE OF TRACT 38.
3. ALL MEASUREMENTS, U.S. SURVEY FEET.

**HISTORIC LEGAL DESCRIPTION**

THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 87 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ROUTT, STATE OF COLORADO,

EXCEPT THOSE PORTIONS CONVEYED IN THE DEEDS RECORDED AUGUST 3, 2007 UNDER RECEPTION NO. 661784 AND JUNE 23, 2016 UNDER RECEPTION NO. 769615.

**LEGAL DESCRIPTION**

A tract of land located in Tract 38 (E1/2 W1/2 Original Survey), Section 1, T6N R87W, 6th P.M., Routt County, Colorado, being more particularly described as follows:  
 BEGINNING at the GLO Brass Cap at AP 3 Tract 38 thence N 0°41'35" W along the West line of Tracts 'L' and 'M', of CANYON VALLEY RANCH, Filing No. 3 recorded at File No. 11754 records of Routt County, and on the East line of said Tract 38 a distance of 1978.73 feet to the Southeast Corner of that parcel of land of record at Reception No. 769615; thence S 87°45'28" W along the South line of said parcel a distance of 1308.10 feet, to a point on the West line of said Tract 38 and on the East line of Tract 'A', 480 RANCH SUBDIVISION, recorded at File No. 11890; thence S 0°26'04" E along said lines a distance of 1942.80 feet, to an Aluminum Cap PLS #16394 at AP 3 of Tract 38; thence N 89°19'57" E along the South line of Tract 38 a distance of 1316.17 to the POINT OF BEGINNING, containing 59.05 Acres, more or less.

Subject to the traverse and Right-of-Way of Routt County Road No. 68 and any other restrictions or encumbrances of record.

Basis of Bearings - The monumented portion of the East line of Tract 38 defined by GLO Brass Caps at AP 4, Tract 38 and AP 2, Tract 37 - S00°41'35"E

**CERTIFICATE OF SURVEY**

I, GORDON R. DOWLING, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE HEREON SHOWN IMPROVEMENT SURVEY AND PLAT THAT IT REPRESENTS WAS PERFORMED AND PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT BOTH ARE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE, MONUMENTS WERE SET OR FOUND AS INDICATED.

**NOTICE OF RESEARCH**  
 Pursuant to C.R.S. § 38-51-105 (1) (b) (i), research regarding the Rights-of-Way and easements as shown hereon was obtained by Title Commitment No. R30027046-7, as prepared by LAND TITLE GUARANTEE COMPANY as of August 6, 2021, and not from the personal search of Gordon R. Dowling, a Professional Land Surveyor in the State of Colorado.

**NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BE COMMENCED MORE THEN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.**

**ROUTT COUNTY SURVEYOR'S ACCEPTANCE**

This plat was filed and indexed as File No. SP \_\_\_\_\_ on \_\_\_\_\_, 2023, at \_\_\_\_\_ m in the land survey plat records file and index system maintained in the office of the Routt County Clerk and Recorder pursuant to C.R.S. 38-50-101.

Routt County Surveyor

By: \_\_\_\_\_  
 Thomas H. Effinger, Jr. PLS #17651

|   |     |         |     |          |  |
|---|-----|---------|-----|----------|--|
| WILLIAM & JODI UHL                        |     |         |     |          | IMPROVEMENT SURVEY<br>PLAT   |
| TRACT 38<br>SECTION 1, T6N R87W, 6th P.M. |     |         |     |          |  |
| ROUTT COUNTY, COLORADO                    |     |         |     |          | DOWLING<br>LAND SURVEYORS<br>P.O. BOX 954<br>HAYDEN, CO. 81639<br>(970) 276-3613<br>FAX 276-4595 |
| SCALE                                     | DWG | DATE    | REV | FILE     |  |
| 1" = 200'                                 | GRD | 6/26/23 |     | FOXUHL02 |  |
|   |     |         |     |          |  |



























**OWNER / GENERAL CONTRACTOR:**  
 Bill Uhl  
 626 Franklin Street  
 Denver, CO 80218  
 303-945-6920  
 bill@orangewiresystems.com

