The following general notes apply to the entire set of drawings and are not specific to any one discipline. The drawings and specifications establish detailed minimum requirements for the design and construction of the project. Work comprises completed construction required by the contract documents and includes all labor necessary to produce such construction, and all materials and

The work described by the drawings of any one discipline may be affected by the work described on drawings of another discipline and may require reference to the drawings of another discipline. Partial sets of drawings are incomplete and should not be distributed or utilized by the contractor.

The contractor shall endeavor to identify and notify in writing to the architect any conflicts between the work of different parties, and discrepancies between the documents and the actual conditions at the earliest possible date so as to allow reasonable and adequate time for the conflict to be resolved without delaying the work. All deviations from that which is required by the contract documents must be approved in advance by the architect and owner prior to proceeding.

The contractor shall obtain all required permits and similar releases required for the construction and occupancy of the project. The contractor shall furnish copies of all such items to the owner and architect within 10 days of receipt of such items. If permits are issued subject to certain conditions or revisions to the work or if permits are delayed for any reason, the contractor shall immediately notify the owner and architect.

The contractor shall coordinate and obtain all required inspections of work, including that performed by the owner. Contractor shall regularly update the owner and architect regarding the status of construction progress and

GN-2 CONTRACT DOCUMENTS:

The intent of the Contract Documents is to Include all Items necessary for proper execution and completion of the work. By submitting a bid, the bidder agrees and warrants that he has examined the drawings and found that they are adequate for the proper completion of the project.

The contractor shall coordinate information that is part of one or more separate bid packages with additional information issued in this bid package. The multiple bid packages, as occurs, shall constitute a complete project.

Contract Documents are complementary, and what is required by any one shall be as binding as if required by all. Do not scale drawings, dimensions govern, all dimensions are to face of stud/framing Unless noted otherwise.

Large scale details govern over small scale details.

Any questions of clarification or Interpretation shall be directed to the Architect prior to the start of construction.

Architect shall be Interpreter of requirements of Contract Documents and Judge of performance thereunder by both Owner and Contractor. Architect shall render written opinion on all claims, disputes, and other matters in question between Owner and Contractor as required.

By Owner (B.O.) means selected and purchased by the Owner, installed by Contractor. This includes the selection of all interior finishes including, but not limited to, paint, floor finishes, cabinetry, plumbing fixtures, feature lighting fixtures, countertops, baseboards, and appliances.

The architectural drawings establish the design intent, they coordinate as well as take precedence for the finished appearance and exact location of all exposed elements of the work for all trades, including that work which is illustrated primarily on drawings of other disciplines.

Some drawings are typically schematic in nature. Modifications in elements (such as ducts, piping, conduit, wiring, etc.) may be required to accommodate

The drawings may make reference to and/or illustrate items that are not part of the work of the contract. These "not in contract" (NIC) items as indicated are referenced and/or illustrated for the contractor's reference, information, and

The general notes, symbols, and definitions applicable to each discipline can be found at the front of each discipline's set of drawings and are listed as part of the | Each installer shall examine the substrate condition and/or site conditions that overall project index of drawings.

The drawings shall not be reproduced for submittals. Drawings or portions thereof used for submittals will be rejected and returned to the contractor without the approval of the architect.

GN-3 CODES:

The contractor is responsible to comply with all applicable laws, codes, regulations, and ordinances of the place (city, county, district, and state) where the project is located – although such requirements may not be reflected by these drawings and specifications.

All work Shall meet the applicable codes and requirements, including Federal, State and local safety laws and ordinances. Egress windows to have sill heights of no more than 44" above the finished floor, a minimum net opening of 20" wide and 24" high with 5.7 square feet net

GN-4 INSURANCE:

Contractor shall provide all insurance required by law and as required to hold the Owner free from any and all damages and liabilities, including Workman's Compensation and Contractor's liability. The Contractor shall advise the Owner of his insurance and ascertain the Owner's acceptance of these limits.

GN-5 QUALITY CONTROL:

The contractor shall be solely responsible for means, methods, and sequences

The Drawings represent the design intent only, it is the Contractors responsibility to assure that all materials and systems are installed per the manufacturer's instructions, to code, and to normal standards of construction. The Contractor shall verify all lines, levels, and dimensions as shown on the drawings and report any errors or inconsistencies to the Architect before commencing work. All necessary adjustments between field measurements and drawings shall be made in accordance with the decisions of the Architect.

The Contractor shall be responsible for verifying field measurements before ordering materials and prefabricated items.

Unless otherwise agreed in writing, the Owner will appoint, employ, and pay for services of an Independent firm to perform soils testing, concrete testing, and steel inspections, including testing, adjusting, and balancing of the HVAC system. However, it is the Contractor's responsibility to schedule all tests and Inspections as required.

Reports will be submitted by the Independent firm to the Architect and Engineer Indicating observations and results of tests and indicating compliance or noncompliance with specified requirements and with the requirements of the Contract Documents. Contractor shall cooperate with the Independent firm to furnish assistance as required. Re-testing required because of non-conformance to specified requirements will

No concrete, plastering, pointing, or other work dependent on ambient temperature will be permitted when the temperature is below 40 degrees unless suitable protection or heat is provided.

Provide fire-stopping to cut off concealed draft openings; not to exceed 10 feet horizontal and vertical. Fire-stop furr downs and cabinet soffits in the same

Glass within 24" of a door or adjacent to bathtubs and showers to be tempered.

Provide double glazing on all doors and windows with flashing installed at head, jambs and sills of all doors and windows per manufacturer's instructions and normal standards of construction.

Install cement, fiber-cement, or glass mat gypsum backers in compliance with ASTM C 1288, C1325, or C1178 in accordance with the manufacturer's recommendations to back tile in tub and shower areas and wall panels in shower GN-5 QUALITY CONTROL: (cont.)

Finish grade to be a minimum of 6" below the top of all concrete foundations Consult soils engineer prior to making a negative decision. Terminate underdrains in positive slope outfall or sump pump.

