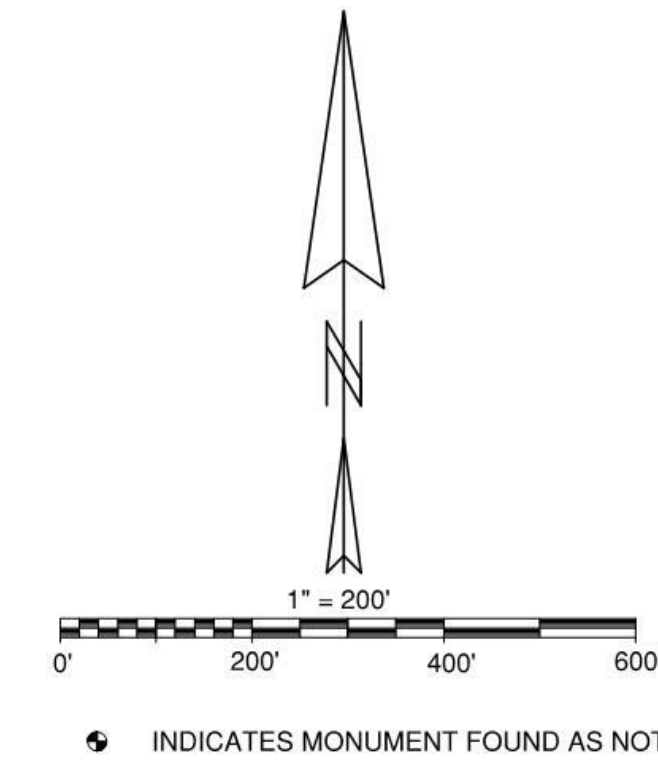
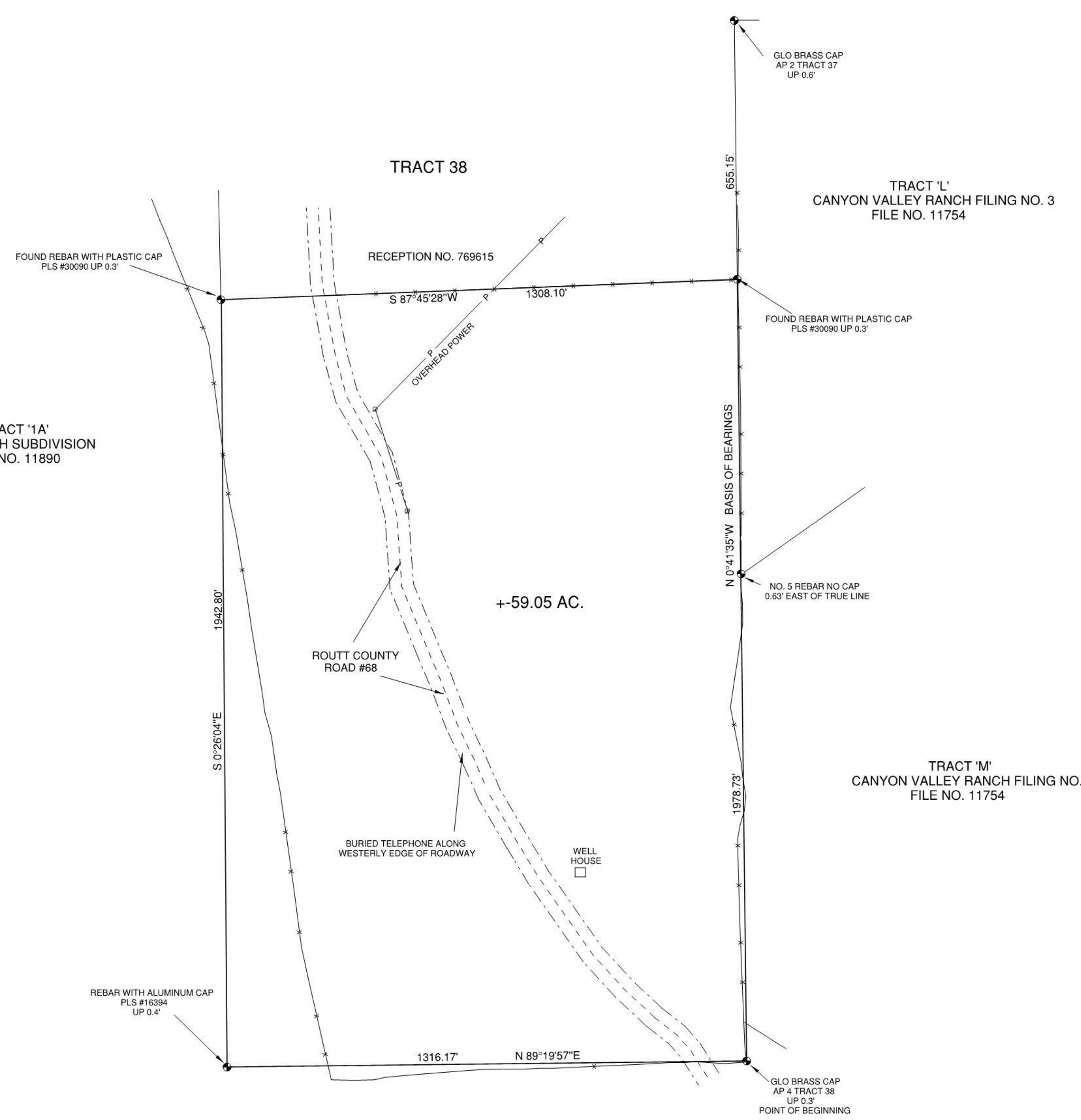


IMPROVEMENT SURVEY PLAT

PORTIONS OF TRACT 38, SECTION 1

T6N R87W, 6th P.M., ROUTT COUNTY, COLORADO



NOTES:

1. THE HISTORIC LEGAL DESCRIPTION AS NOTED IN THE TITLE COMMITMENT IS PER ORIGINAL SECTIONS, THE GOVERNMENT RESURVEY DESIGNATED PORTIONS OF IT AS TRACT 38, WHICH IS THE BASIS OF THE SHOWN LEGAL DESCRIPTION.
2. BEARINGS BASED ON THE INDICATED PORTION OF THE EAST LINE OF TRACT 38.
3. ALL MEASUREMENTS, U.S. SURVEY FEET.

HISTORIC LEGAL DESCRIPTION
THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 87 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ROUTT, STATE OF COLORADO,

EXCEPT THOSE PORTIONS CONVEYED IN THE DEEDS RECORDED AUGUST 3, 2007 UNDER RECEPTION NO. 661784 AND JUNE 23, 2016 UNDER RECEPTION NO. 769615.

LEGAL DESCRIPTION

A tract of land located in Tract 38 (E1/2 W1/2 Original Survey), Section 1, T6N R87W, 6th P.M., Routt County, Colorado, being more particularly described as follows:
BEGINNING at the GLO Brass Cap at AP 3 Tract 38 thence N 0°41'35" W along the West line of Tracts 'L' and 'M', of CANYON VALLEY RANCH, Filing No. 3 recorded at File No. 11754 records of Routt County, and on the East line of said Tract 38 a distance of 1978.73 feet to the Southeast Corner of that parcel of land of record at Reception No. 769615; thence S 87°45'28" W along the South line of said parcel a distance of 1308.10 feet, to a point on the West line of said Tract 38 and on the East line of Tract 'A', 480 RANCH SUBDIVISION, recorded at File No. 11890; thence S 0°26'04" E along said lines a distance of 1942.80 feet, to an Aluminum Cap PLS #16394 at AP 3 of Tract 38; thence N 89°19'57" E along the South line of Tract 38 a distance of 1316.17 to the POINT OF BEGINNING, containing 59.05 Acres, more or less.

Subject to the traverse and Right-of-Way of Routt County Road No. 68 and any other restrictions or encumbrances of record.

Basis of Bearings - The monumented portion of the East line of Tract 38 defined by GLO Brass Caps at AP 4, Tract 38 and AP 2, Tract 37 - S00°41'35"E

CERTIFICATE OF SURVEY
I, GORDON R. DOWLING, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE HEREON SHOWN IMPROVEMENT SURVEY AND PLAT THAT IT REPRESENTS WAS PERFORMED AND PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT BOTH ARE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE, MONUMENTS WERE SET OR FOUND AS INDICATED.

ROUTT COUNTY SURVEYOR'S ACCEPTANCE
This plat was filed and indexed as File No. SP _____ on _____, 2023, at _____ m in the land survey plat records file and index system maintained in the office of the Routt County Clerk and Recorder pursuant to C.R.S. 38-50-101.

Routt County Surveyor
By: Thomas H. Effinger, Jr. PLS #17651

NOTICE OF RESEARCH
Pursuant to C.R.S. 38-51-105 (1) (b) (i), research regarding the Rights-of-Way and easements as shown hereon was obtained by Title Commitment No. R30027046-7, as prepared by LAND TITLE GUARANTEE COMPANY as of August 6, 2021, and not from the personal search of Gordon R. Dowling, a Professional Land Surveyor in the State of Colorado.

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BE COMMENCED MORE THEN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

WILLIAM & JODI UHL		IMPROVEMENT SURVEY PLAT		
TRACT 38 SECTION 1, T6N R87W, 6th P.M.				
ROUTT COUNTY, COLORADO		DOWLING LAND SURVEYORS P.O. BOX 954 HAYDEN, CO. 81639 (970) 276-3613 FAX 276-4595		
SCALE	DWG	DATE	REV	FILE
1" = 200'	GRD	6/26/23		FOXUHL32

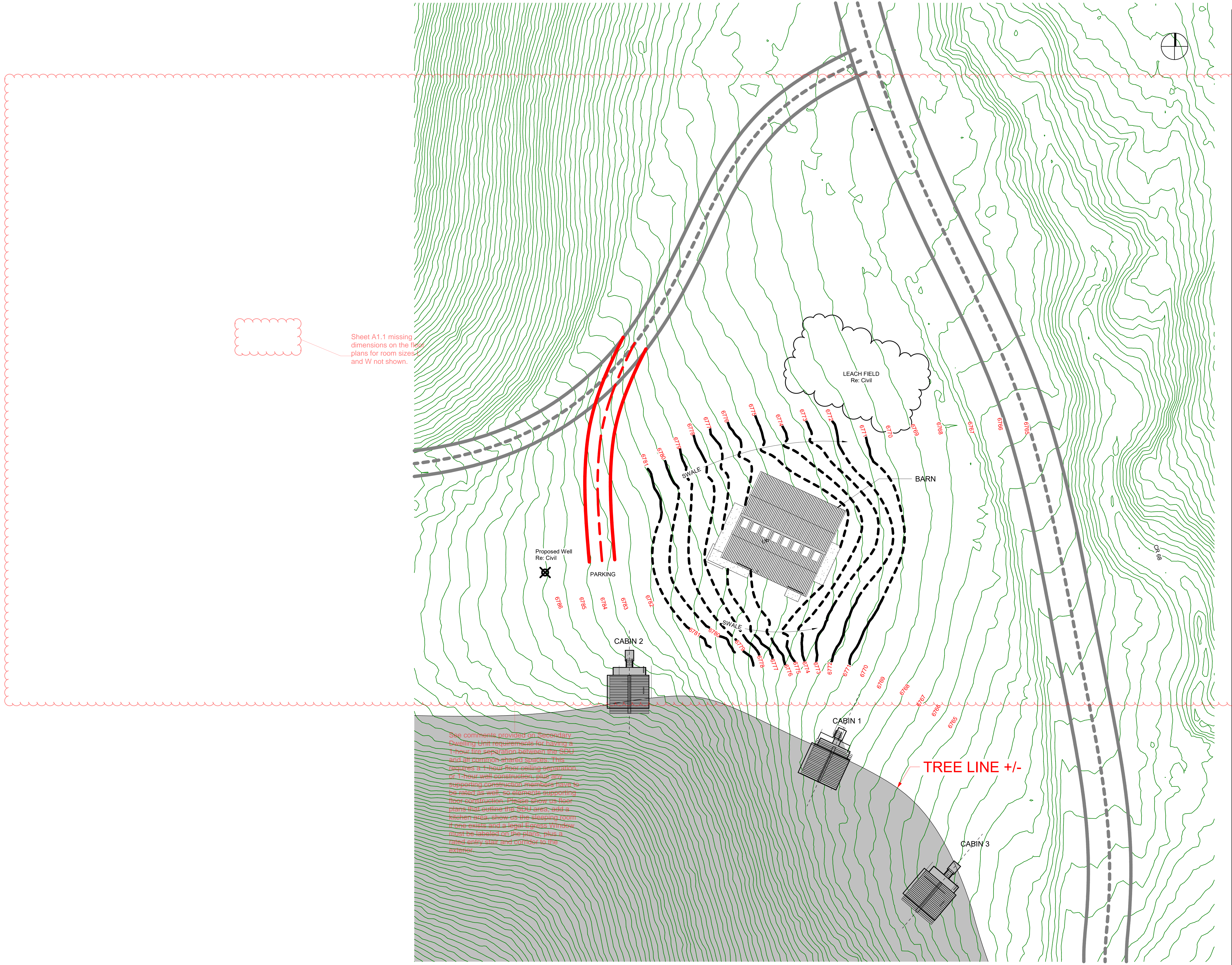
OWNER / GENERAL CONTRACTOR:
 Bill Uhl
 626 Franklin Street
 Denver, CO 80218
 303-945-6920
 bill@orangewiresystems.com

ARCHITECT:
 Kenny Davis
 Studio QUAD
 5690 Webster St
 Arvada CO 80002
 303-960-5813
 kenny.davis@studioquad.com

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 970-318-6026
 jonathanbatsoneng@gmail.com

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STRUCTURAL (TIMBER):
 Chris Miller
 Timberframe Headquarters
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 projects@timberframehq.com



Sheet A1.1 missing dimensions on the floor plans for room sizes L and W not shown.

See comments provided on Secondary Dwelling Unit requirements for having a 1-hour fire separation between the SDU and all common shared spaces. This requires a 1-hour floor ceiling separation of 1-hour wall construction, plus any supporting construction members have to be rated as well. So elements supporting floor construction. Please show us floor plans that outline the SDU area, add a kitchen area, show us the sleeping room if one exists, and a legal Egress Window must be labeled on the plans, plus a rated entry stair and corridor to the exterior.