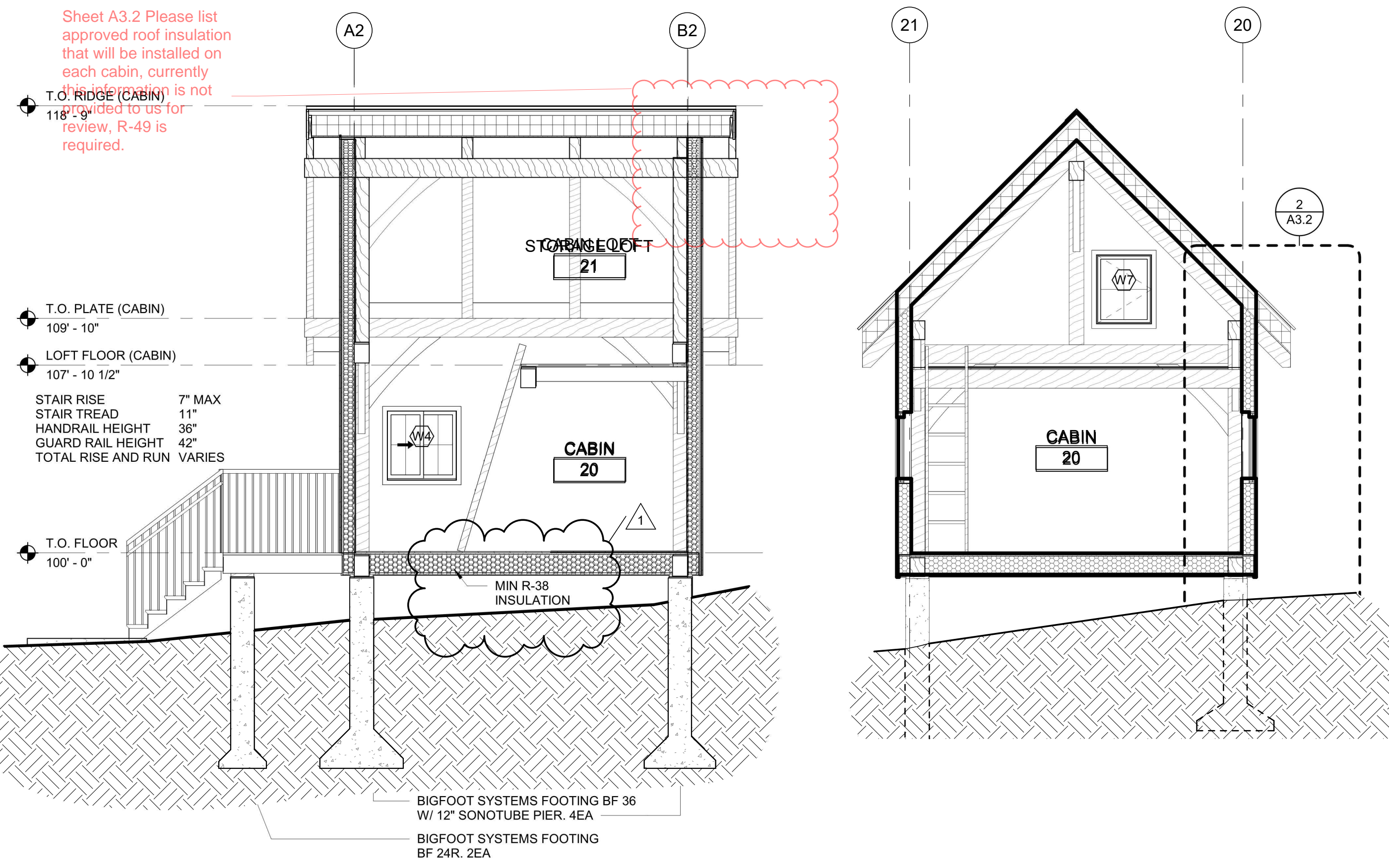
**ARCHITECT:**  
 Kenny Davis  
 Studio QUAD  
 5690 Webster St  
 Arvada CO 80002  
 303-960-5813  
 kenny.davis@studioquad.com

**SEPTIC:**  
 Jonathan Batson, P.E.  
 Cimarron Engineering  
 PO Box 1421  
 Ridgeway CO 81432  
 970-318-6026  
 jonathanbatsoneng@gmail.com

**STRUCTURAL (FOUNDATION):**  
 Jonathan Batson, P.E.  
 Cimarron Engineering  
 PO Box 1421  
 Ridgeway CO 81432  
 970-318-6026  
 jonathanbatsoneng@gmail.com