GN-6 COORDINATION:

It is the contractor's responsibility to review and coordinate the work of all subcontractors, trades, and suppliers with requirements of the contract before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the contract documents, which might affect the work of that party. The Contractor shall coordinate the work of all trades in such a manner as to ensure completion in a professional manner and consistent with the highest standards of the Industry. The Contractor shall be responsible for the coordination of the Subcontractors in all installations, schedules, locations, decisions, sizes, and to resolve all conflicts and interferences of their trade with other trades.

Contractor shall be responsible for the coordination of routes of water. mechanical and electrical services, light fixtures/fittings, diffusers/ducts, etc. as depicted on the drawings, both above and below the ceiling. Conflicts with any existing services shall be reported immediately when it becomes apparent that a conflict will prevail. All costs incurred by the Contractor or Subcontractor for failure to report conflicts immediately shall be borne by the Contractor.

Existing conditions, if shown, are from available record drawings and/or visual field surveys. The contractor shall verify actual existing conditions at the site prior to submitting a bid and notify the architect of any discrepancies.

The contractor shall coordinate all locations, clearances, and sizes of housekeeping pads with mechanical and electrical sub-contractors prior to The contractor shall coordinate all work with acceptable utility providers. The contractor shall coordinate all mechanical chase sizes with the mechanical

The contractor shall provide and coordinate all block-outs. Sleeves, inserts, bolts, plates, etc. for all trades prior to placing concrete or masonry.

The contractor shall obtain the approval of the Owner for details related to all site access and removal plans.

The contractor shall maintain current/updated record drawings on site at all

GN-7 PROTECTION:

All materials and equipment shall be properly stored and protected before, during, and after installation. Any work that has been damaged and was inadequately protected shall be replaced or refinished without additional compensation.

The contractor shall take precautions to maintain and protect new work as well as existing systems and elements which are to remain. Any damage to such systems and elements shall be immediately repaired in a manner acceptable to the architect and Owner. If satisfactory repairs cannot be made, the contractor shall replace systems and elements with "new" products acceptable to the architect. All repairs and replacement costs shall be the financial responsibility of the contractor.

The Contractor shall protect the work, adjacent space/property, common areas, public utilities, and the public, and shall be responsible for any damage or injury due to neglect.

The Contractor will provide plywood or Masonite floor protection with tape sealed joints completely along routes used for delivery and removal of materials.

The Contractor shall provide and/or use protective pads around openings.

The Contractor shall protect all existing landscape during construction and restore any damage to existing conditions upon completion of construction.

The Contractor shall protect all existing site trees, slated to remain, from damage during the construction process.

GN-8 MATERIAL AND EQUIPMENT: Install all materials and assemblies per the manufacture's specifications.

affect the quality of each product to be installed. If any conditions exist that will have a detrimental effect on the quality of the installation, the installer shall immediately advise the contractor. Installation shall not proceed until the unsatisfactory conditions are corrected. Installation of products shall signify acceptance by the installer of the substrate conditions. For the purpose of pricing or estimating, when a conflict or discrepancy exists in the drawings and/or specifications, the contractor is to price the higher cost item.

development The contractor shall promptly remove and properly dispose of all construction and demolition debris.

GN-9 SECURITY:

The contractor shall become familiar with, be responsible for, and comply with, the owner's procedures for maintaining a secure site and building.

The Owner will not assume any liability for theft, loss, or damage.

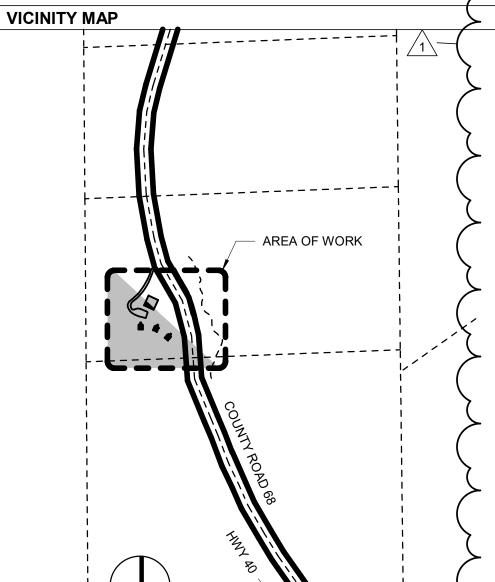
All finish materials shall conform to IBC for flame spread and smoke

GN-10 GUARANTEES:

from date of replacement or correction.

Contractor shall guarantee all work against defects in materials and workmanship for a period of one year following the Owner's receipt of the Certificate for Occupancy unless otherwise agreed to with the Owner. Within this period, upon written notice from the Owner, Contractor shall replace or correct any defects in materials, workmanship, or equipment that proves defective or does not conform to contract documents, and shall extend guarantee one year

This guarantee shall not limit other guarantees on special materials or equipment.



SEPTIC OWTS SITE PLAN SEPTIC PLAN, PROFILE & DETAILS ARCHITECTURAL A1.0 SITE PLAN BARN FLOOR PLANS BARN EXTERIOR ELEVATIONS BARN INTERIOR ELEVATIONS CABIN PLANS AND ELEVATIONS BARN AND CABINS REFLECTED CEILING PLANS BARN AND CABINS SECTIONS BARN AND CABINS DETAILS BARN AND CABINS DETAILS SCHEDULES & ENERGY COMPLIANCE STRUCTURAL NOTES AND SPECS PLANS AND DETAILS TIMBER - BARN GEN. NOTES AND AXONOMETRIC TF2 AXONOMETRIC TF3 AXONOMETRIC TF4 AXONOMETRIC EXPLODED TF5 POST PLAN LOFT PLAN TF7 **ROOF PLAN** TF8 SOUTH ELEVATION TF9 WEST ELEVATION TF10 LONGITUDINAL SECTION EXTERIOR BENT SECTION INTERIOR BENT SECTION TF13 BRACES & DETAILS TF14 POST BASE TIMBER - CABIN TEC1 INDEX OF DRAWINGS TFC2 AXONOMETRIC TFC3 DETAILS TFC4 DETAILS TFC5 GENERAL NOTES TFC6 SCHEDULES TFC7 POST PLAN TFC8 ROOF PLAN TFC9 FRONT ELEVATION TFC10 RIGHT ELEVATION TFC11 REAR ELEVATION TFC12 LEFT ELEVATION TFC13 SECTION VIEW TFC14 SECTION VIEW TFC15 PLATES TFC16 TIE BEAM TFC17 KNEE BRACE TFC18 KING POST TFC19 POST A-1

accommodations have to be within one building meaning sleeping

Jse Dwelling Per Routt County Planning SUP PL20210018.