UHL BARN AND CABINS

40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

PROJECT No: 22019

ISSUES/REVISIONS		
NO.	ISSUE/REVISION-NAME	DATE
0.0	PERMIT SET	5/24/23
1.0	PERMIT SET COUNTY COMMENTS	7/23/23

SITE PLAN

A1.0

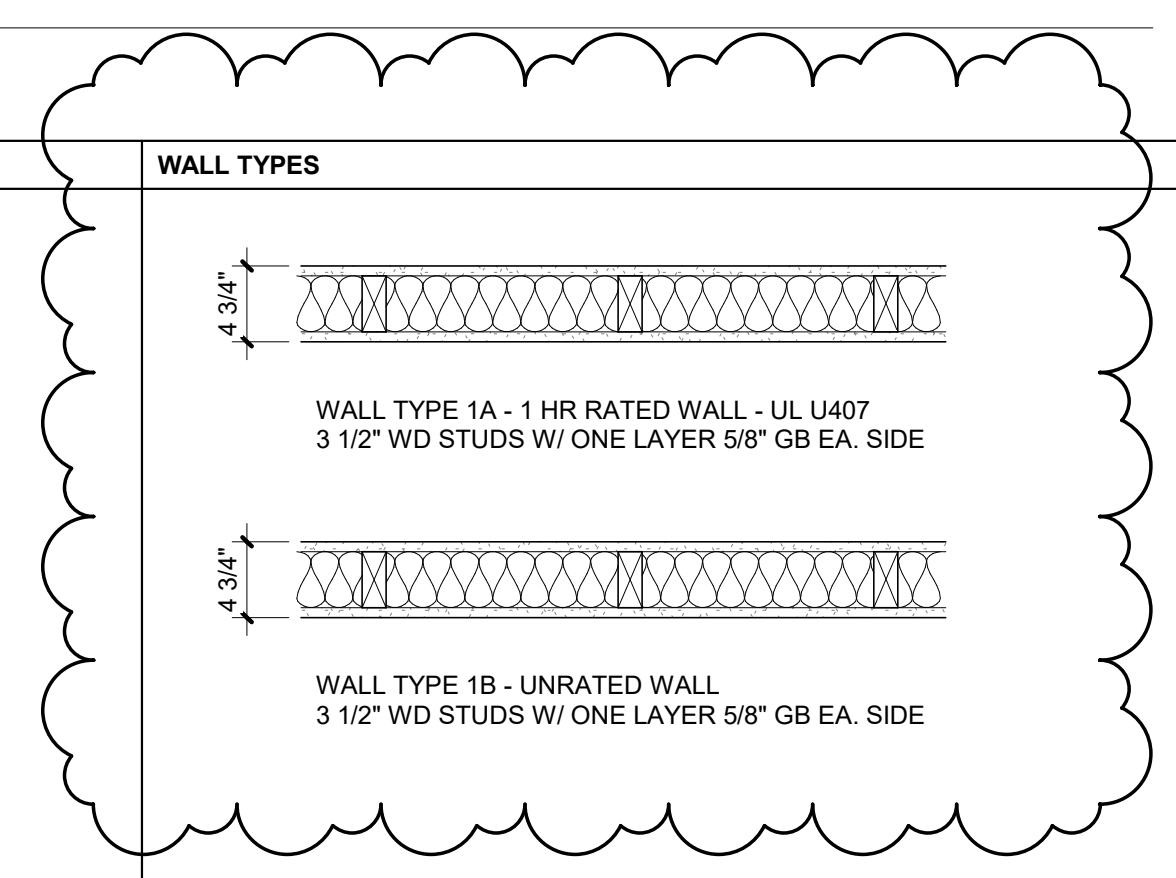
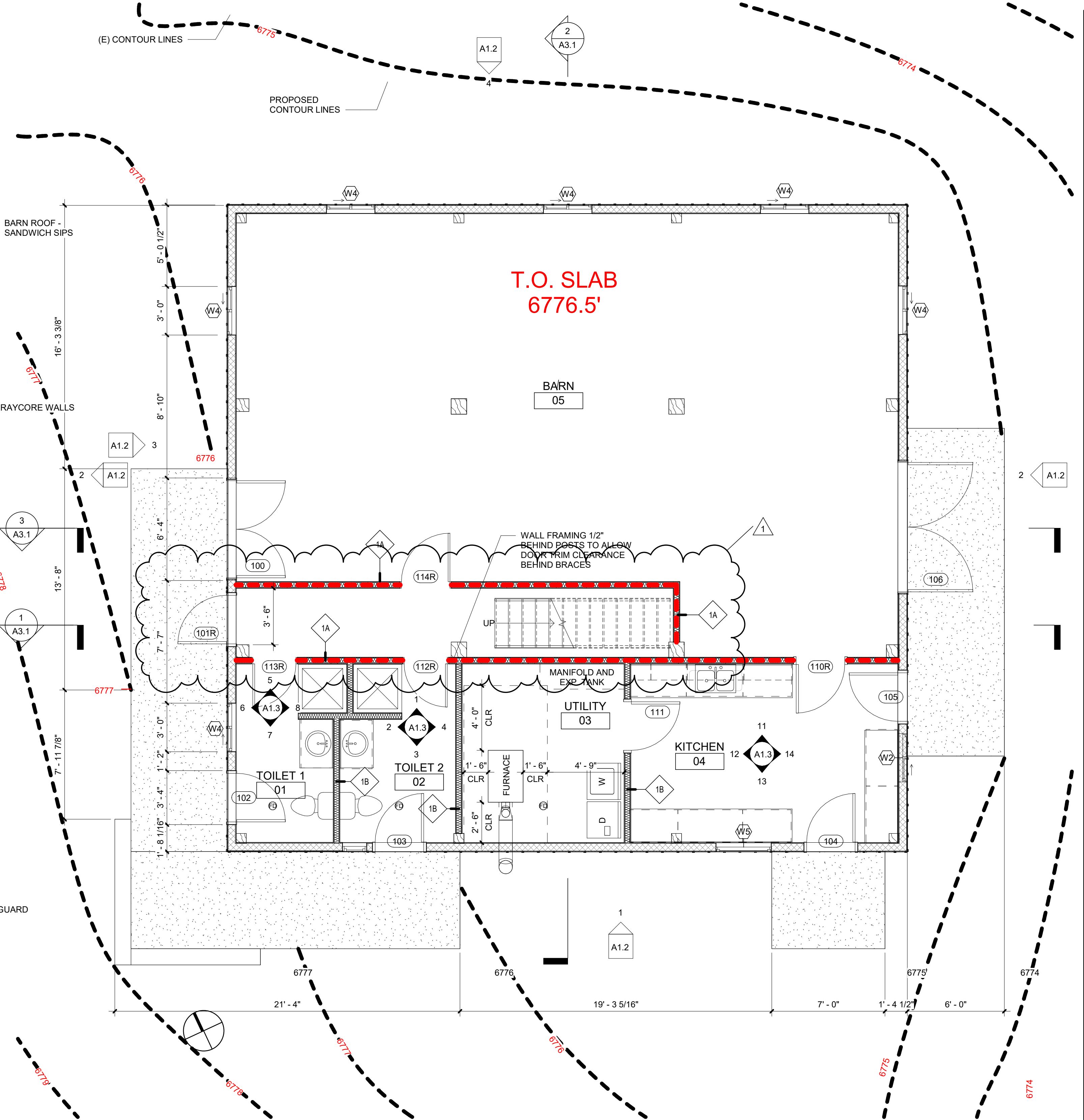
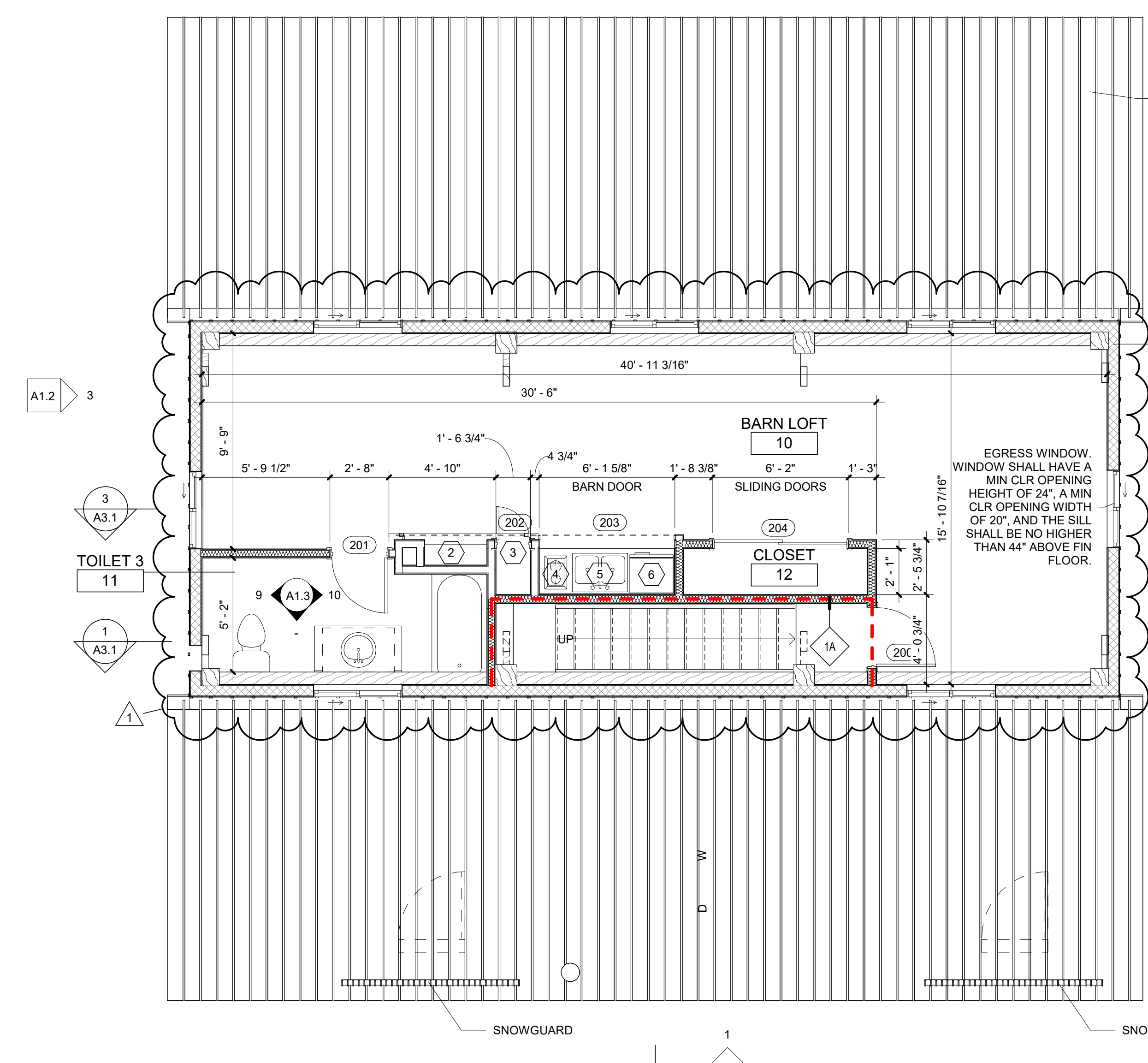
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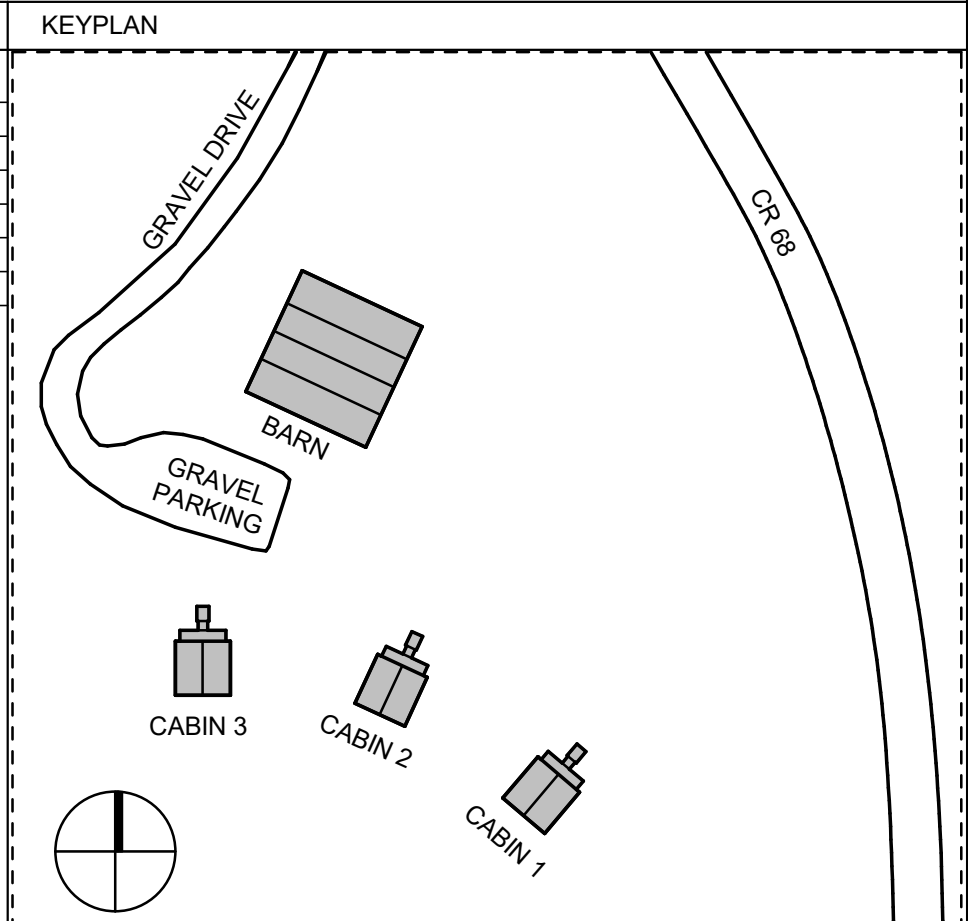
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WORK NOTES

Key Value	Keynote Text
2	OPEN SHELVES
3	CLOSET / PANTRY
4	2 BURNER INDUCTION COOK TOP
5	30" SINK / NO DISPOSAL
6	UNDER COUNTER FRIDGE



UHL
 STATE OF COLORADO
 KENNETH M. DAVIS
 LICENSED ARCHITECT
 203557

UHL BARN AND CABINS

40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

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P:\2022_P\Projects\22019_Uhl Cabins\ID_MODEL\BARN AND CABIN LINKED\2023-06-29 - UHL BARN - CABIN County Comments
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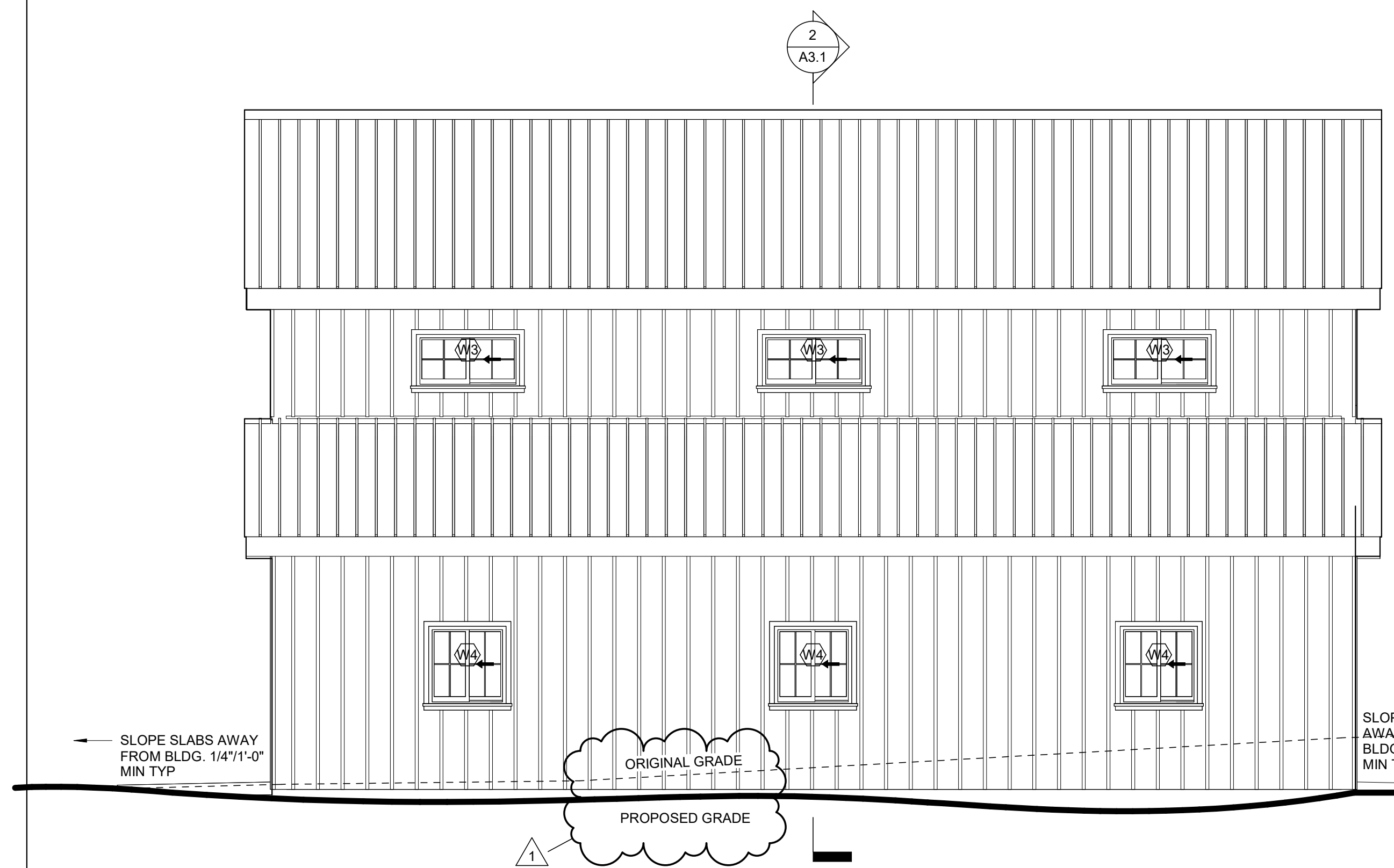
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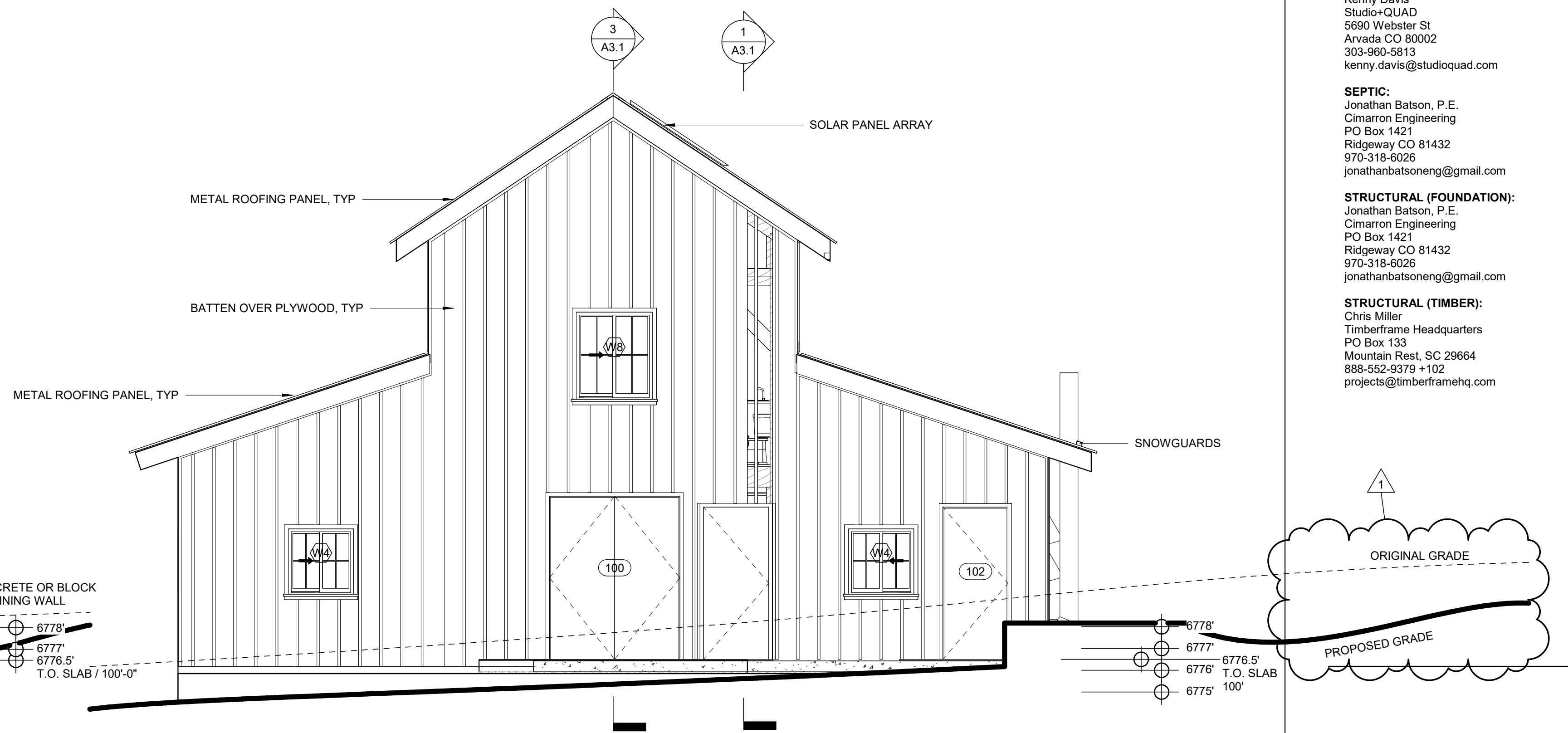
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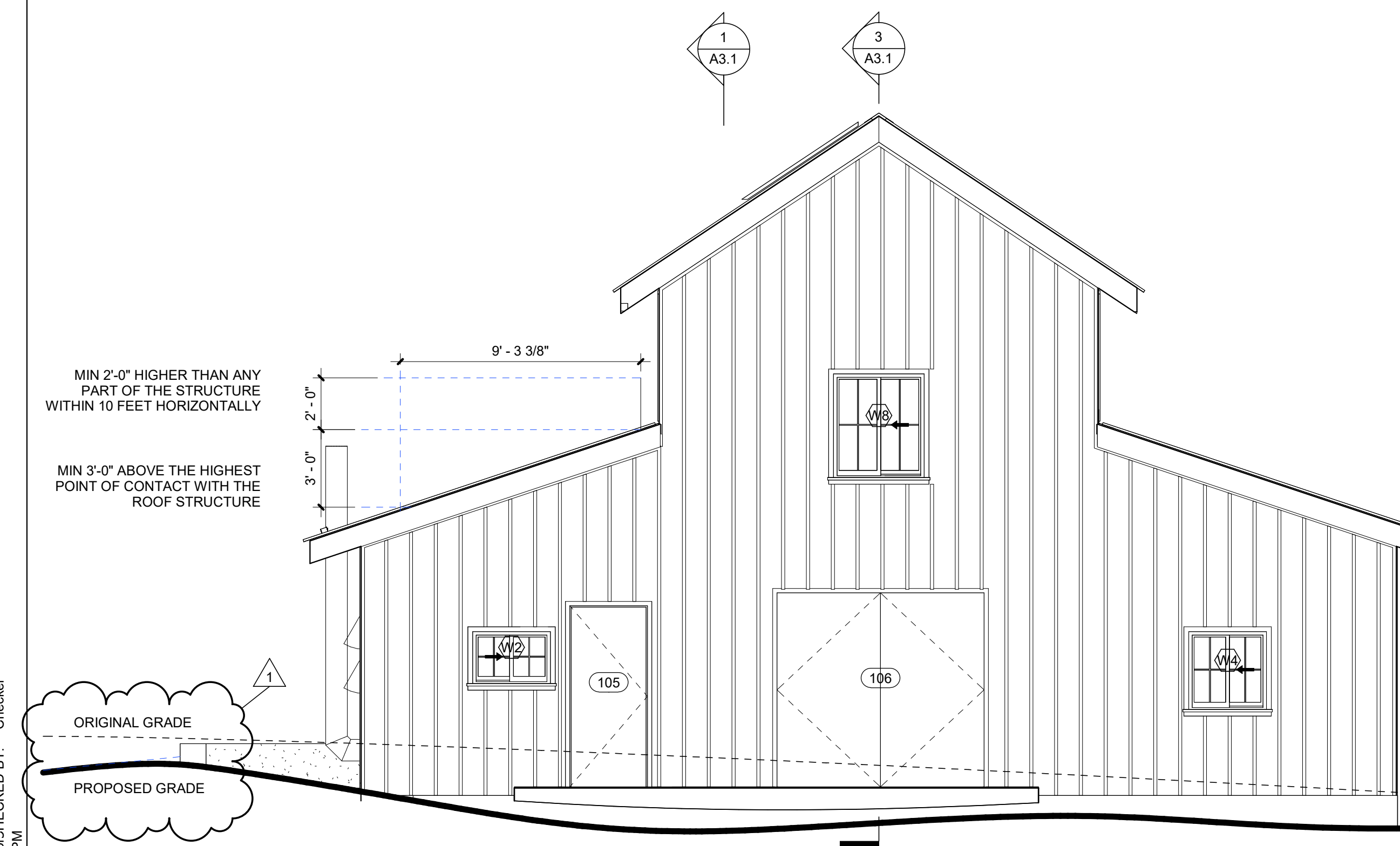
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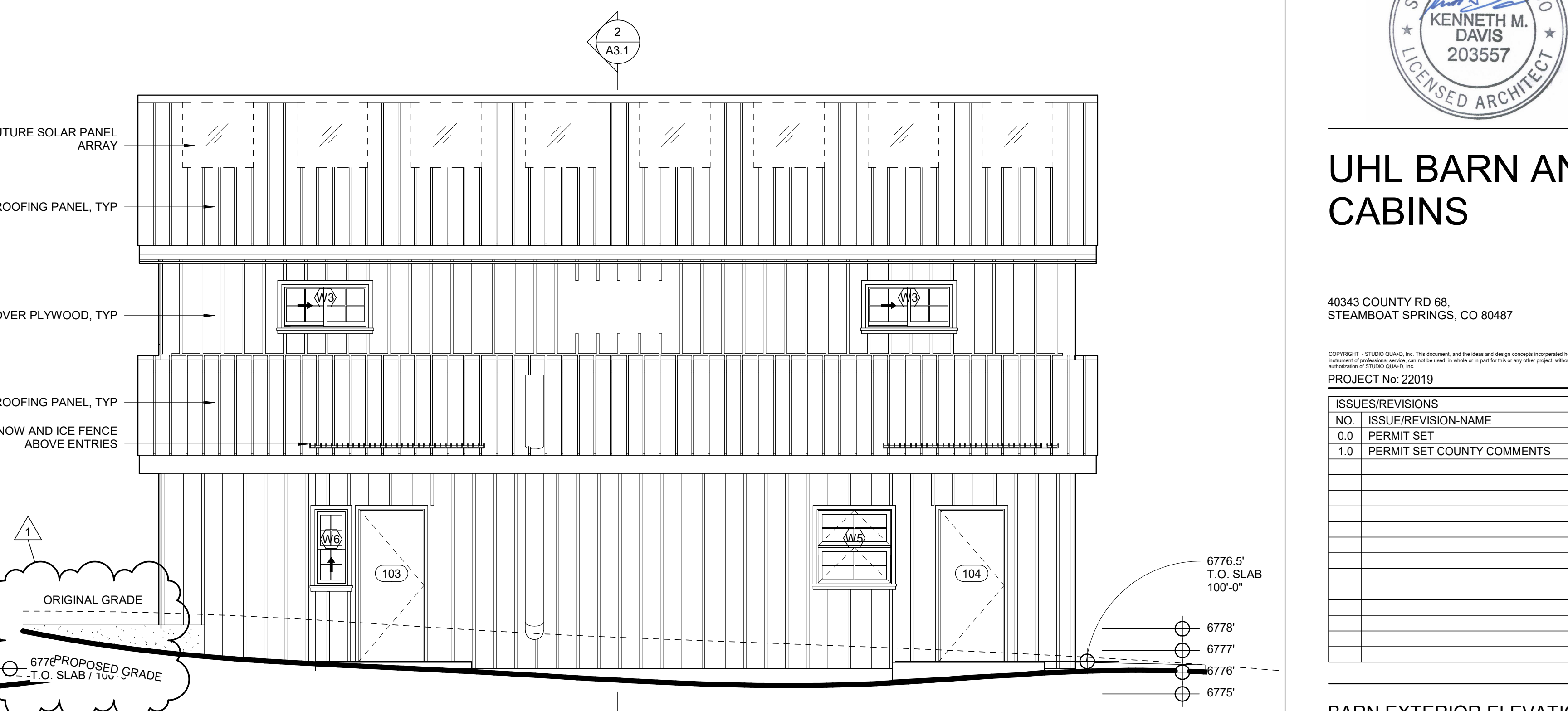
4 BARN NORTH ELEV
 A1.2 1/4" = 1'-0"