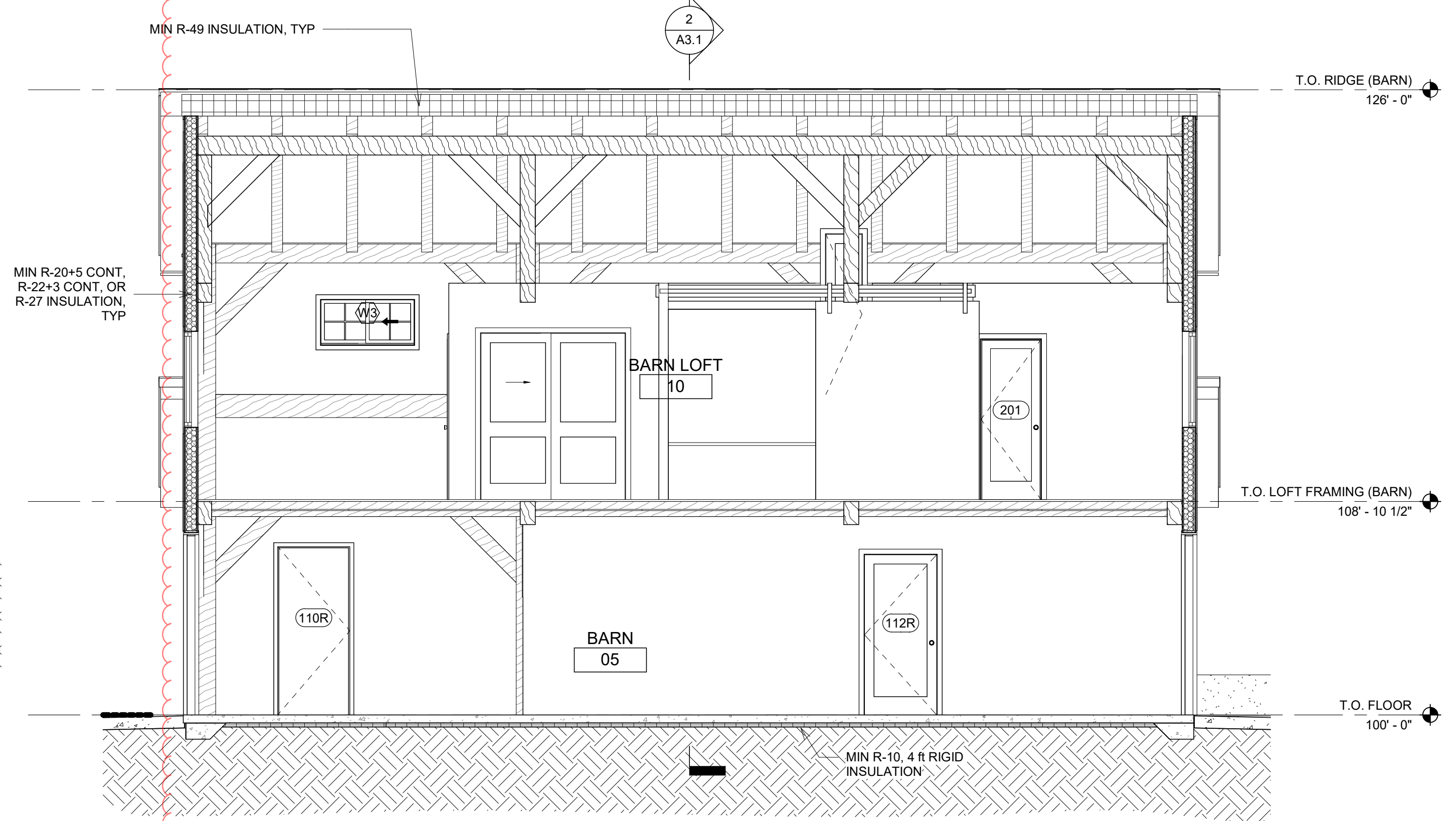
**STRUCTURAL (TIMBER):**  
 Chris Miller  
 Timberframe Headquarters  
 PO Box 133  
 Mountain Rest, SC 29664  
 888-552-9379 +102  
 projects@timberframehq.com

Sheet A3.2 barn wall and eave drawings. Were missing R-Values for all products in foundation, underslab, walls and roof, please add R-values.