UHL BARN AND CABINS

COUNTY, COLORADO

THIS PROJECT IS TO CONSIST OF A TIMBER-FRAMED BARN AND 3

BE SIPS PANELS W/ CONVENTIAL FRAMING @ THE CABIN WALLS.

THE BARN IS **1680 GSF** W/ **575 SF** OF UNFINISHED LOFT

TIMBER FRAMED CABINS. ROOF AND EXTERIOR CONSTRUCTION WILL

THE CABINS ARE 230 GSF W/ 105 SF OF UNFINISHED STORAGE LOFT

Planning SUP PL20210018. A Secondary Dwelling to be built per the 2018

OCCUPANT LOAD INFORMATION: Per PL20210018 is as follows: Three

Guest Cabins, each cabin is allowed two guests at a time, for a maximum of 6

occupants total sharing the bathroom and kitchen area in the main level of the

90 PSF (ROUTT CO SNOW MAP)

R-20+5 CONT.

R-38 R-49

DECAY: NONE TO SLIGHT AIR FREEZING INDEX: 2239

115 MPH (VULT)

CLIMATE ZONE 7

OCCUPANCY: Residential Accessory Use Dwelling Per Routt County

LEGAL DESCRIPTION THE SW1/4 NW1/4 AND THE E1/2 SW 1/4

40343 COUNTY ROAD 68,

STEAMBOAT SPRINGS CO 80487

SECTION 1 TN6 R87W, 6TH P.M., ROUTT

Occupant Load Information Per PL20210018 is as follows:

dwelling, sanitation and cooking would have to be in each building p

Please insert for Occupancy Type the following: Residential Accessory

Three Guest Cabins, each cabin is allowed two guests at a time, fdr a

SHEET INDEX

TFC20 POST A-2

TFC21 POST B-1

TFC22 POST B-2

TFC23 RAFTER

TFC24 RAFTER

CODE SUMMARY

ADDRESS

PROJECT INFORMATION

PROJECT DESCRIPTION

BUILDING INFORMATION:

IRC will be a stand-alone R-3 Occupancy.

2018 INTERNATIONAL RESIDENTIAL CODE

2018 INTERNATIONAL MECHANICAL CODE

2018 INTERNATIONAL PLUMBING CODE

2018 INTERNATIONAL (E) BUILDING CODE

IECC AND IEBC REQUIREMENTS

FENESTRATION U-FACTOR / FIXED

IECC - INSULATION & THERMAL CRITERIA CLIMATE ZONE 7

2018 INTERNATIONAL ENERGY CODE

2018 INTERNATIONAL FIRE CODE

2020 NATIONAL ELECTRICAL CODE

DESIGN CRITERIA (2020 IRC)

SIESMIC DESIGN CATEGORY:

TERMITE: NONE TO SLIGHT

EXTERIOR WALLS

SLAB - RIGID, 4 FT.

SKYLIGHT U-FACTOR

FLOOR

WINTER DESIGN TEMP: -15° F MEAN ANUAL TEMP: 40-45° F

SNOW LOAD:

WIND DESIGN:

FROST DEPTH:

CONSTRUCTION TYPE: V-B

ADOPTED BUILDING CODES:

G1.0 COVER SHEET

SURVEY

ARCHITECTURAL

creative sustainable place

Bill Uhl

626 Franklin Street

Denver, CO 80218

303-945-6920

ARCHITECT:

Kenny Davis

Studio+QUAD

303-960-5813

PO Box 1421

970-318-6026

PO Box 1421

970-318-6026

Chris Miller

PO Box 133

SEPTIC:

5690 Webster St

Arvada CO 80002

Jonathan Batson, P.E.

Cimarron Engineering

Ridgeway CO 81432

Jonathan Batson, P.E.

Cimarron Engineering

Ridgeway CO 81432

OWNER / GENERAL CONTRACTO

bill@orangewiresystems.com

kenny.davis@studioguad.com

jonathanbatsoneng@gmail.com

STRUCTURAL (FOUNDATION):

jonathanbatsoneng@gmail.com

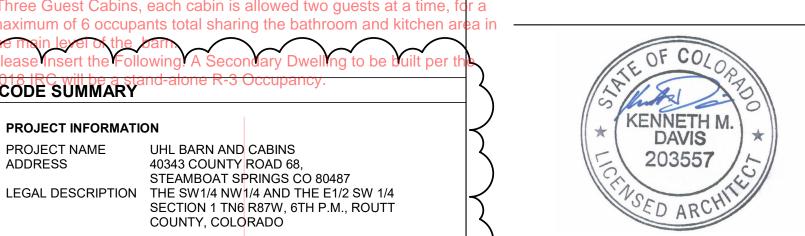
STRUCTURAL (TIMBER):