3 BARN WEST ELEV
 A1.2 1/4" = 1'-0"



2 BARN EAST ELEV
 A1.2 1/4" = 1'-0"



1 BARN SOUTH ELEV
 A1.2 1/4" = 1'-0"

UHL



UHL BARN AND CABINS

40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

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BARN EXTERIOR ELEVATIONS

A1.2

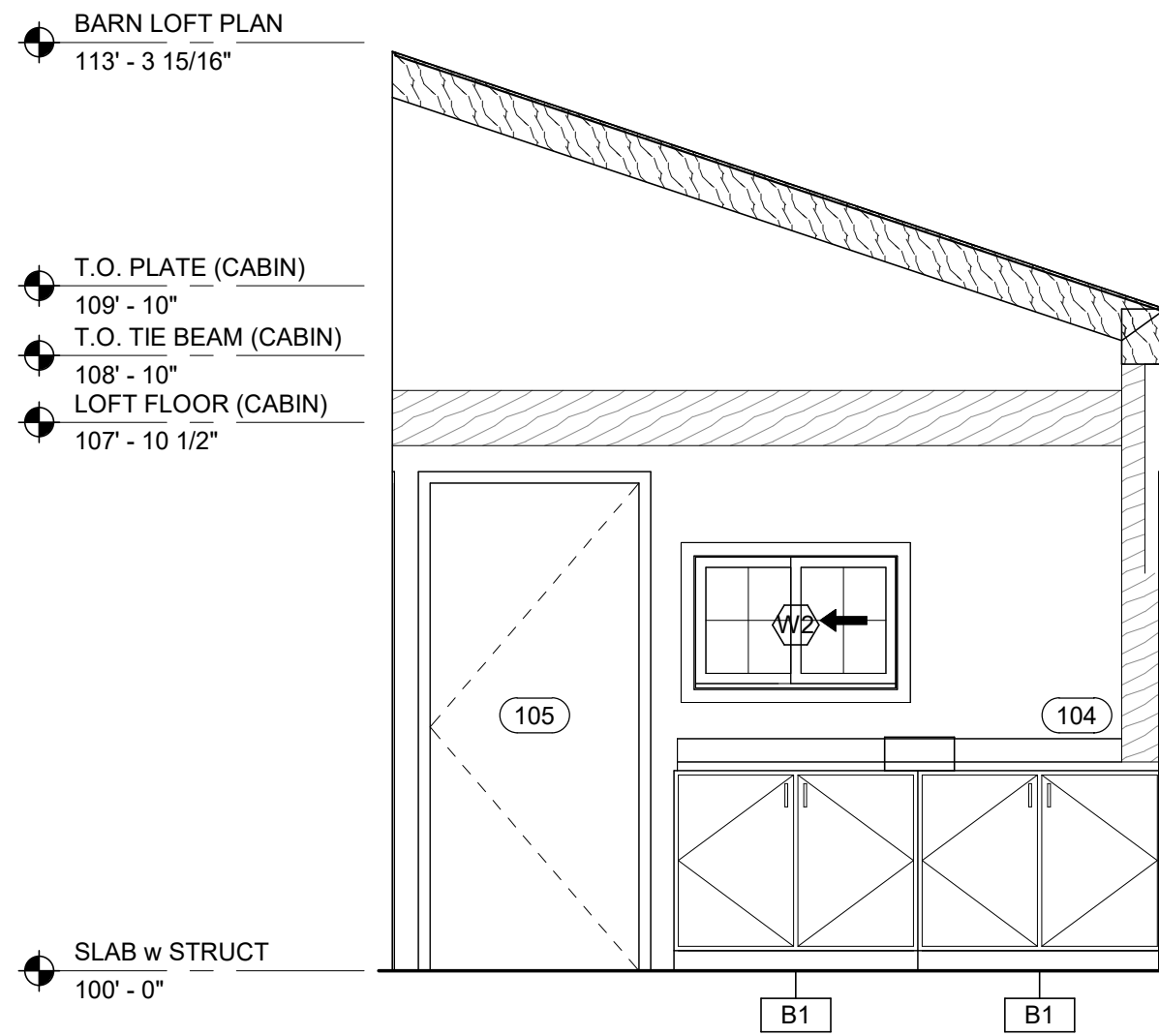
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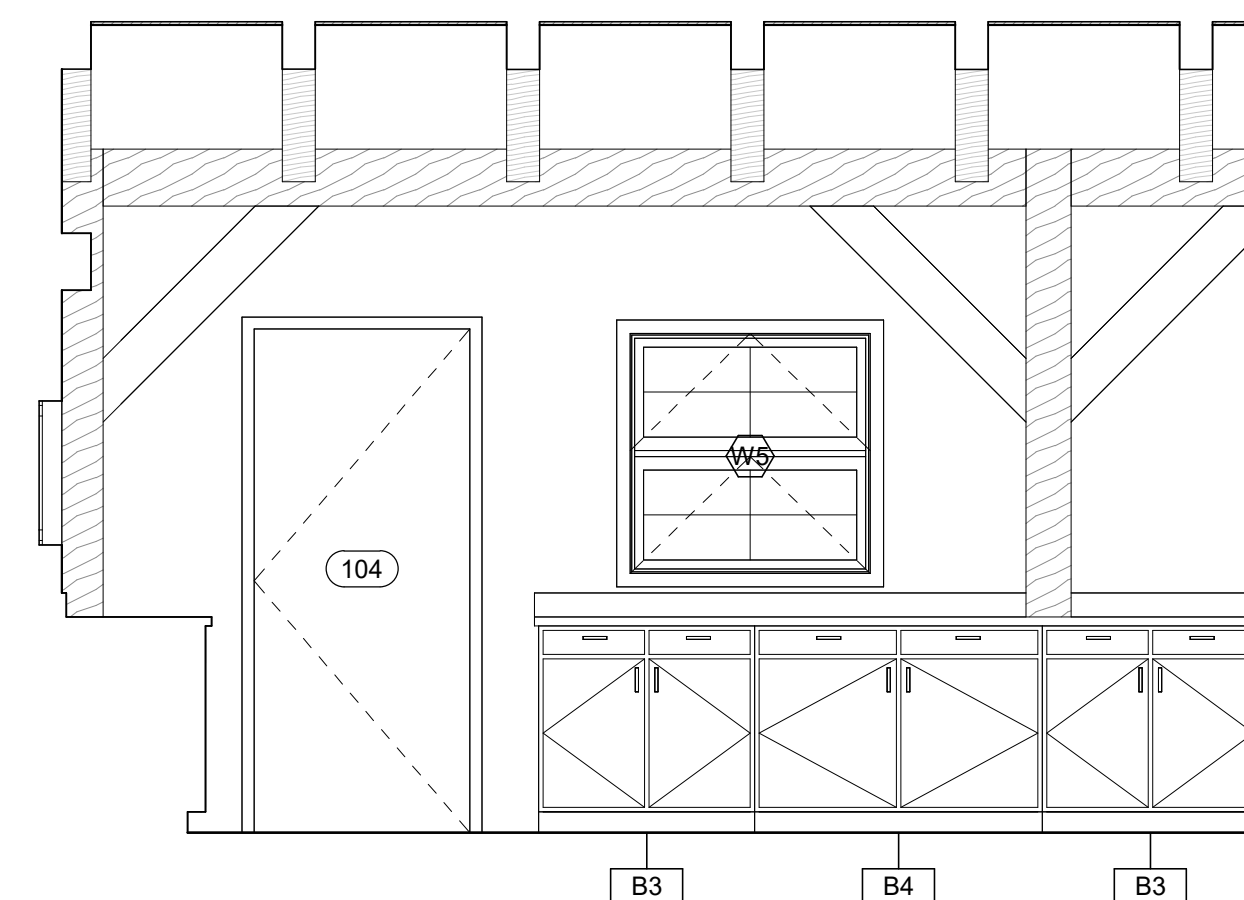
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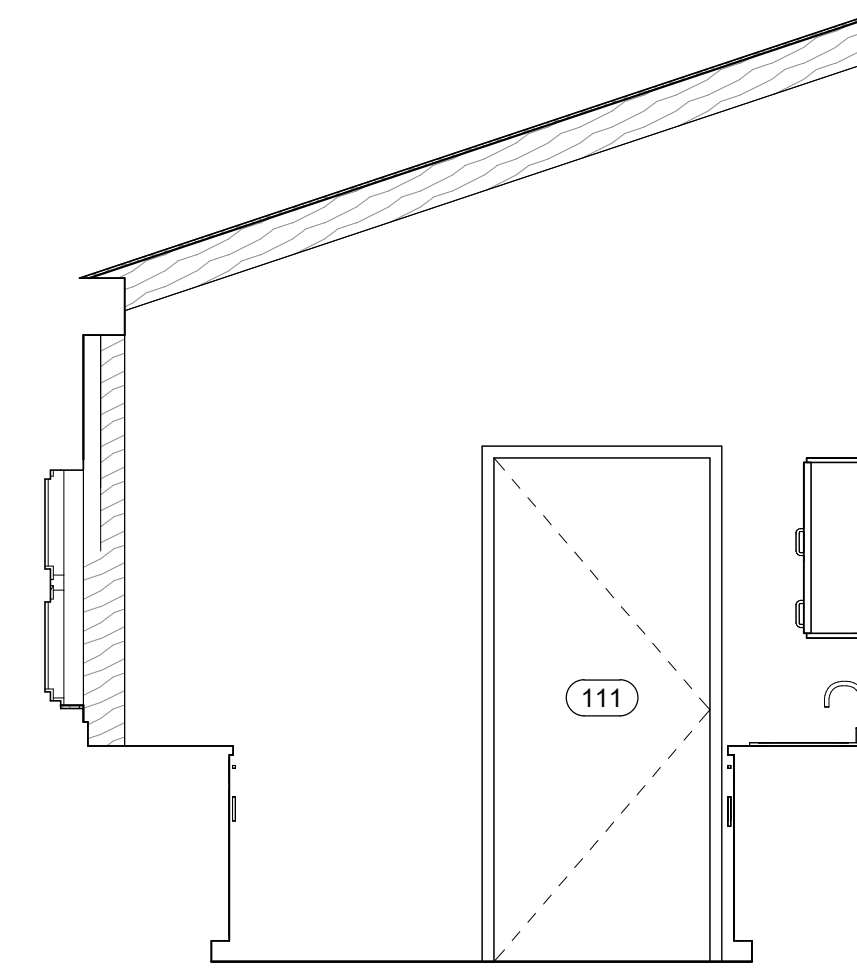
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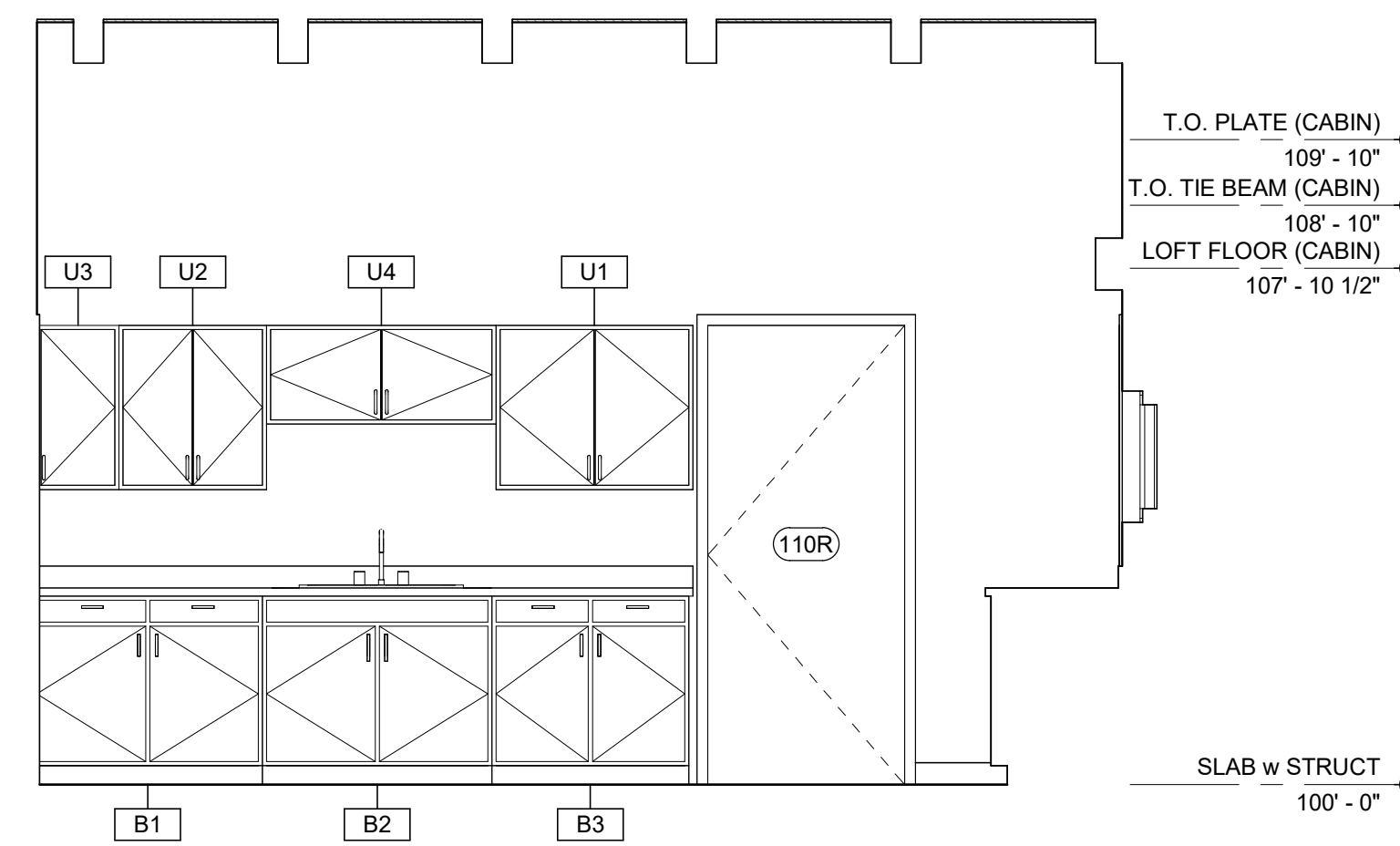
14 KITCHEN EAST ELEV
 A1.3 3/8" = 1'-0"