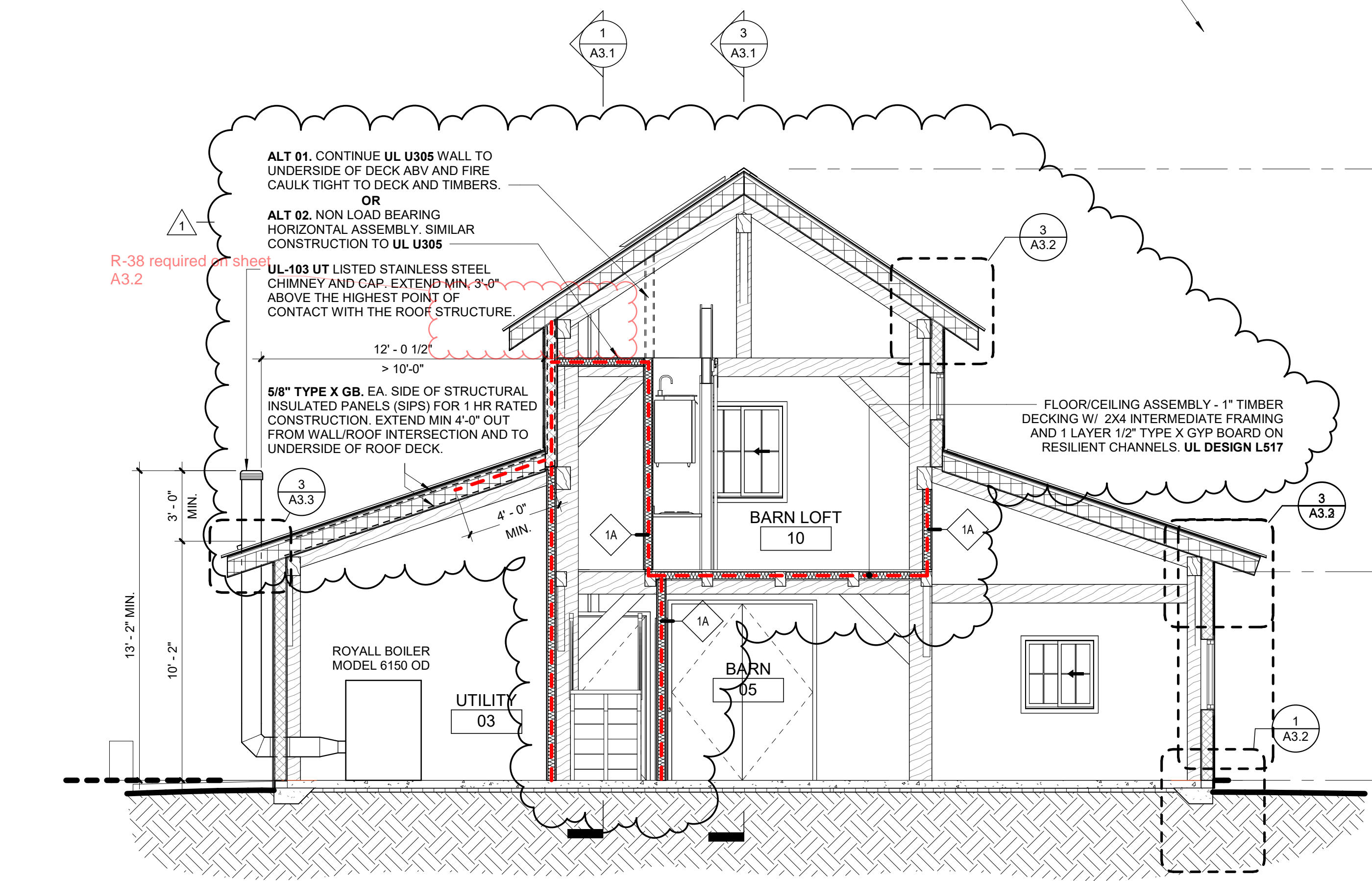


5 CABIN SECTION 2  
 A3.1 1/4" = 1'-0"

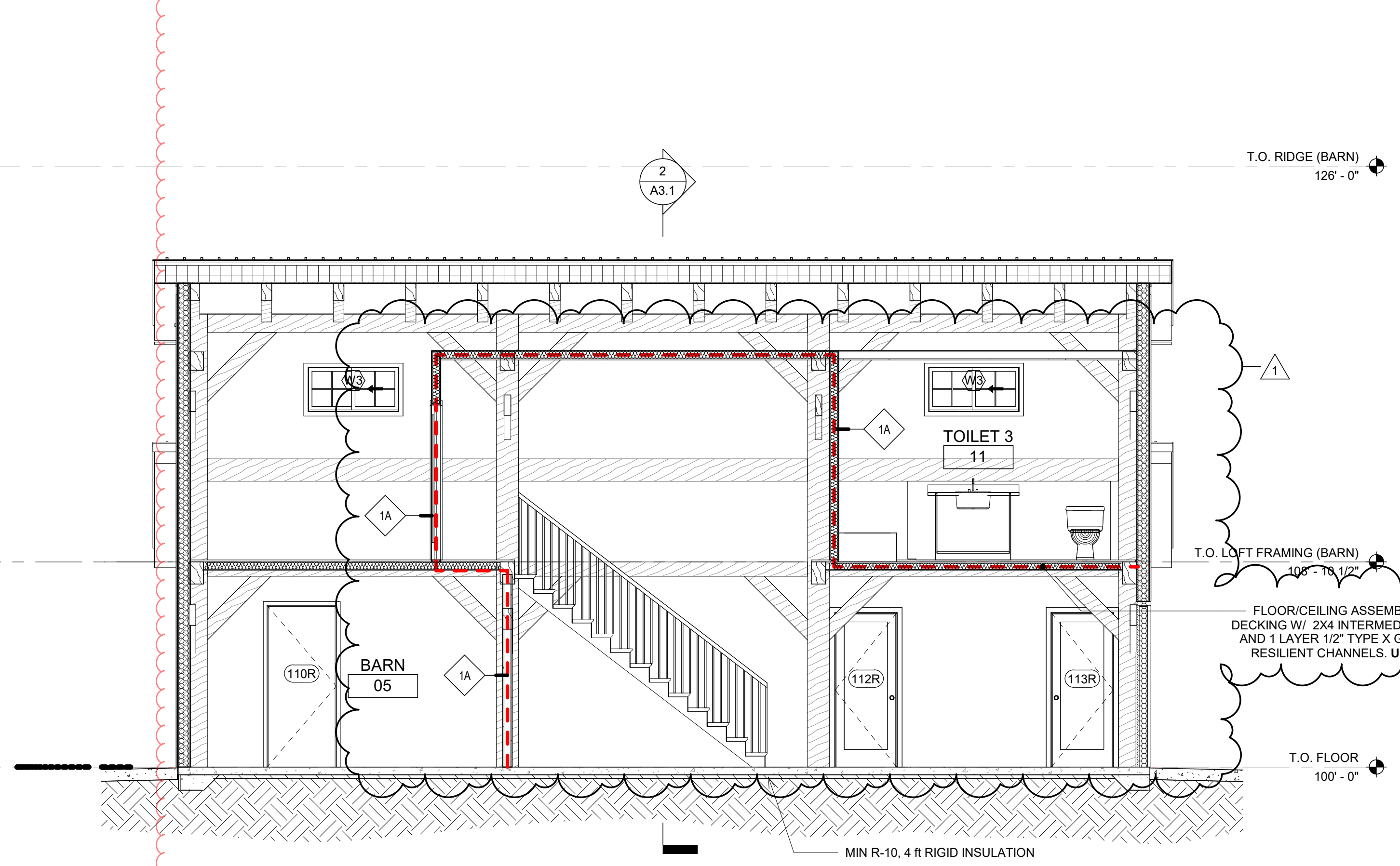
4 CABIN SECTION 1  
 A3.1 1/4" = 1'-0"



3 BARN SECT. S-N  
 A3.1 1/4" = 1'-0"



2 BARN SECT. W-E  
 A3.1 1/4" = 1'-0"



1 BARN SECT. N-S  
 A3.1 1/4" = 1'-0"

**UHL**



**UHL BARN AND CABINS**

40343 COUNTY RD 68,  
 STEAMBOAT SPRINGS, CO 80487

PROJECT No: 22019

| NO. | ISSUE/REVISION-NAME        | DATE    |
|-----|----------------------------|---------|
| 0.0 | PERMIT SET                 | 5/24/23 |
| 1.0 | PERMIT SET COUNTY COMMENTS | 7/23/23 |

BARN AND CABINS SECTIONS

**A3.1**

P:\2022\_P\Projects\22019\_Uhl Cabins\BARN AND CABIN LINKED\2023-06-29 - UHL BARN - CABIN County Comments  
 L:\UHL\BY: Author\CHECKED BY: Checker  
 7/23/2023 2:40:42 PM

Sheet A3.2 Please list approved roof insulation that will be installed on each cabin, currently this information is not provided to us for review, R-49 is required.

T.O. RIDGE (CABIN)  
 118' - 0"

T.O. PLATE (CABIN)  
 109' - 10"

LOFT FLOOR (CABIN)  
 107' - 10 1/2"

STAIR RISE 7" MAX  
 STAIR TREAD 11"  
 HANDRAIL HEIGHT 36"  
 GUARD RAIL HEIGHT 42"  
 TOTAL RISE AND RUN VARIES

T.O. FLOOR  
 100' - 0"

T.O. RIDGE (BARN)  
 126' - 0"

T.O. LOFT FRAMING (BARN)  
 108' - 10 1/2"

T.O. FLOOR  
 100' - 0"

T.O. RIDGE (BARN)  
 126' - 0"

T.O. LOFT FRAMING (BARN)  
 108' - 10 1/2"

T.O. FLOOR  
 100' - 0"