Timberframe Headquarters

Mountain Rest, SC 29664

projects@timberframehq.com

888-552-9379 +102



UHL BARN AND **CABINS**

40343 COUNTY RD 68, STEAMBOAT SPRINGS, CO 80487

ISSUES/REVISIONS

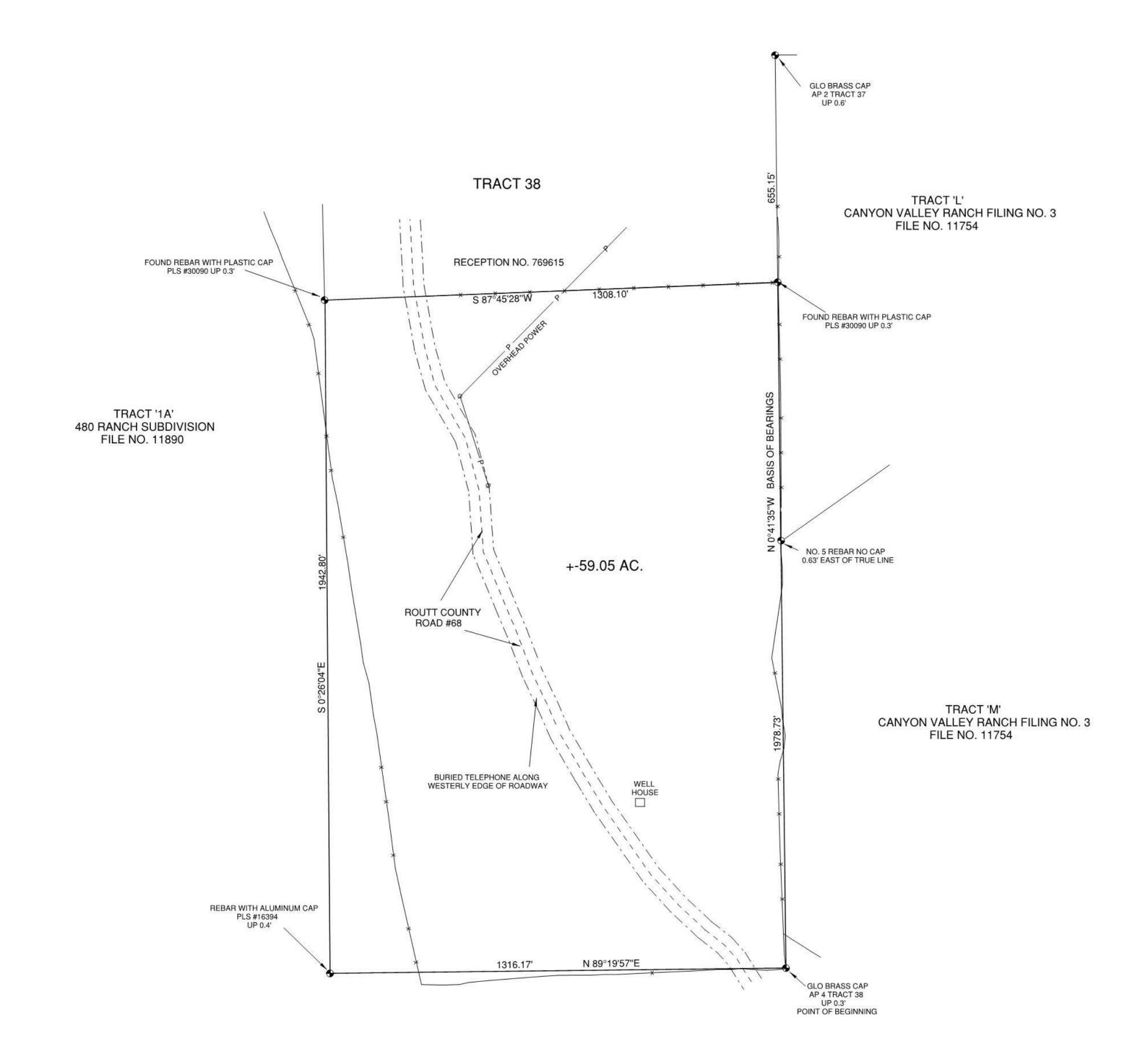
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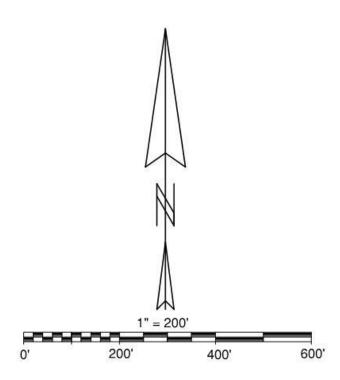
NO.	ISSUE/REVISION-NAME	DATE
0.0	PERMIT SET	5/24/23
1.0	PERMIT SET COUNTY COMMENTS	7/23/23
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COVER SHEET

IMPROVEMENT SURVEY PLAT

PORTIONS OF TRACT 38, SECTION 1 T6N R87W, 6th P.M., ROUTT COUNTY, COLORADO





INDICATES MONUMENT FOUND AS NOTED

- 1. THE HISTORIC LEGAL DESCRIPTION AS NOTED IN THE TITLE COMMITMENT IS PER ORIGINAL SECTIONS, THE GOVERNMENT RESURVEY DESIGNATED PORTIONS OF IT AS TRACT 38, WHICH IS THE BASIS OF THE SHOWN LEGAL DESCRIPTION.
- 2. BEARINGS BASED ON THE INDICATED PORTION OF THE EAST LINE OF TRACT 38.
- 3. ALL MEASUREMENTS, U.S. SURVEY FEET.

HISTORIC LEGAL DESCRIPTION THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER AND THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 1, TOWNSHIP 6 NORTH, RANGE 87 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF ROUTT, STATE OF COLORADO,

EXCEPT THOSE PORTIONS CONVEYED IN THE DEEDS RECORDED AUGUST 3, 2007 UNDER RECEPTION NO. 661784 AND JUNE 23, 2016 UNDER RECEPTION NO. 769615.