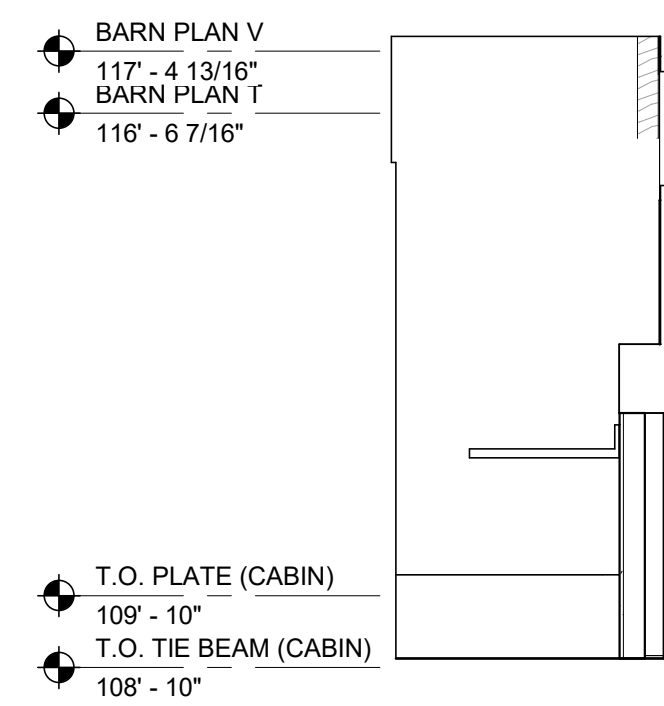
13 KITCHEN SOUTH ELEV
 A1.3 3/8" = 1'-0"



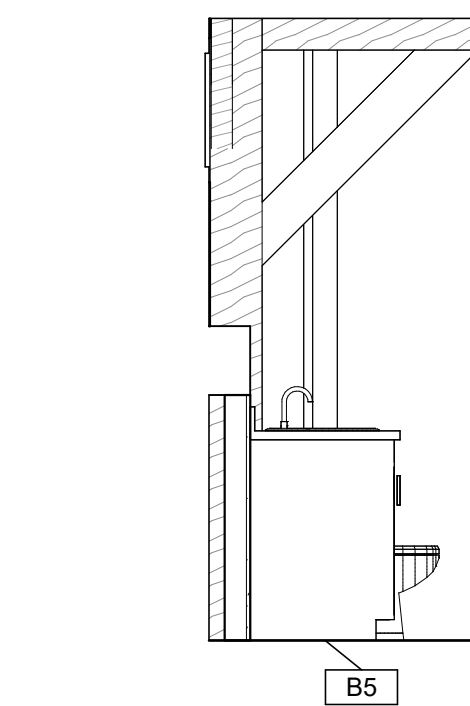
12 KITCHEN WEST ELEV
 A1.3 3/8" = 1'-0"



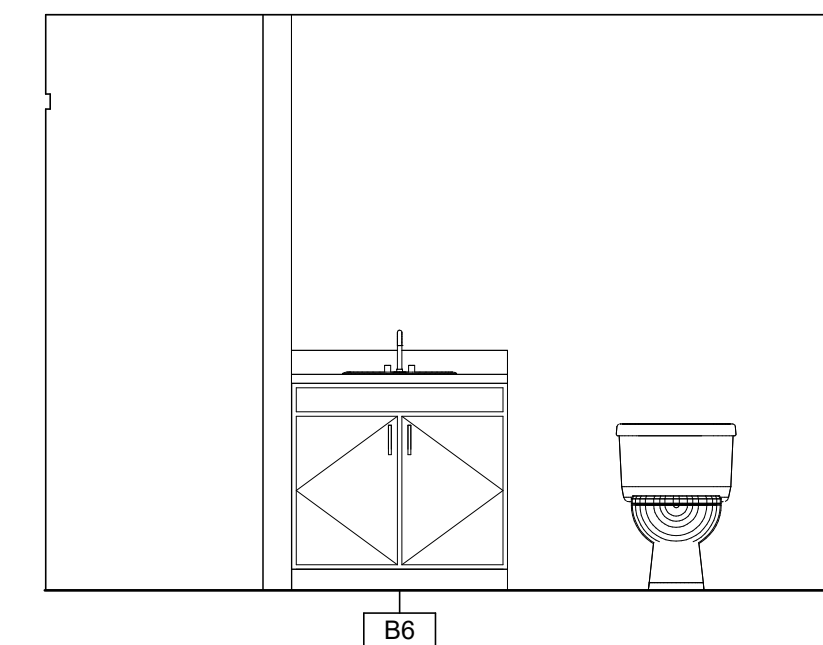
11 KITCHEN NORTH ELEV
 A1.3 3/8" = 1'-0"



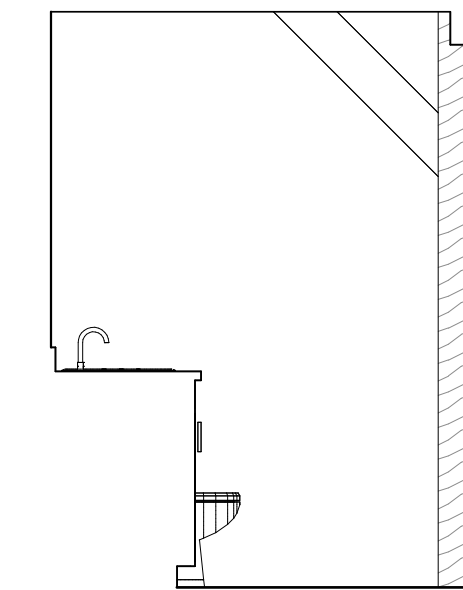
10 TOILET 1 ELEV E
 A1.3 3/8" = 1'-0"



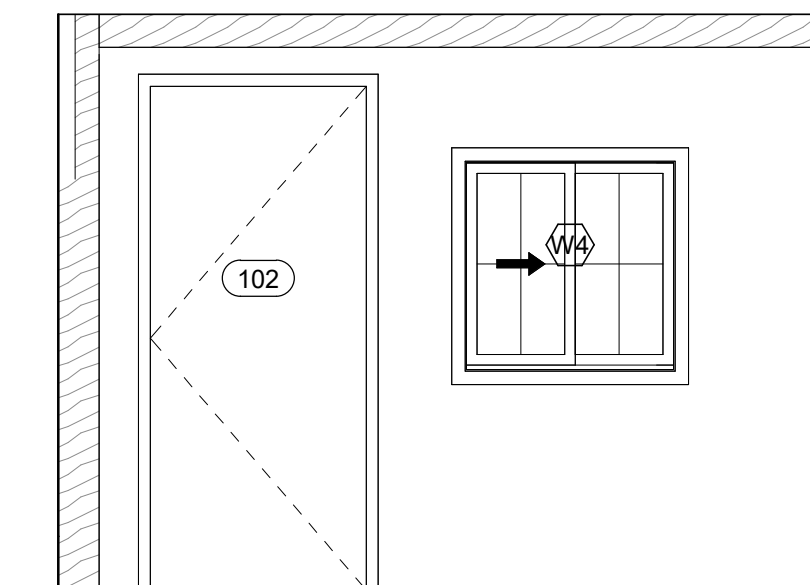
9 TOILET 1 ELEV W
 A1.3 3/8" = 1'-0"



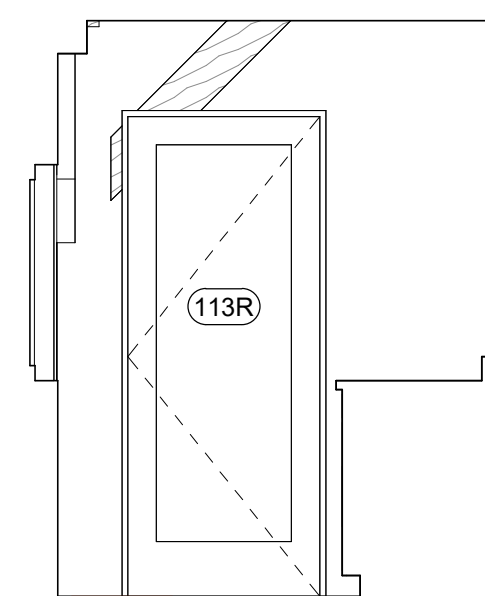
8 TOILET 2 ELEV E
 A1.3 3/8" = 1'-0"



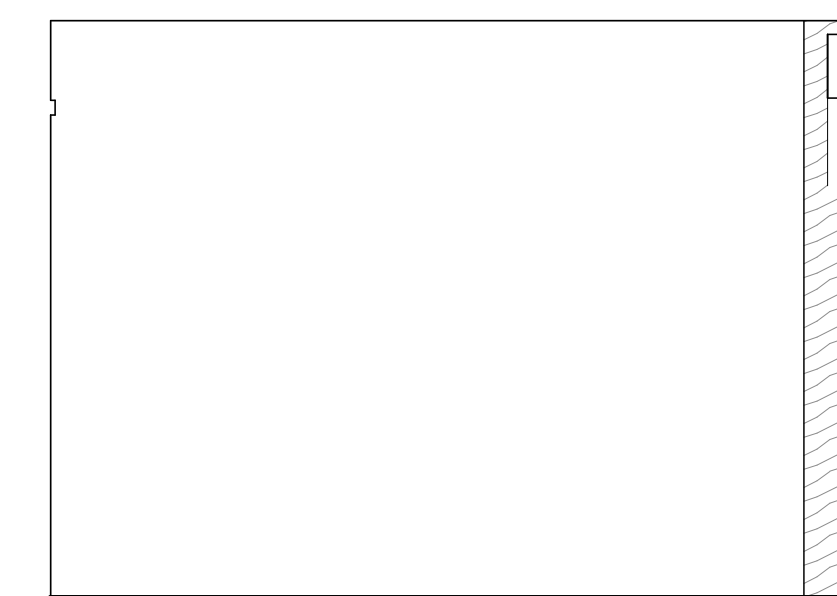
7 TOILET 2 ELEV S
 A1.3 3/8" = 1'-0"



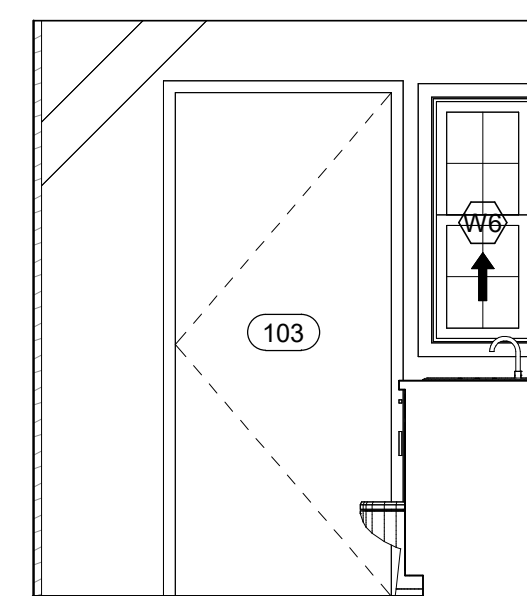
6 TOILET 2 ELEV W
 A1.3 3/8" = 1'-0"



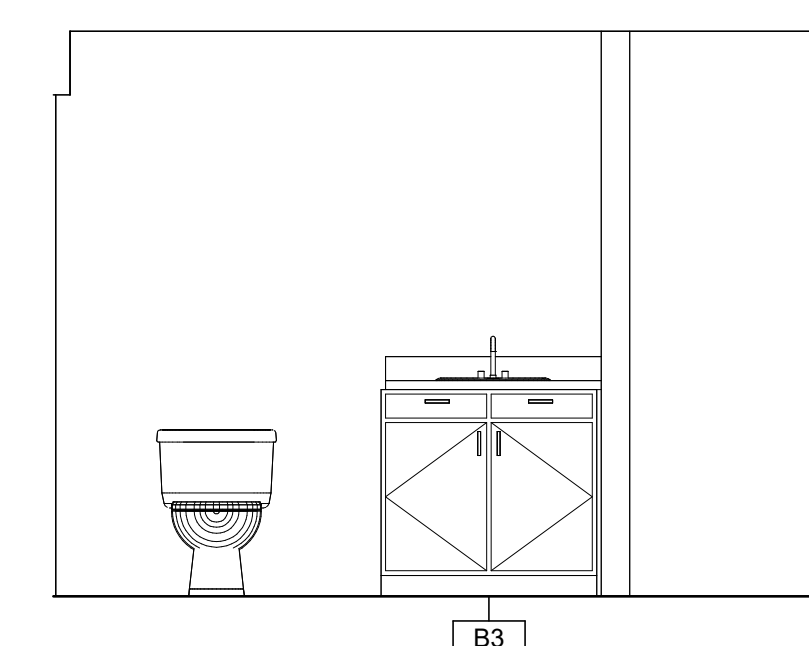
5 TOILET 2 ELEV N
 A1.3 3/8" = 1'-0"



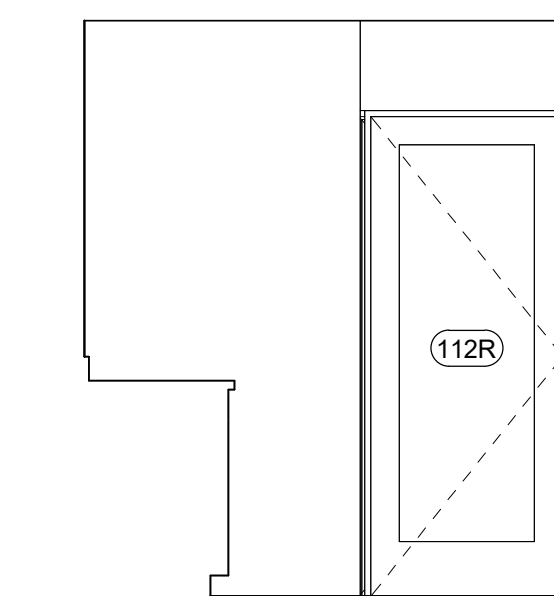
4 TOILET 3 ELEV E
 A1.3 3/8" = 1'-0"



3 TOILET 3 ELEV S
 A1.3 3/8" = 1'-0"



2 TOILET 3 ELEV W
 A1.3 3/8" = 1'-0"



1 TOILET 3 ELEV N
 A1.3 3/8" = 1'-0"

UHL



UHL BARN AND CABINS

40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

PROJECT No: 22019

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BARN INTERIOR ELEVATIONS

A1.3

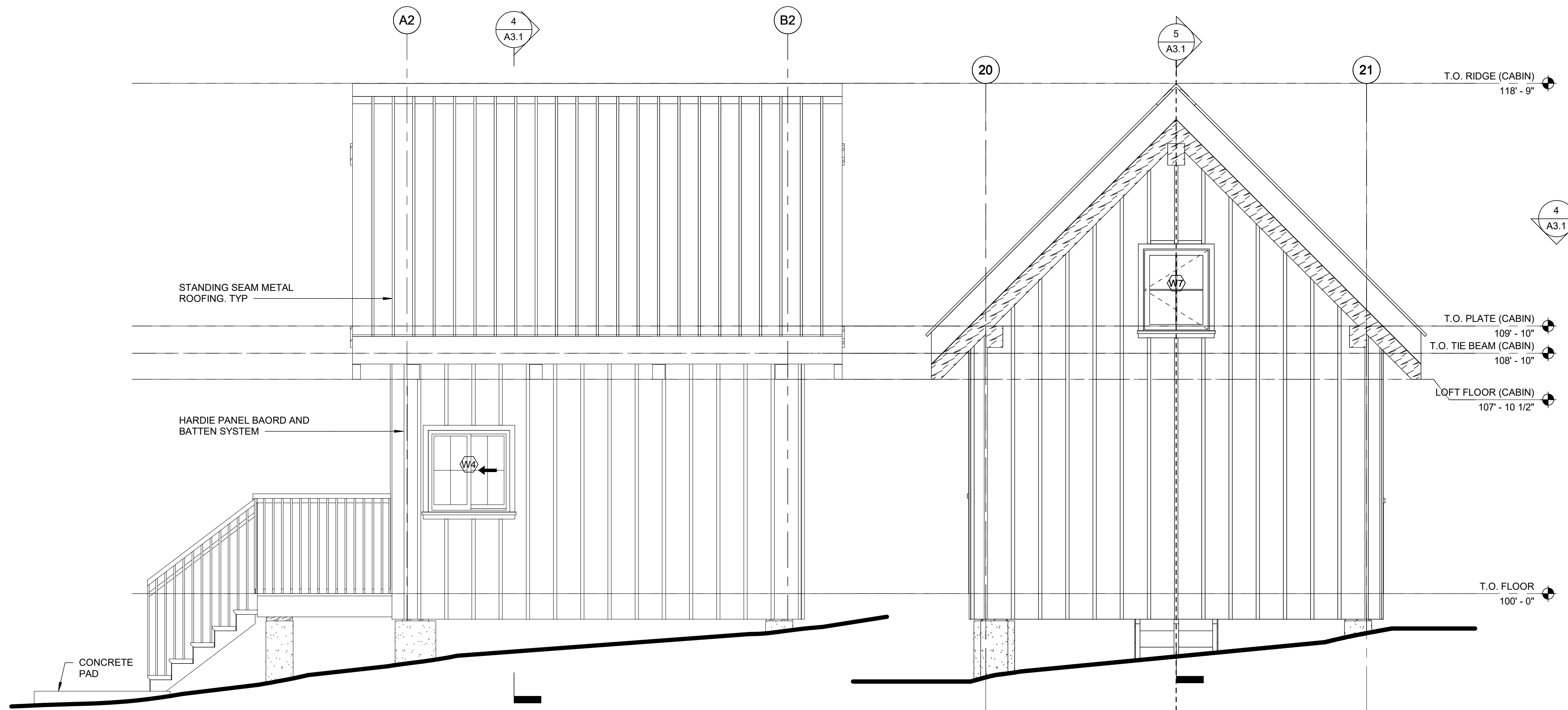
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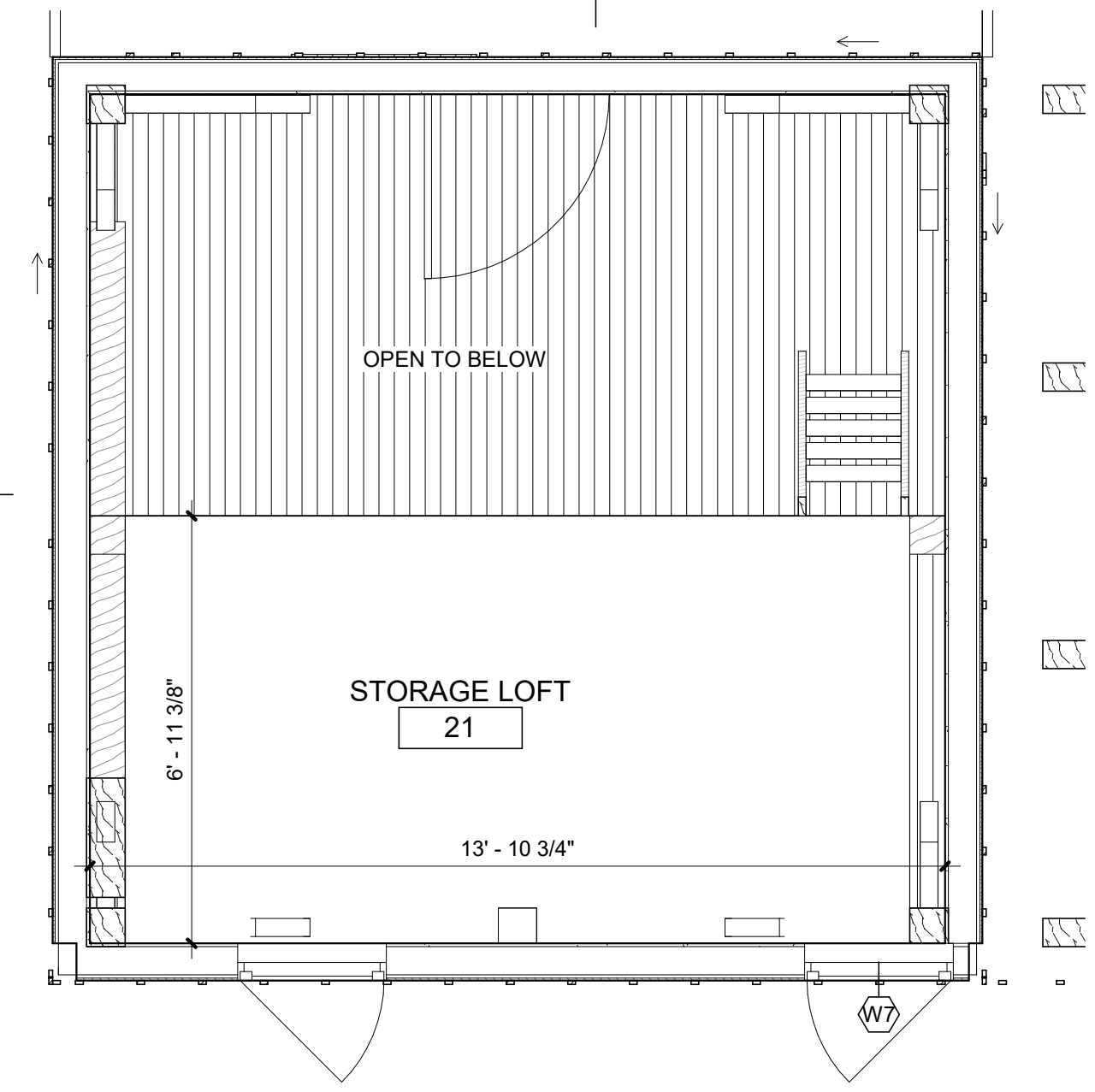
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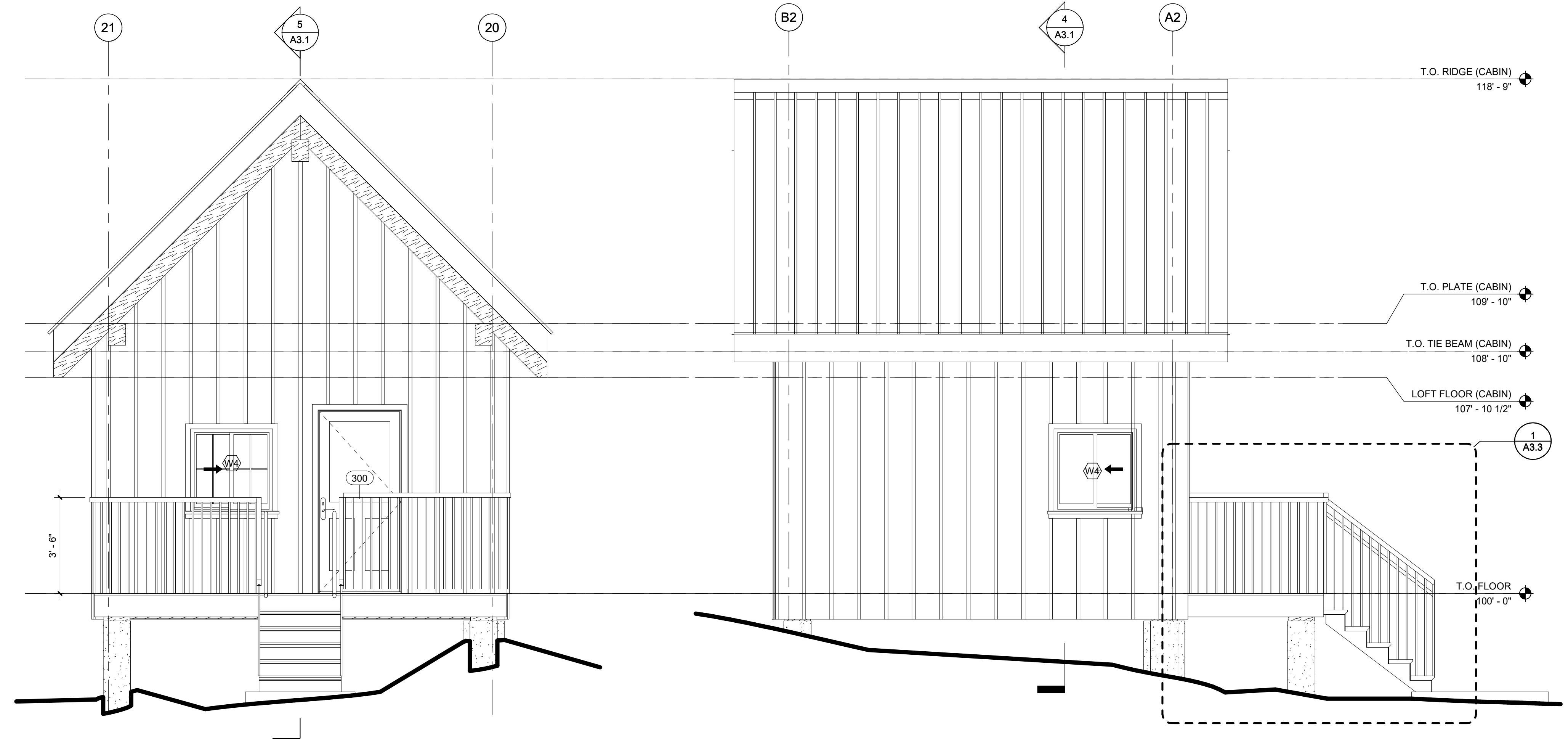


5 CABIN ELEVATION - RIGHT
 A2.0 3/8" = 1'-0"

6 CABIN ELEVATION - BACK
 A2.0 3/8" = 1'-0"

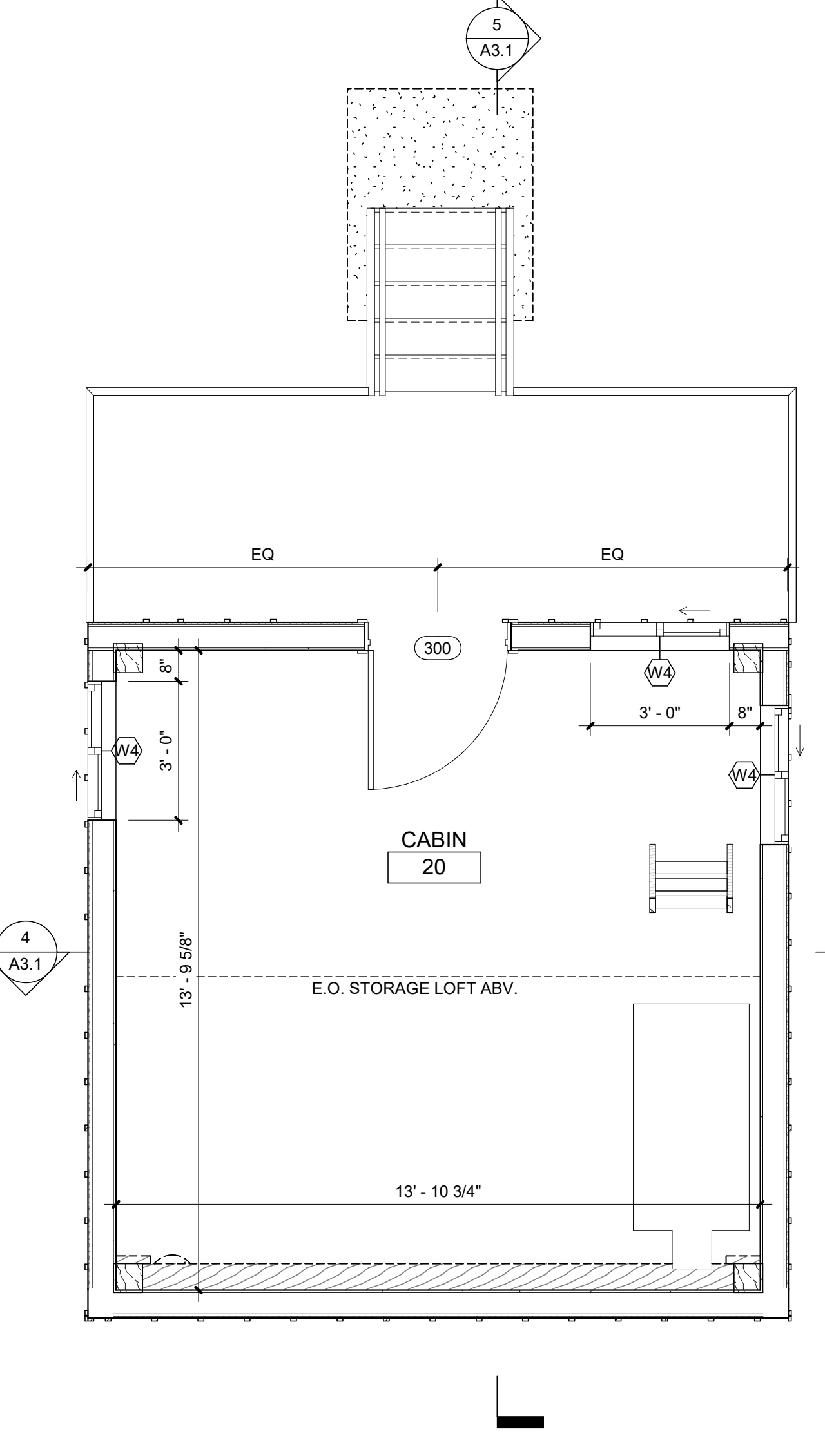


2 PLAN - CABIN LOFT
 A2.0 3/8" = 1'-0"



3 CABIN ELEVATION - FRONT
 A2.0 3/8" = 1'-0"

4 CABIN ELEVATION - LEFT
 A2.0 3/8" = 1'-0"



1 PLAN - CABIN
 A2.0 3/8" = 1'-0"

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UHL BARN AND CABINS

40343 COUNTY RD 68,
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




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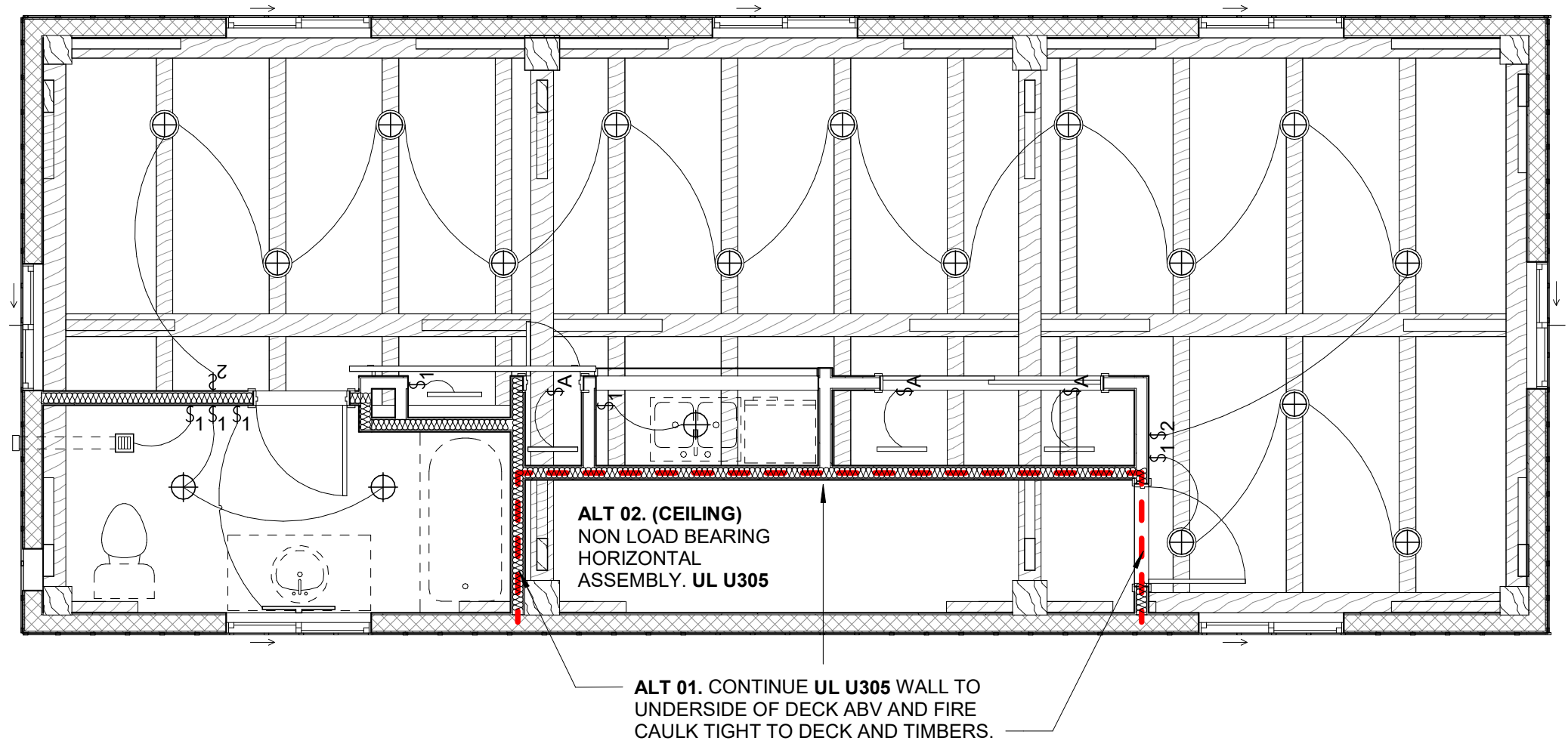
CABIN PLANS AND ELEVATIONS

A2.0

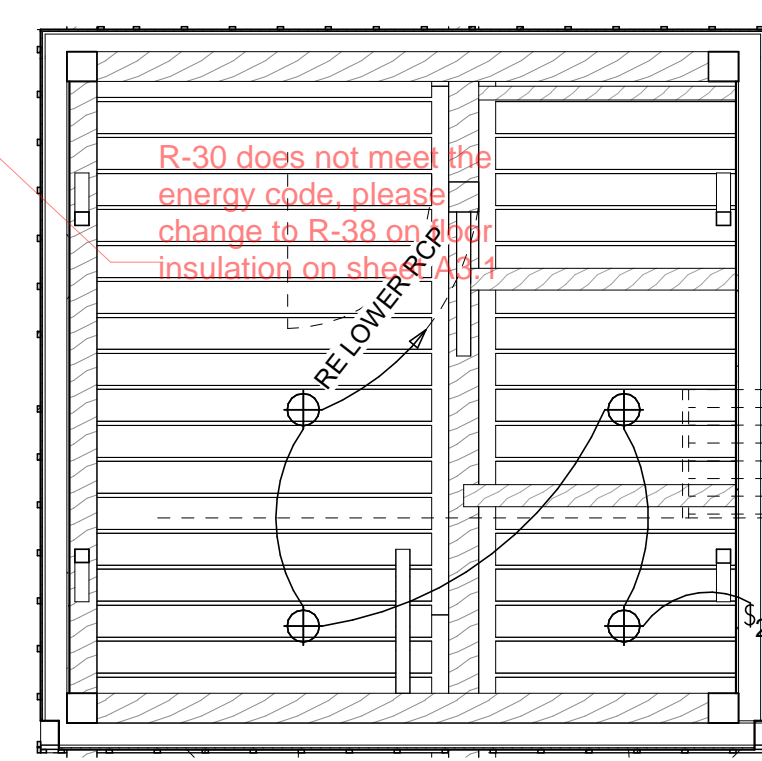
Sheet A3.1 Cabin Loft: Please let us know the intended use, is this for storage only or are you wishing to use this as sleeping area. Sleeping use would have to be designed at minimum in accordance with Appendix Q Tiny Home Building Code appendix. You will have to review Appendix Q and see if you can meet the code requirements for a lofted sleeping area per Appendix Q, if you can then I will accept that as a code approved sleeping loft, but please state and show how all code sections will be met.