LEGAL DESCRIPTION

A tract of land located in Tract 38 (E1/2 W1/2 Original Survey), Section 1, T6N R87W, 6th P.M., Routt County, Colorado, being more particularly descri

BEGINNING at the GLO Brass Cap at AP 3 Tract 38 thence N 0°41'35" W along the West line of Tracts 'L' and 'M', of CANYON VALLEY RANCH, Filing No. 3 recorded at File No. 11754 records of Routt County, and on the East line of said Tract 38 a distance of 1978.73 feet to the Southeast Corner of that parcel of land of record at Reception No. 769615; thence S 87°45'28" W along the South line of said parcel a distance of 1308.10 feet, to a point on the West line of said Tract 38 and on the East line of Tract '1A', 480 RANCH SUBDIVISION, recorded at File No. 11890; thence S 0°26'04"E along said lines a distance of 1942.80 feet, to an Aluminum Cap PLS #16394 at AP 3 of Tract 38; thence N 89°19'57" E along the South line of Tract 38 a distance of 1316.17 to the POINT OF BEGINNING, containing 59.05 Acres, more or less.

Subject to the traverse and Right-of-Way of Routt County Road No. 68 and any other restrictions or encumbrances of record.

Basis of Bearings - The monumented portion of the East line of Tract 38 defined by GLO Brass Caps at AP 4, Tract 38 and AP 2, Tract 37 - S00°41'35"E

I, GORDON R. DOWLING, BEING A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE HEREON SHOWN IMPROVEMENT SURVEY AND PLAT THAT IT REPRESENTS WAS PERFORMED AND PREPARED BY ME OR UNDER MY DIRECT SUPERVISION, AND THAT BOTH ARE CORRECT AND ACCURATE TO THE BEST OF MY KNOWLEDGE, MONUMENTS WERE SET OR FOUND AS INDICATED.

ROUTT COUNTY SURVEYOR'S ACCEPTANCE

This plat was (filed and) indexed as File No. SP____on___, 2023, at ____.m in the land survey plat records file and index system maintained in the office of the Routt County Clerk and Recorder pursuant to C.R.S. 38-50-101.

Routt County Surveyor

By: _____ Thomas H. Effinger, Jr. PLS #17651

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED ON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT, IN NO EVENT MAY ANY ACTION BE COMMENCED MORE THEN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON.

W	TLLIA	M & JOI	DI UHL		IMPROVEMENT SURVEY
SECTIO		ACT 38 F6N R87	W, 6th	P.M.	PLAT
ROUT	T COI	JNTY, C	OLOR	ADO	DOWLING LAND SURVEYORS P.O. BOX 954
SCALE	DWG	DATE	REV	FILE	HAYDEN, CO. 81639 (970) 276-3613
1" 200"	CBD	6/26/23		FOXUHL22	FAX 276-4595

Pursuant to C.R.S. S 38-51-106 (1) (b) (l), research regarding the Rights-of-Way and easements as shown hereon was obtained by Title Commitment No. R30027046-7, as prepared by LAND TITLE GUARANTEE COMPANY as of August 6, 2021, and not from the personal search of Gordon R. Dowling, a Professional Land Surveyor in the State of Colorado.



Bill Uhl 626 Franklin Street Denver, CO 80218 303-945-6920 bill@orangewiresystems.com

ARCHITECT: Kenny Davis Studio+QUAD 5690 Webster St Arvada CO 80002 303-960-5813

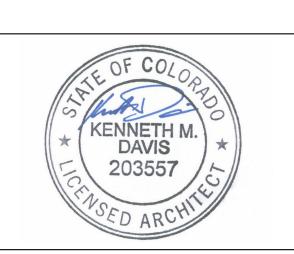
kenny.davis@studioquad.com SEPTIC: Jonathan Batson, P.E. Cimarron Engineering PO Box 1421 Ridgeway CO 81432 970-318-6026

jonathanbatsoneng@gmail.com

STRUCTURAL (FOUNDATION):
Jonathan Batson, P.E.
Cimarron Engineering
PO Box 1421
Ridgeway CO 81432
970-318-6026 jonathanbatsoneng@gmail.com

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Mountain Rest, SC 29664
888-552-9379 +102
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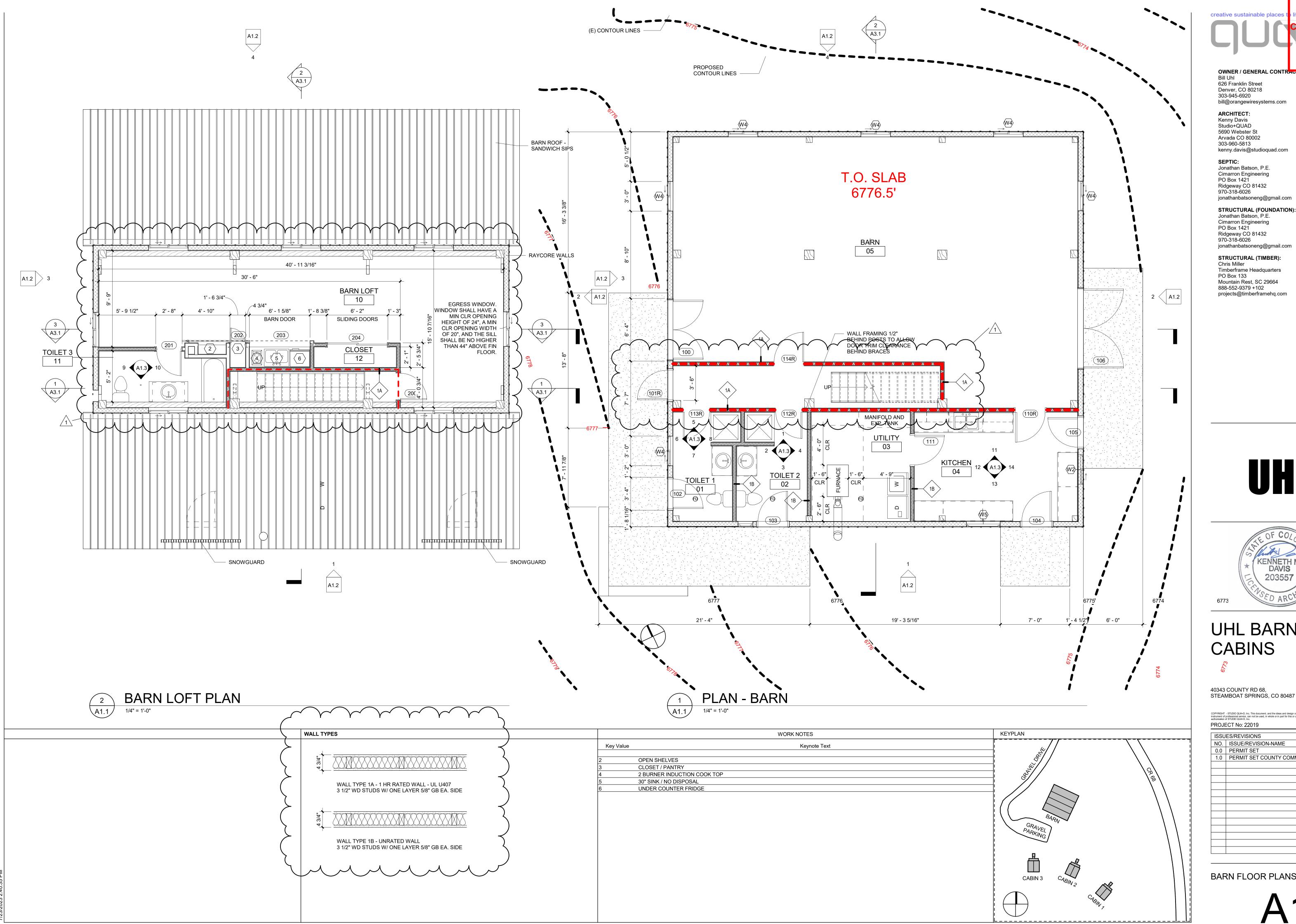
UHL BARN AND CABINS

40343 COUNTY RD 68, STEAMBOAT SPRINGS, CO 80487

PROJECT No: 22019

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NO.	ISSUE/REVISION-NAME	
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1.0	PERMIT SET COUNTY COMMENTS	7
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SITE PLAN





OWNER / GENERAL CONTRACTOR Bill Uhl 626 Franklin Street Denver, CO 80218 303-945-6920 bill@orangewiresystems.com

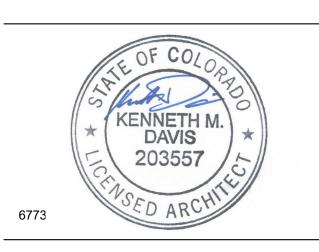
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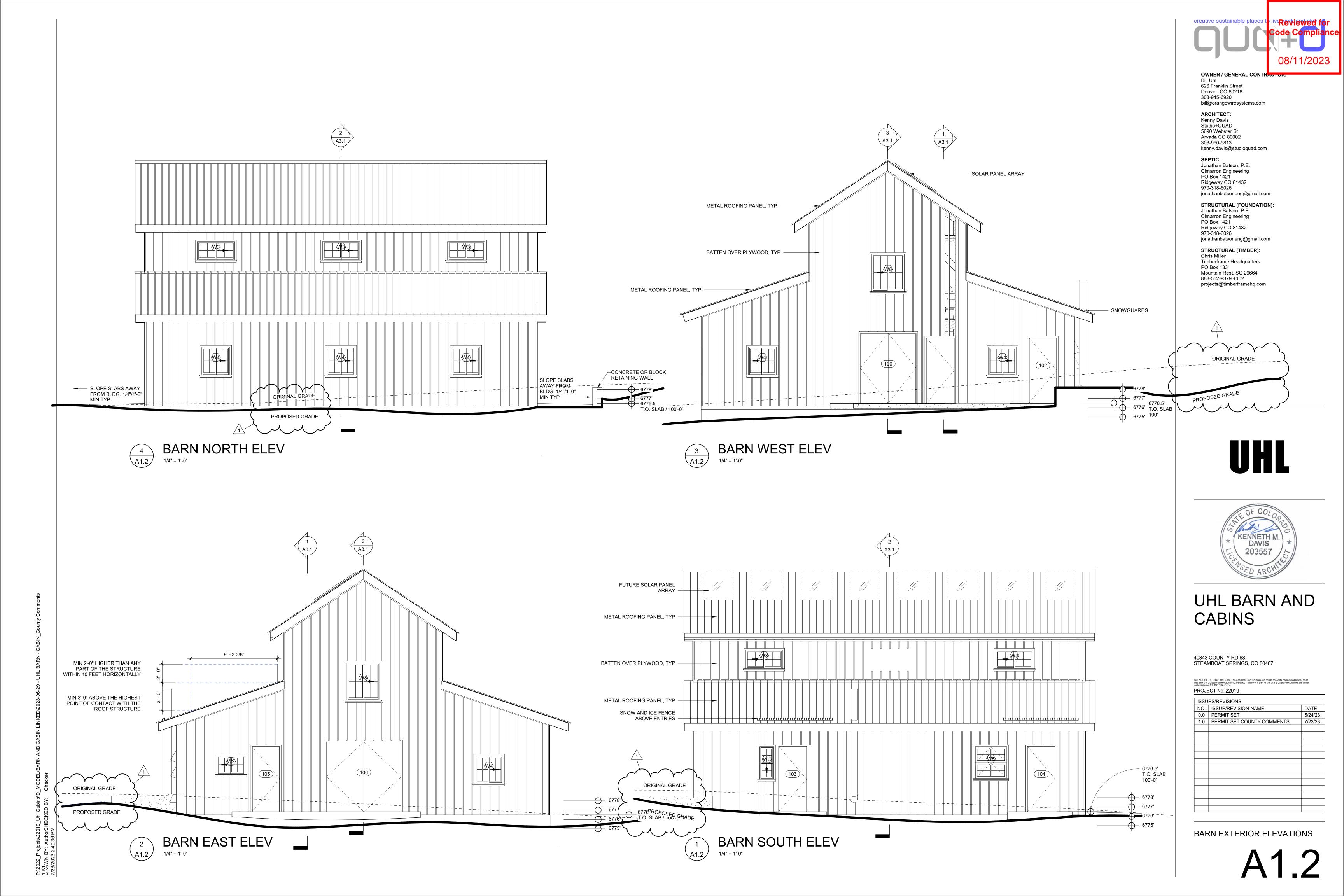
UHL BARN AND **CABINS**