LIGHTING LEGEND

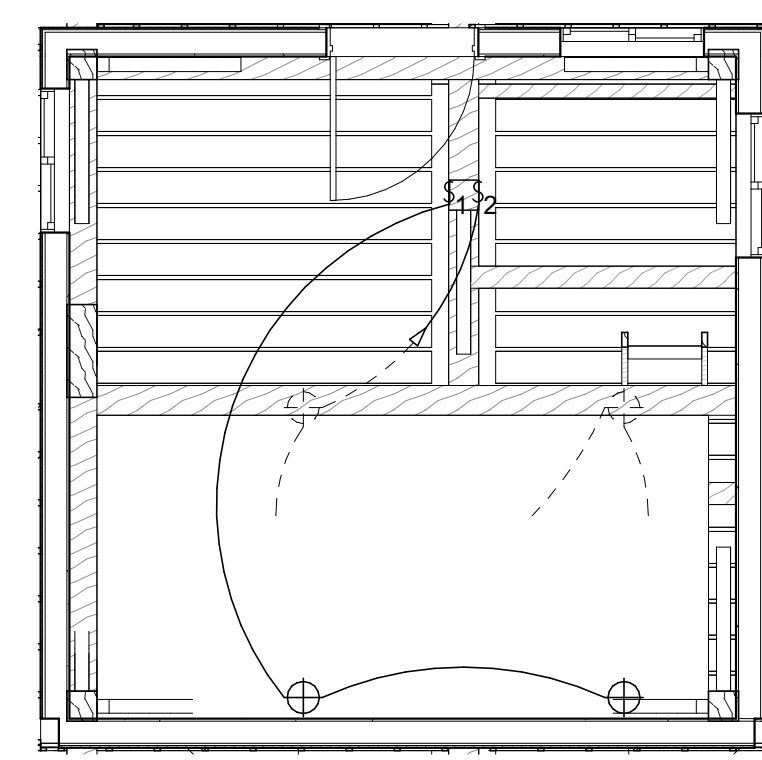
-  LED RECESSED CAN LIGHT
-  LED RECESSED CAN LIGHT WET LOCATION
-  VENTILATION FAN
-  VANITY LIGHT
-  LED STRIP LIGHT
-  S₁ SINGLE SWITCH
-  S₂ 2 WAY SWITCH
-  S₃ 3 WAY SWITCH
-  S_A AUTOMATIC / HINGE SWITCH



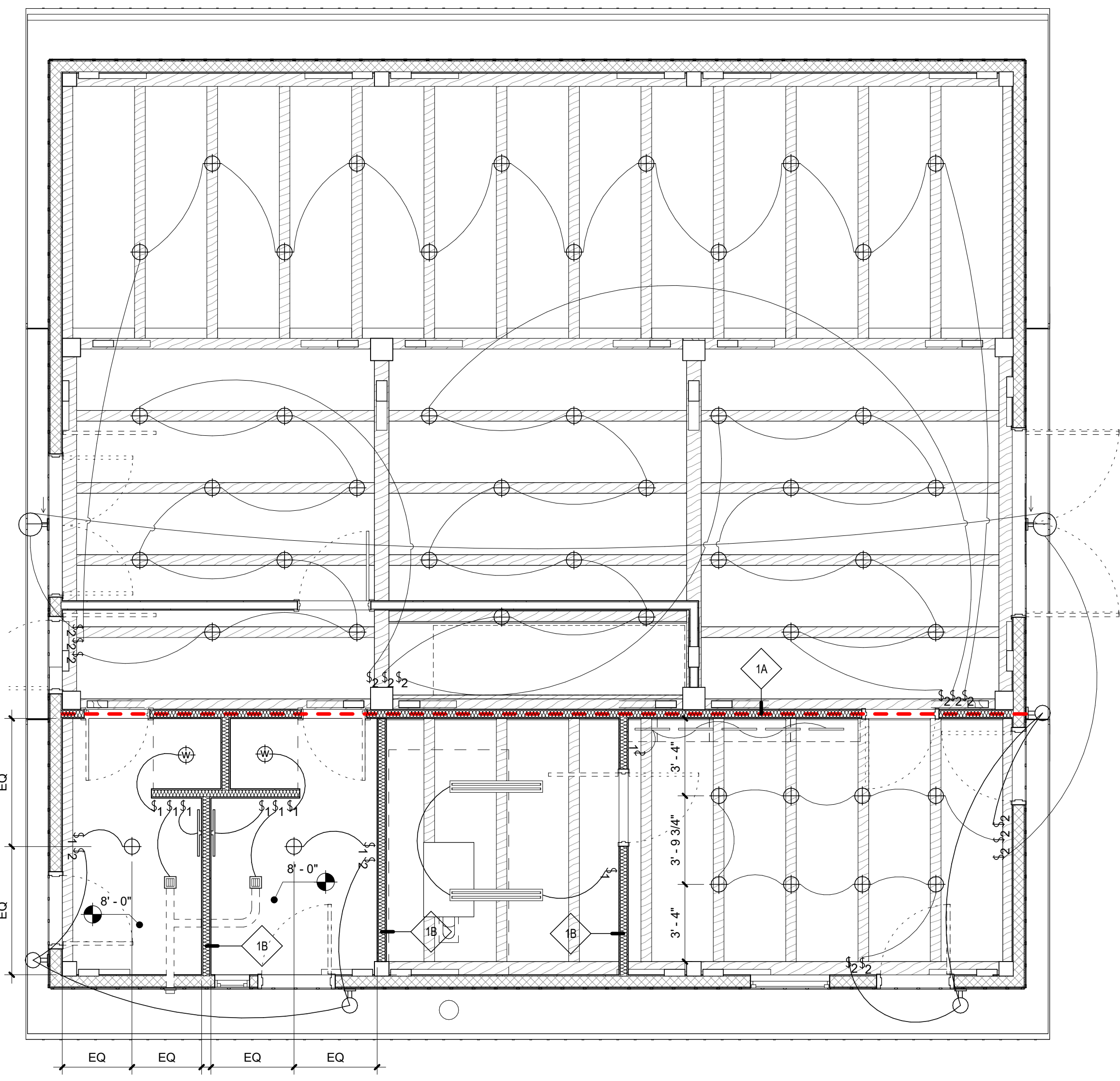
1 BARN LOFT RCP / LIGHTING
1/4" = 1'-0"



3 CABIN RCP / LIGHTING
1/4" = 1'-0"



4 CABIN LOWER RCP / LIGHTING
1/4" = 1'-0"



2 BARN RCP / LIGHTING
1/4" = 1'-0"

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UHL BARN AND CABINS

40343 COUNTY RD 68,
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BARN AND CABINS REFLECTED
CEILING PLANS

A3.0

P:\2022_Projects\22019_Uhl Cabins\BARN AND CABIN LINKED\2023-06-29 - UHL BARN - CABIN_County Comments
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7/23/2023 2:40:40 PM

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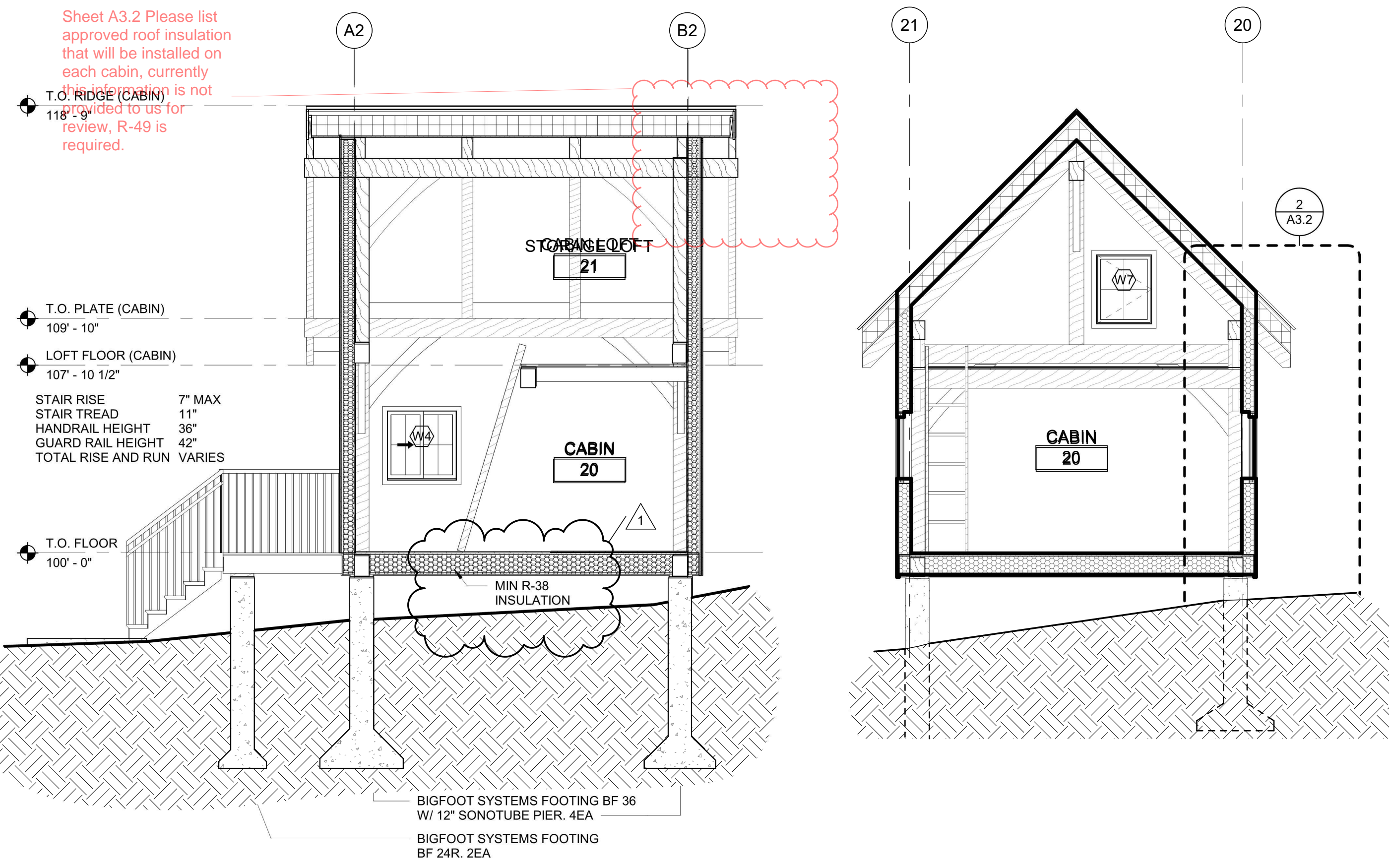
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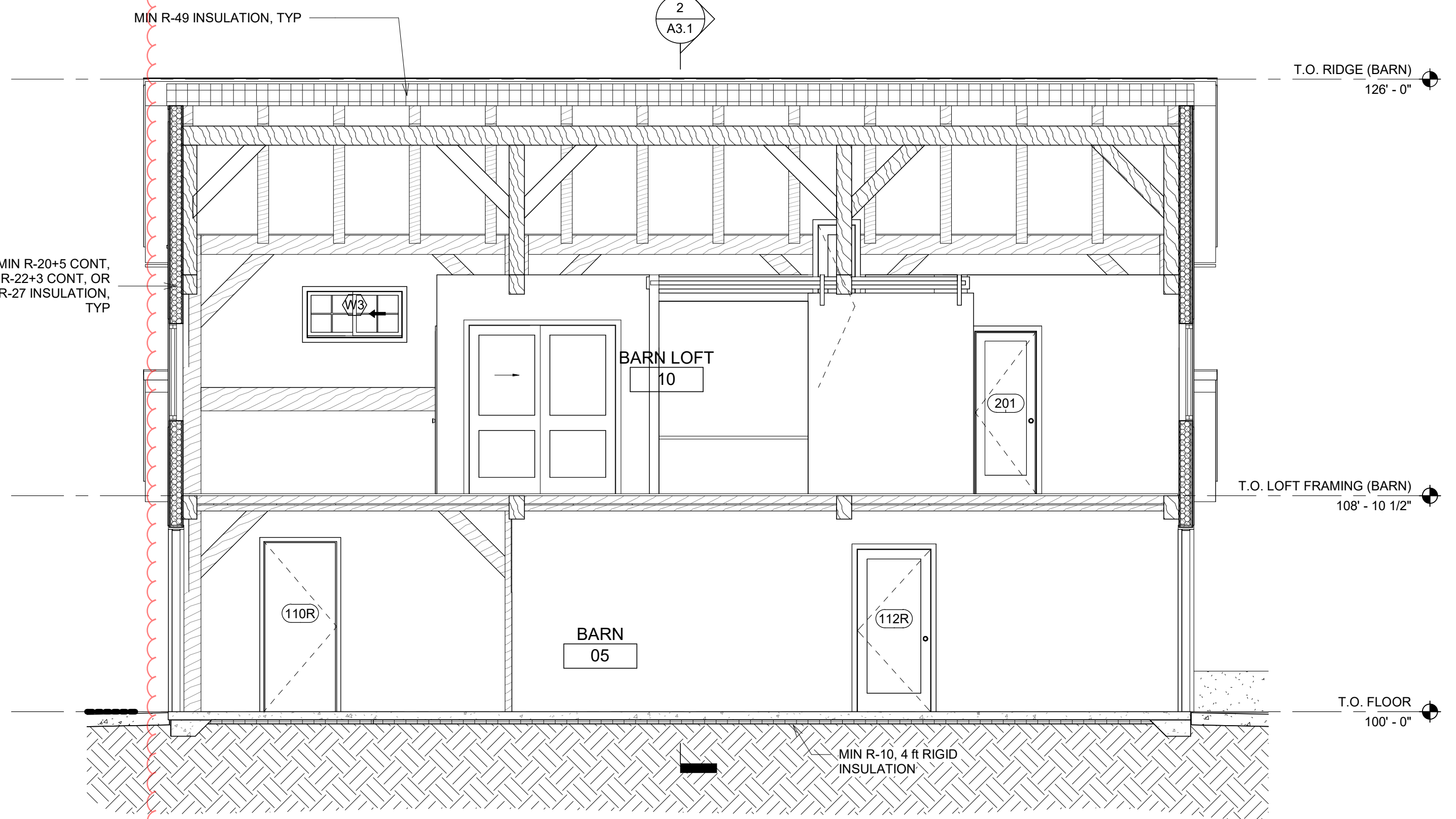
STRUCTURAL (TIMBER):
 Chris Miller
 Timberframe Headquarters
 PO Box 133
 Mountain Rest, SC 29664
 888-552-9379 +102
 projects@timberframehq.com

Sheet A3.2 barn wall and eave drawings. Were missing R-Values for all products in foundation, underslab, walls and roof, please add R-values.

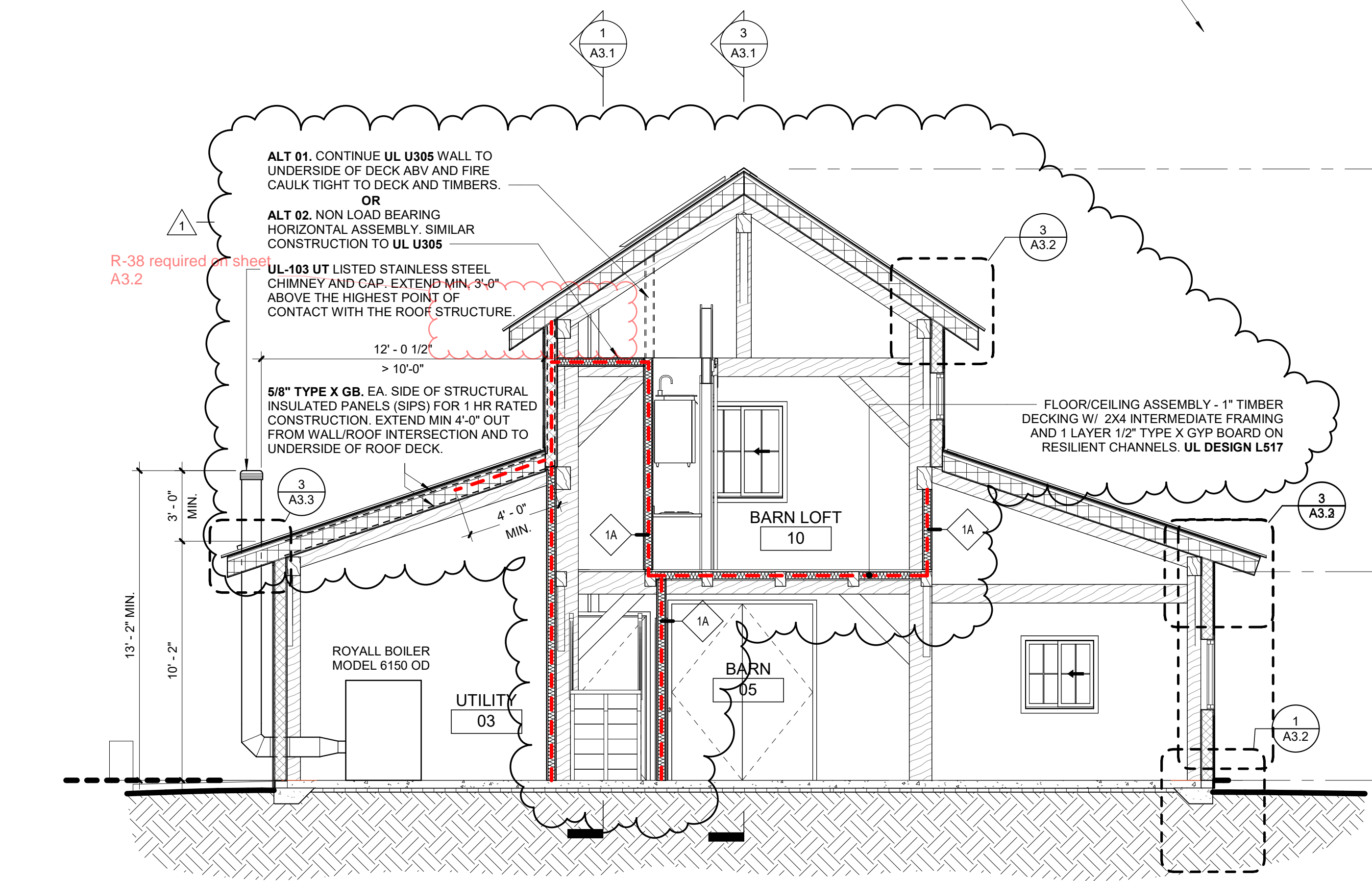


5 CABIN SECTION 2
 A3.1 1/4" = 1'-0"

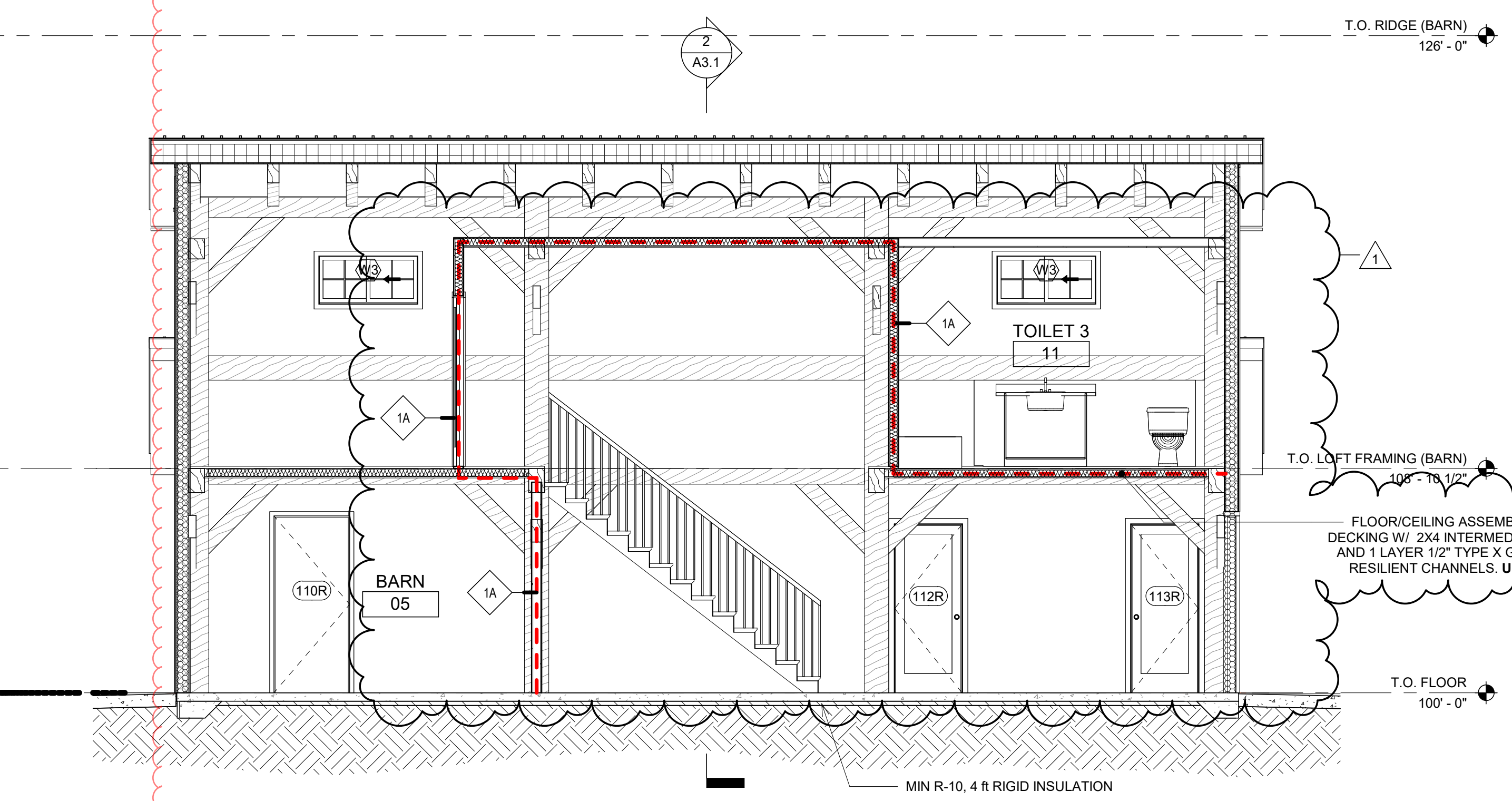
4 CABIN SECTION 1
 A3.1 1/4" = 1'-0"