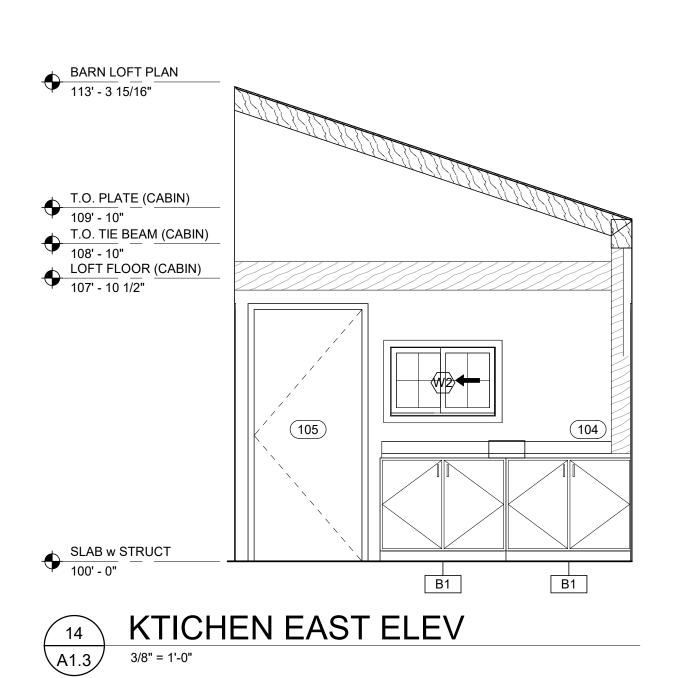
40343 COUNTY RD 68,

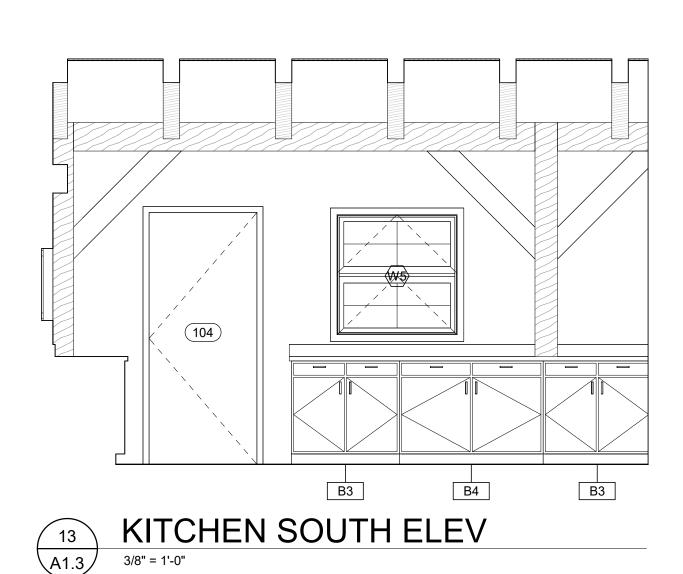
PROJECT No: 22019

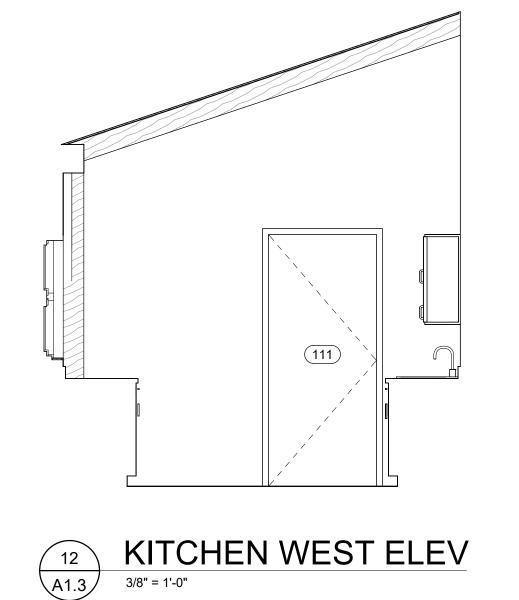
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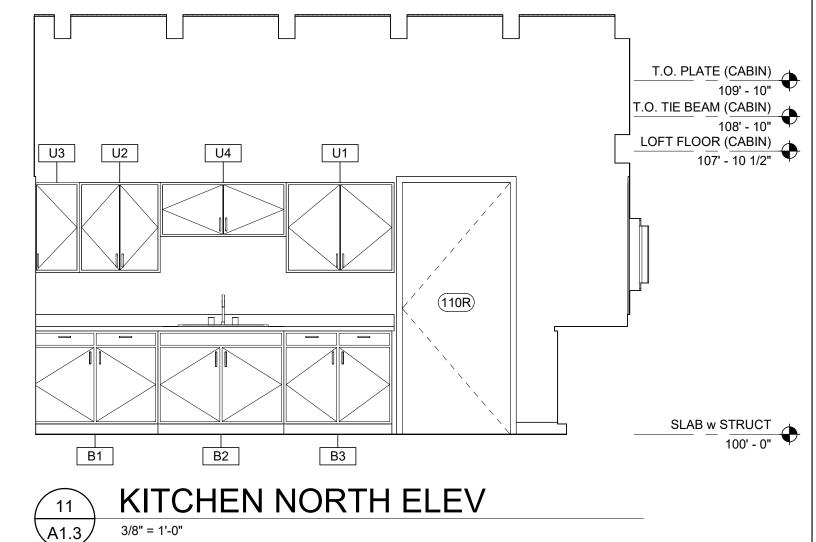
BARN FLOOR PLANS