3 BARN SECT. S-N
 A3.1 1/4" = 1'-0"



2 BARN SECT. W-E
 A3.1 1/4" = 1'-0"



1 BARN SECT. N-S
 A3.1 1/4" = 1'-0"

UHL



UHL BARN AND CABINS

40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

PROJECT No: 22019

NO.	ISSUE/REVISION-NAME	DATE
0.0	PERMIT SET	5/24/23
1.0	PERMIT SET COUNTY COMMENTS	7/23/23

BARN AND CABINS SECTIONS

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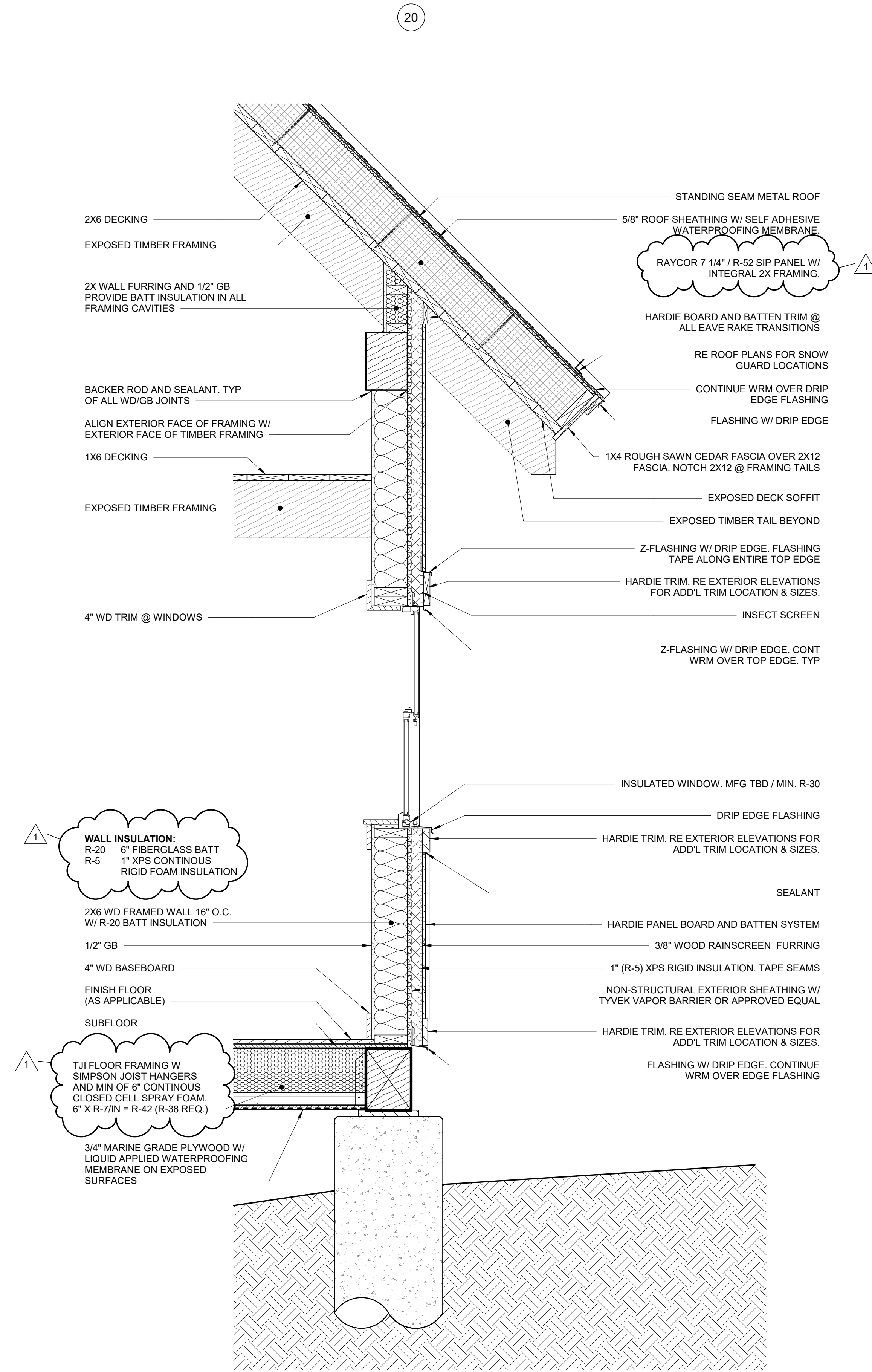
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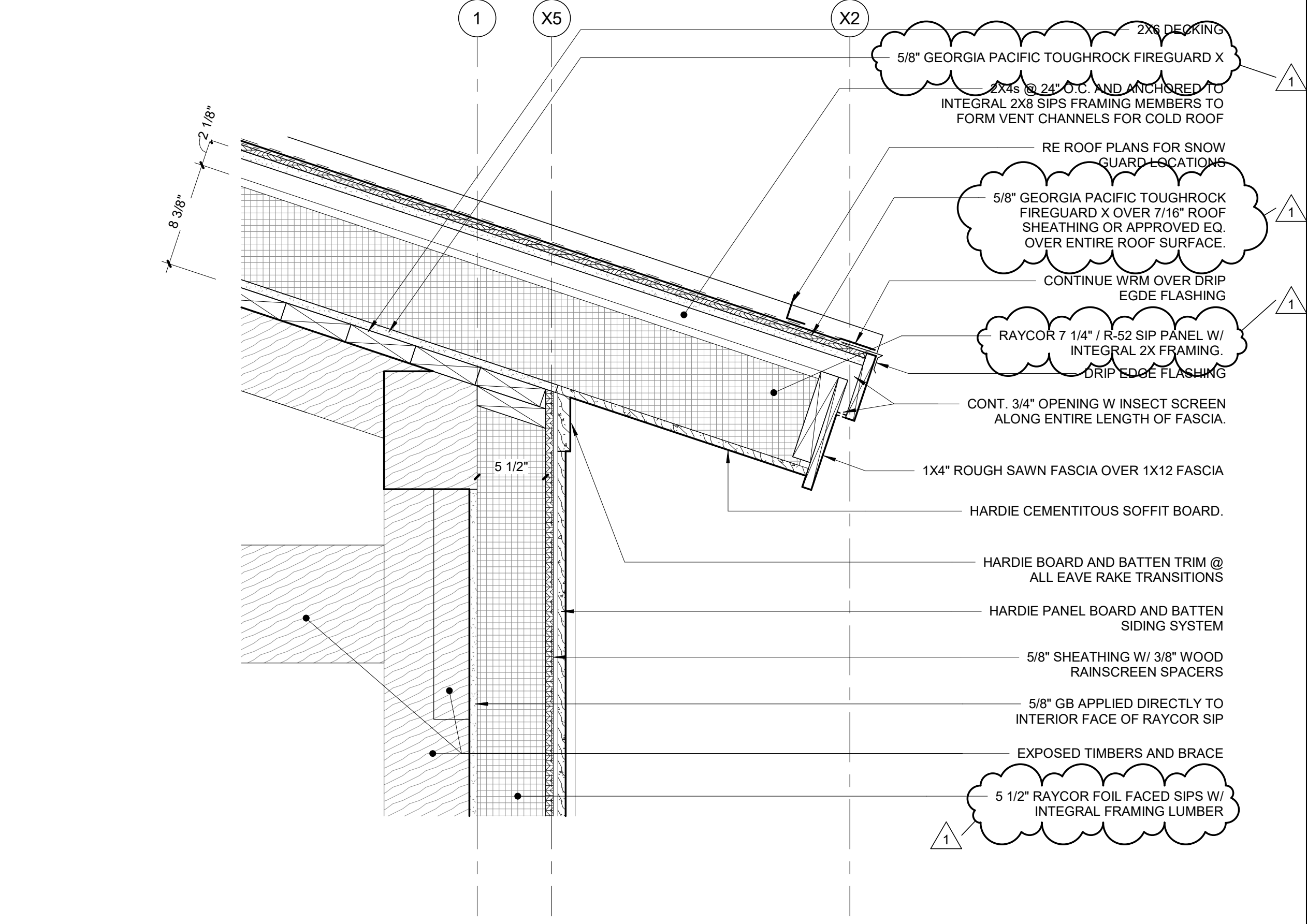
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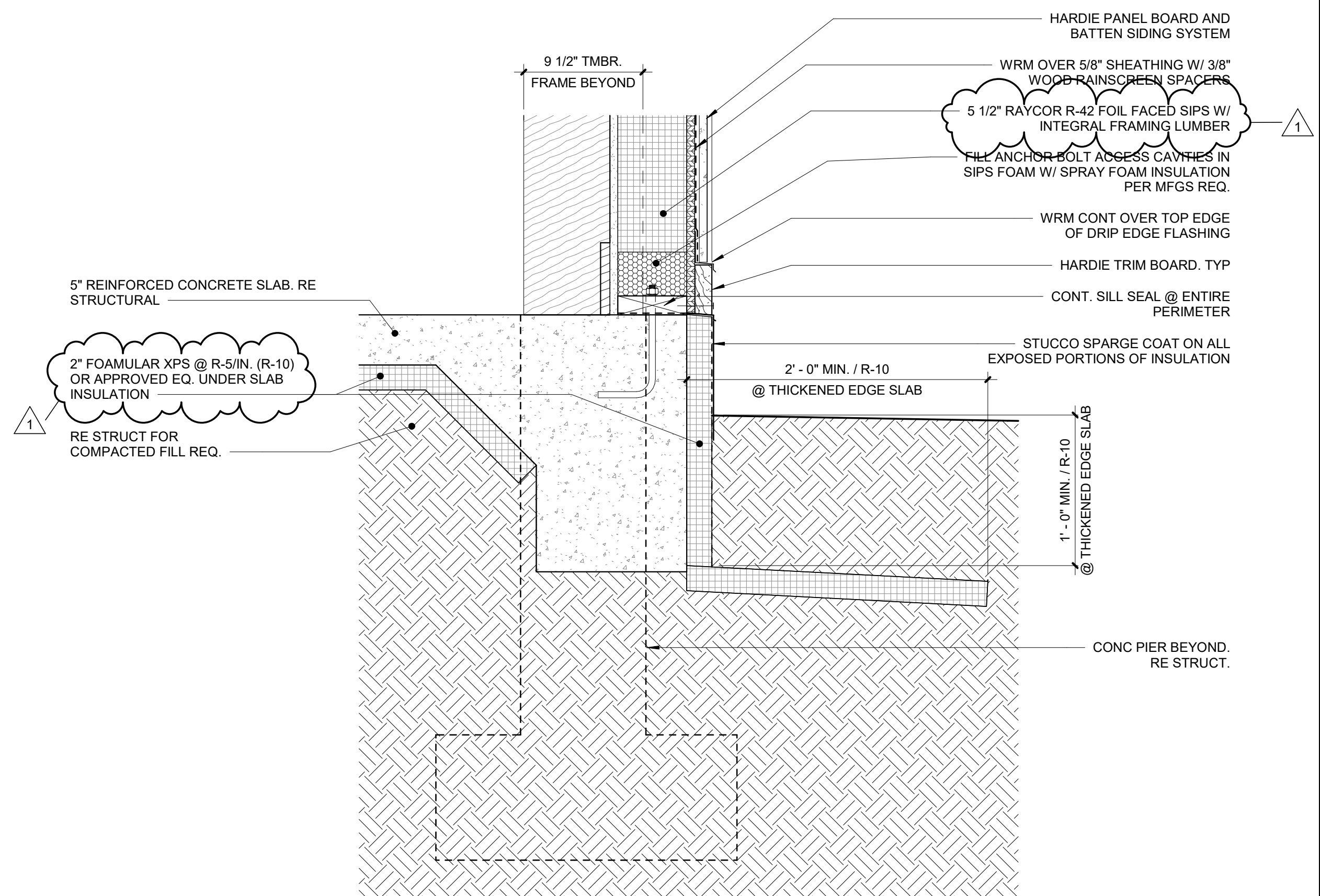
STRUCTURAL (TIMBER):
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 Timberframe Headquarters
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 Mountain Rest, SC 29664
 888-552-9379 x102
 projects@timberframehq.com



2
A3.2
 CABIN WALL SECTION
 1" = 1'-0"



3
A3.2
 BARN EAVE
 1 1/2" = 1'-0"



1
A3.2
 BASE OF BARN WALL
 1 1/2" = 1'-0"

UHL



UHL BARN AND CABINS

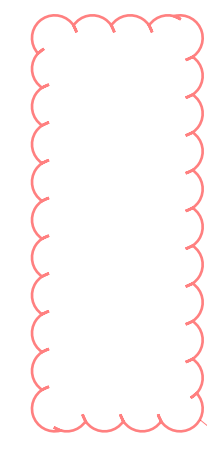
40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

PROJECT No: 22019

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BARN AND CABINS DETAILS

A3.2



All windows must have a U-factor of .30 or less, please change this on window schedule on sheet A4.0



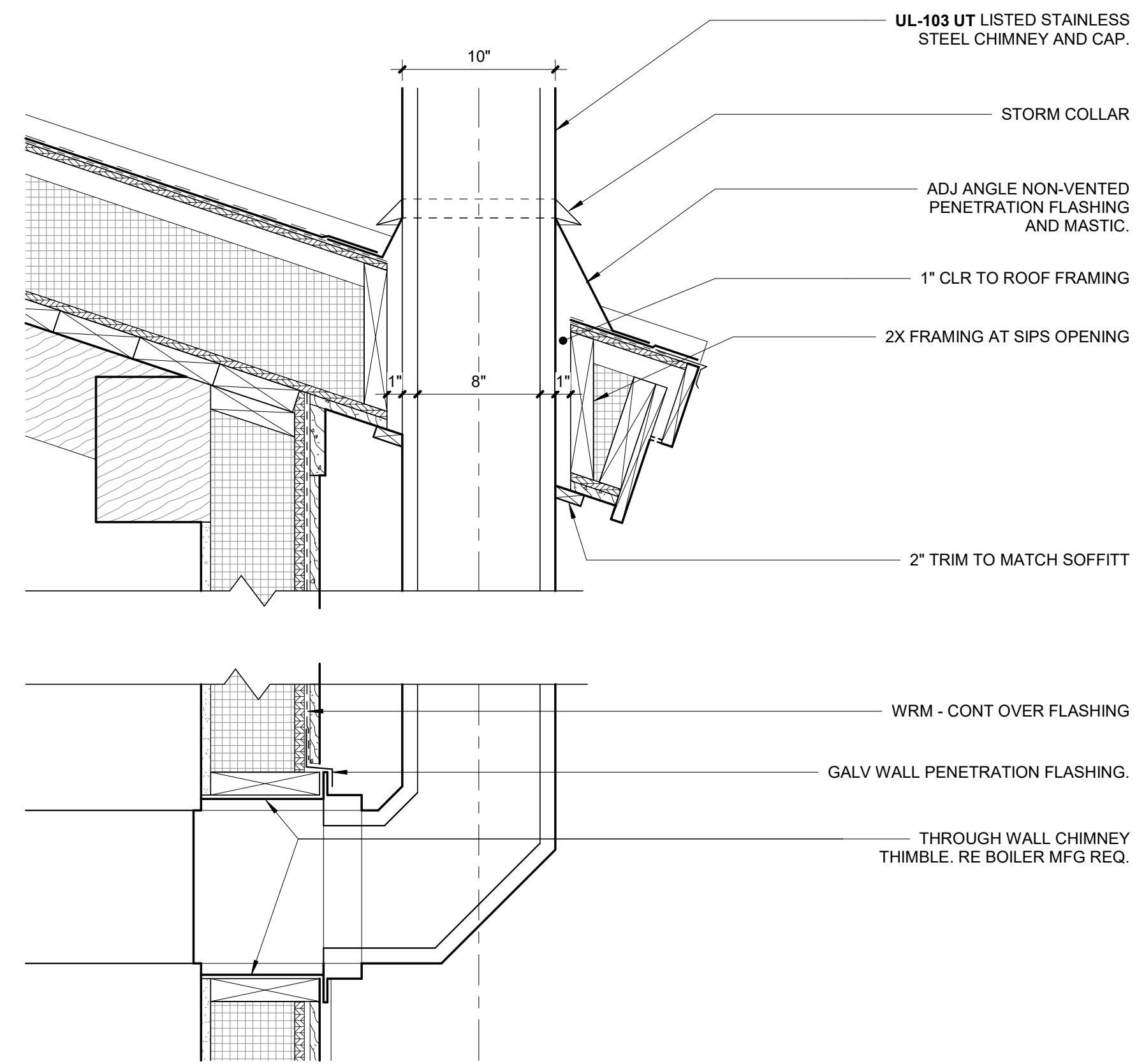
UHL BARN AND CABINS

40343 COUNTY RD 68,
 STEAMBOAT SPRINGS, CO 80487

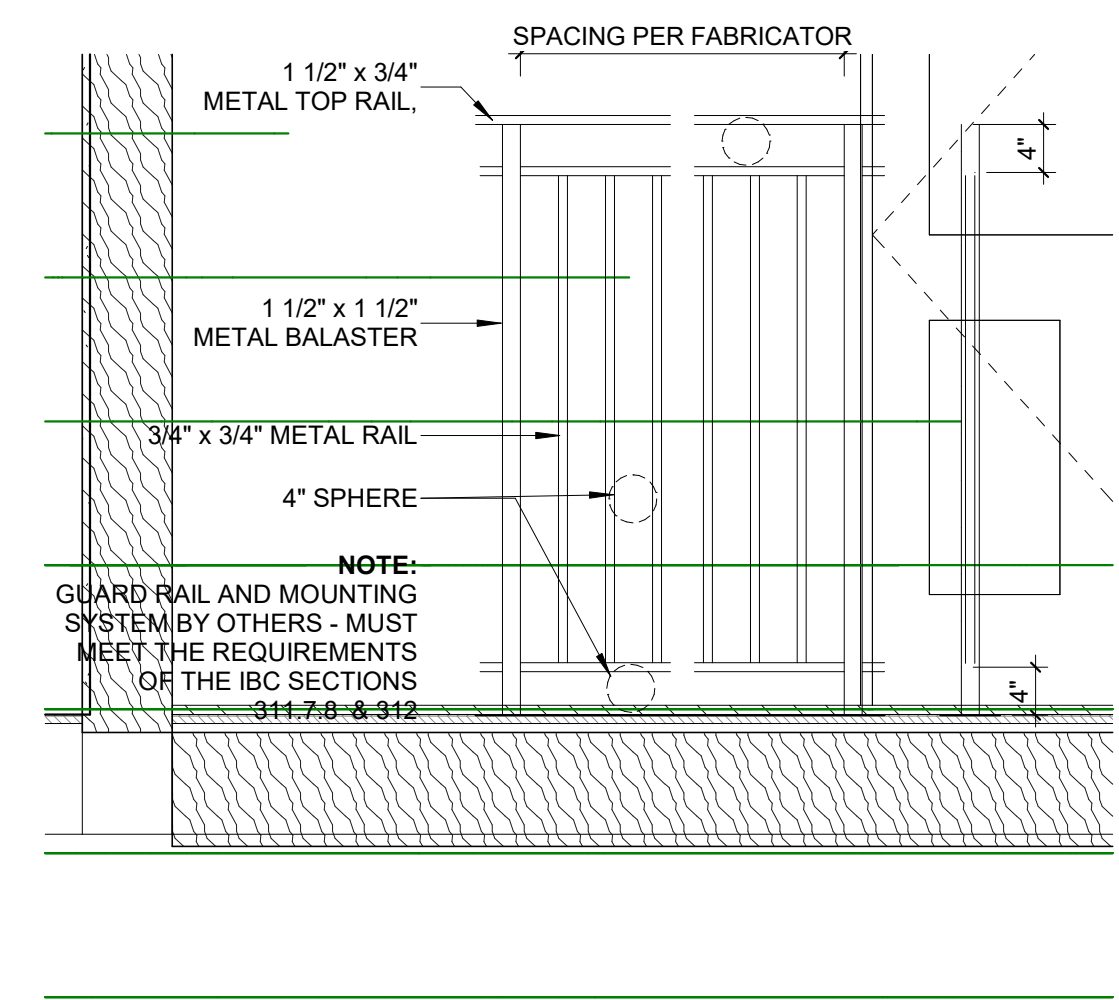
PROJECT No: 22019

ISSUES/REVISIONS		
NO.	ISSUE/REVISION-NAME	DATE

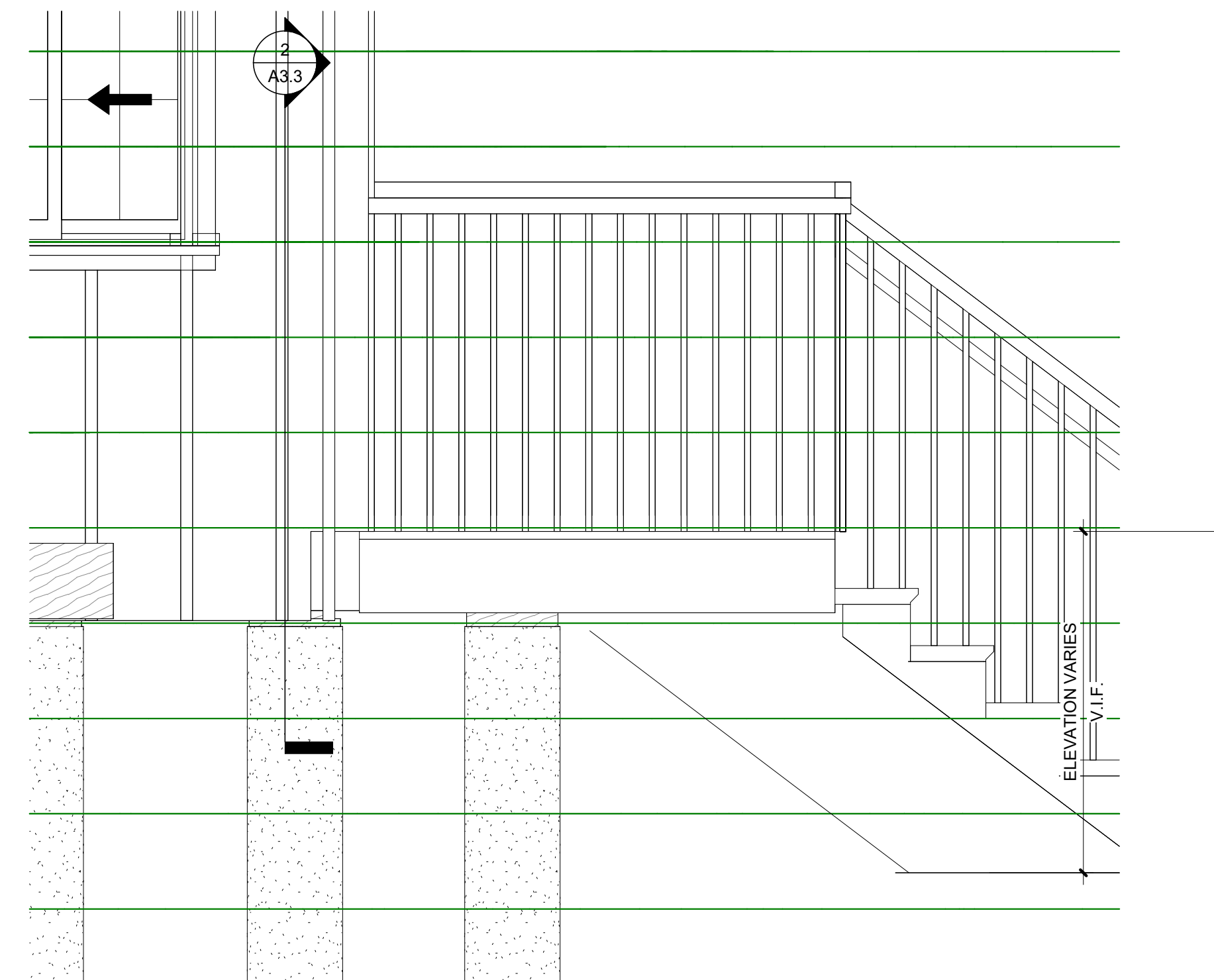
BARN AND CABINS DETAILS



3
 A3.3 **BARN EAVE PENETRATION**
 1 1/2" = 1'-0"



2
 A3.3 **FORTRESS RAIL DETAIL**
 3/4" = 1'-0"



1
 A3.3 **CABIN STAIR DETAIL**
 3/4" = 1'-0"

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2018 IECC MANDATORY REQUIREMENTS

Vapor Retarder: Class I = Poly Class II = Kraft-Faced Insulation Class III = Paint	Follow IRC Section R702.7 or IRC Section 1405.3 Class of vapor retarder is based upon selected methods of insulating the exterior walls of the structure.
Windows and Doors U-Factor = 0.30	R402.1.5 Total UA Alternative may be used to lower the U-Factor
Skylights U-Factor = 0.55	R402.1.5 Total UA Alternative may be used to lower the U-Factor
Ceiling Insulation with Attic Space = R49	R402.2.1 reduction to R38 wherever the full height of uncompressed R-38 extends over the wall top plate at the eaves.
Ceiling Insulation without Attic Space = R-49	R402.2.2 reduction to R30 provided when roof/ceiling assemblies don't have sufficient space.
Wood Framed Wall Insulation: 2x6 wall = R20/5	R20 in the cavity of the wall and R5 continuous insulation, R22 in the cavity of the wall and R3 continuous insulation, or R27 in the cavity of the wall and no continuous insulation. Walls with Structural Sheathing see Section R402.2.7 for reduction
Wood Framed Wall Insulation: 2x6 wall = R22/3	
Wood Framed Wall Insulation: 2x6 wall = R27/0	
Wood Framed Wall Insulation: 2x4 wall = R13/10	R13 in the cavity of the wall and R10 continuous insulation. Walls with Structural Sheathing see Section R402.2.7 for reduction
Mass Walls R-19/21	Defined & Reviewed based upon formula from Section 402.2.5
Floor Insulation = R38	See Section 402.2.8 for definition and exception
Basement Wall Insulation = R-15/19	See Section 402.2.9 for definition R15 continuous on either side or R19 on interior side. See footnotes in R402.1.2 for alternatives
Concrete Slab on Grade Insulation = R10/4ft	See Section R402.2.10 Insulation depth shall be depth of the footing minimum of 4 feet.
Crawl Space Wall Insulation = R15/19	See Section R402.2.11 for definition R15 continuous on either side or R19 on interior side.
Fenestration Air Leakage: windows, sliding doors, skylights	<= 0.3 cfm/sf Exception for site built windows, skylights, and doors.
Fenestration Air Leakage: Swinging Doors	<= 0.5 cfm/sf Exception for site built doors.
Air Leakage: The building thermal envelop shall be constructed to limit air leakage.	All products installed in accordance with manufacturers instructions and be labeled in accordance with the requirements of the 2018 IECC.
Fireplaces new wood-burning units	See Section R402.4.2 Information on tight fitting doors and labels required.
Programmable thermostats required for all heating and cooling equipment installed in a dwelling unit.	See Section R403.1.1. Thermostat to have daily schedules and temperature setback for scheduled times of the day.
Duct Insulation: Attic spaces R8 when 3" diameter or greater	See Section R403.3.1 for exception where ducts are completely within the building thermal envelope.
Duct Insulation: Attic spaces R6 when less than 3" diameter	See Section R403.3.1 for exception where ducts are completely within the building thermal envelope.
Sealing: Mandatory for ducts, air handlers and filter boxes.	See Section R403.3.2 for exceptions.
Hot water boiler outdoor temperature setback:	See Section R403.2 Hot water boilers that supply heat to the building through one or two-pipe heating systems shall have an outdoor set-back control that lowers the temperature based on outdoor temperature.
Mechanical System Piping insulation: Mandatory	See Section R403.4 mechanical piping carrying fluids above 105 F or below 55 F shall be insulated with R3 minimum.
Circulating systems / Heat trace systems/ Demand recirculation systems:	See Section R403.5.1.1, R403.5.1.2, R403.5.2 for information on operations and controls for pumps and specific electric heat trace systems.
Hot water pipe insulation required to be R3	See Section R403.5.3 for list of required piping that requires R3
Mechanical Ventilation: The building should be provided with mechanical ventilation or approved method per requirements.	See Section R403.6 and R403.6.1 for definitions and refer the 2015 IRC Sections M1507 for system design and requirements.
Systems serving multiple dwelling units:	See Section R403.8 Shall comply with Sections C403 and C404 of the IECC - Commercial provisions in lieu of Section R403
Snow melt systems and ice system controls:	See Section R403.9 Automatic controls shutting system when pavement temperature >50 F and no precipitations falling, automatic or manual control to shutoff as outdoor temp > 40 F
Pools/ Permanent & Portable Spas:	See Sections R403.10 through R403.12 Heaters, Time Switches, Covers, Energy Consumption.
Equipment Sizing and Efficiency Rating	See Section R403.7 and refer to IRC M1401.3

ROOM FINISH SCHEDULE

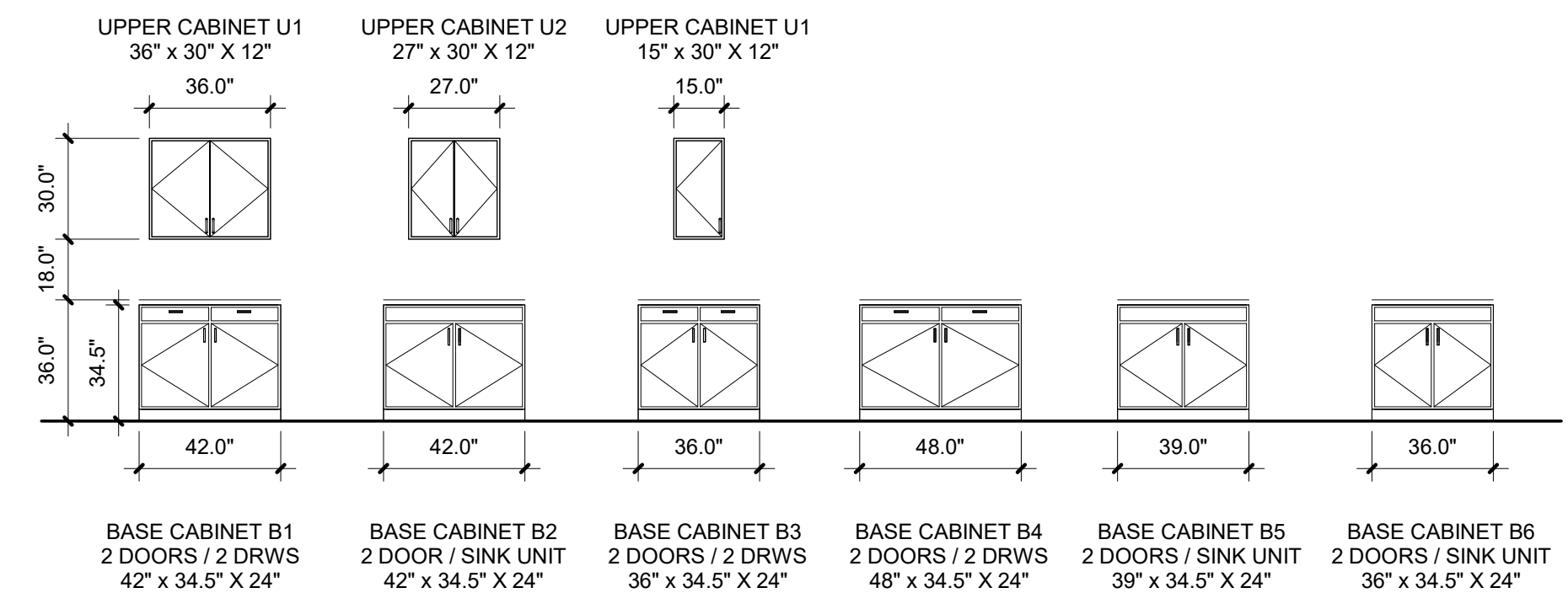
#	NET AREA	ROOM NAME	FLOOR	BASE	FINISHES				Comments	
					WALLS					
					NORTH	EAST	SOUTH	WEST		
01	77 SF	TOILET 1	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
02	84 SF	TOILET 2	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
03	120 SF	UTILITY	SEALED CONC	NA	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
04	195 SF	KITCHEN	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
05	1,023 SF	BARN	SEALED CONC	NA	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
10	481 SF	BARN LOFT	UNFIN WD	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
11	79 SF	TOILET 3	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
12	22 SF	CLOSET	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
20	209 SF	CABIN	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
21	105 SF	STORAGE LOFT	UNFIN WD	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	

WINDOW SCHEDULE

Type Mark	Count	R.O.		Type	Material	Finish	MAX U FACTOR	Comments
		Width	Height					
W2	1	3' - 0"	2' - 0"	Window-Sliding-Double	TBD	TBD	0.3	
W3	5	4' - 0"	2' - 0"	Window-Sliding-Double	TBD	TBD	0.3	
W4	15	3' - 0"	3' - 0"	Window-Sliding-Double	TBD	TBD	0.3	
W5	1	3' - 5"	3' - 5"	Window-Awning-Double-Vertical	TBD	TBD	0.3	
W6	1	1' - 6"	3' - 6"	Window-Single-Hung	TBD	TBD	0.3	
W7	4	2' - 5"	3' - 0"	Window-Casement-Single_Right	TBD	TBD	0.3	
W8	2	3' - 6"	4' - 0"	Window-Sliding-Double	TBD	TBD	0.3	

DOOR SCHEDULE

Door Number	Leaf Quantity	Leaf Width	Opening Width	Height	Thickness	Material	Finish	Hardware	FRAME		Comments
									Material	Finish	
BARN - LEVEL 1											
100	2	3' - 0"	6' - 0"	7' - 6"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ CROSS BAR	WD	PNT	
102	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
103	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
104	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
105	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
106	2	4' - 0"	8' - 0"	7' - 6"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ CROSS BAR	WD	PNT	
110R	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	STN	PASSAGE	WD	STN	
111	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	STN	STORAGE	WD	STN	
112R	1	2' - 8"	2' - 8"	6' - 8"	1 3/8"	WD	STN	SINGLE OCCP PRIVACY	WD	STN	
113R	1	2' - 8"	2' - 8"	6' - 8"	1 3/8"	WD	STN	SINGLE OCCP PRIVACY	WD	STN	
BARN - LEVEL 2											
200	1	2' - 8"	2' - 8"	6' - 8"	1 3/8"	WD	STN		WD	STN	20 MIN RATED W/ CLOSER
201	1	2' - 6"	2' - 6"	6' - 8"	1 3/8"	WD	STN	SINGLE OCCP PRIVACY	WD	STN	
CABIN											
300	1	3' - 0"	3' - 0"	6' - 8"	1 3/8"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	



CASEWORK TYPES
1/4" = 1'-0"

creative sustainable places to live, work and play
QUAD
Reviewed for Code Compliance
08/11/2023

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UHL BARN AND CABINS

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STEAMBOAT SPRINGS, CO 80487

OWNER: UHL BARN AND CABINS, INC. This document and the ideas and design concepts incorporated herein are an instrument of professional service and are not to be used in whole or in part for any other project without the written authorization of UHL BARN AND CABINS, INC.

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SCHEDULES & ENERGY COMPLIANCE
A4.0

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