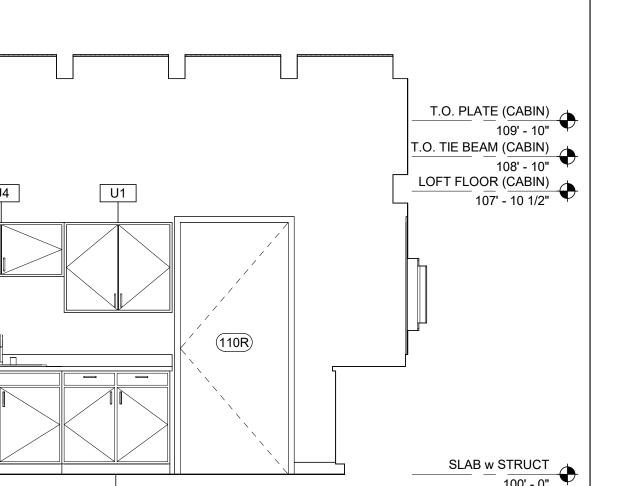


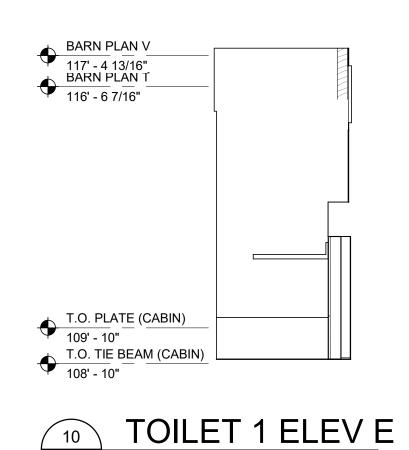


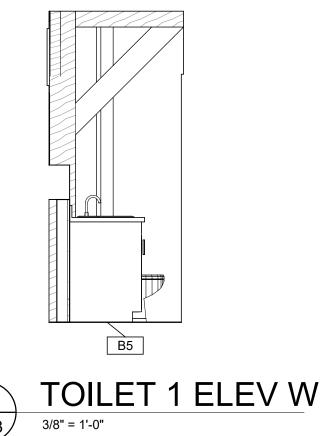




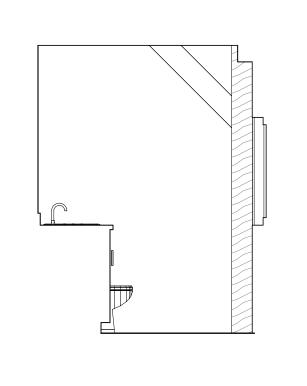


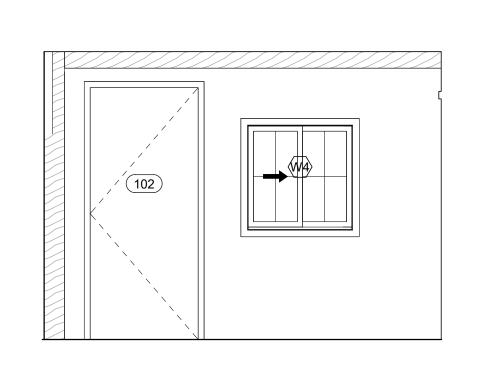






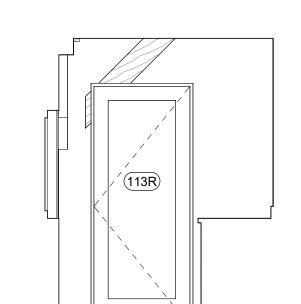




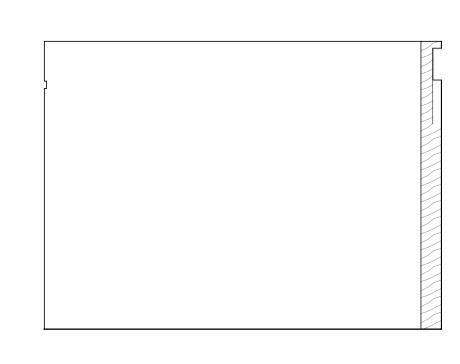




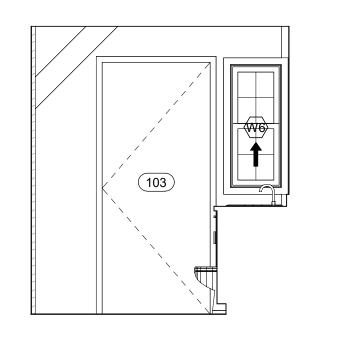
TOILET 2 ELEV W 6 A1.3



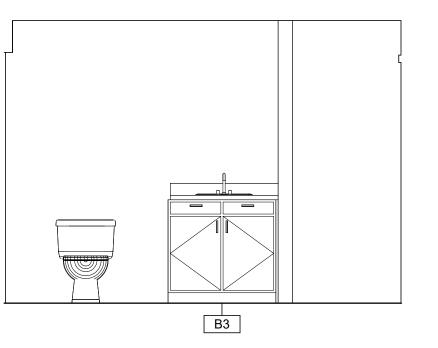




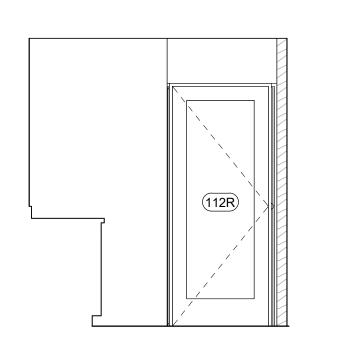
TOILET 3 ELEV E3/8" = 1'-0"



TOILET 3 ELEV S
3/8" = 1'-0"



TOILET 3 ELEV W



TOILET 3 ELEV N 1 A1.3 3/8" = 1'-0"



creative sustainable places t

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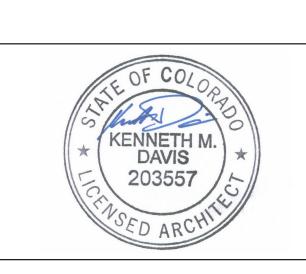
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STRUCTURAL (TIMBER): Chris Miller

Timberframe Headquarters

Mountain Rest, SC 29664 888-552-9379 +102 projects@timberframehq.com

PO Box 133



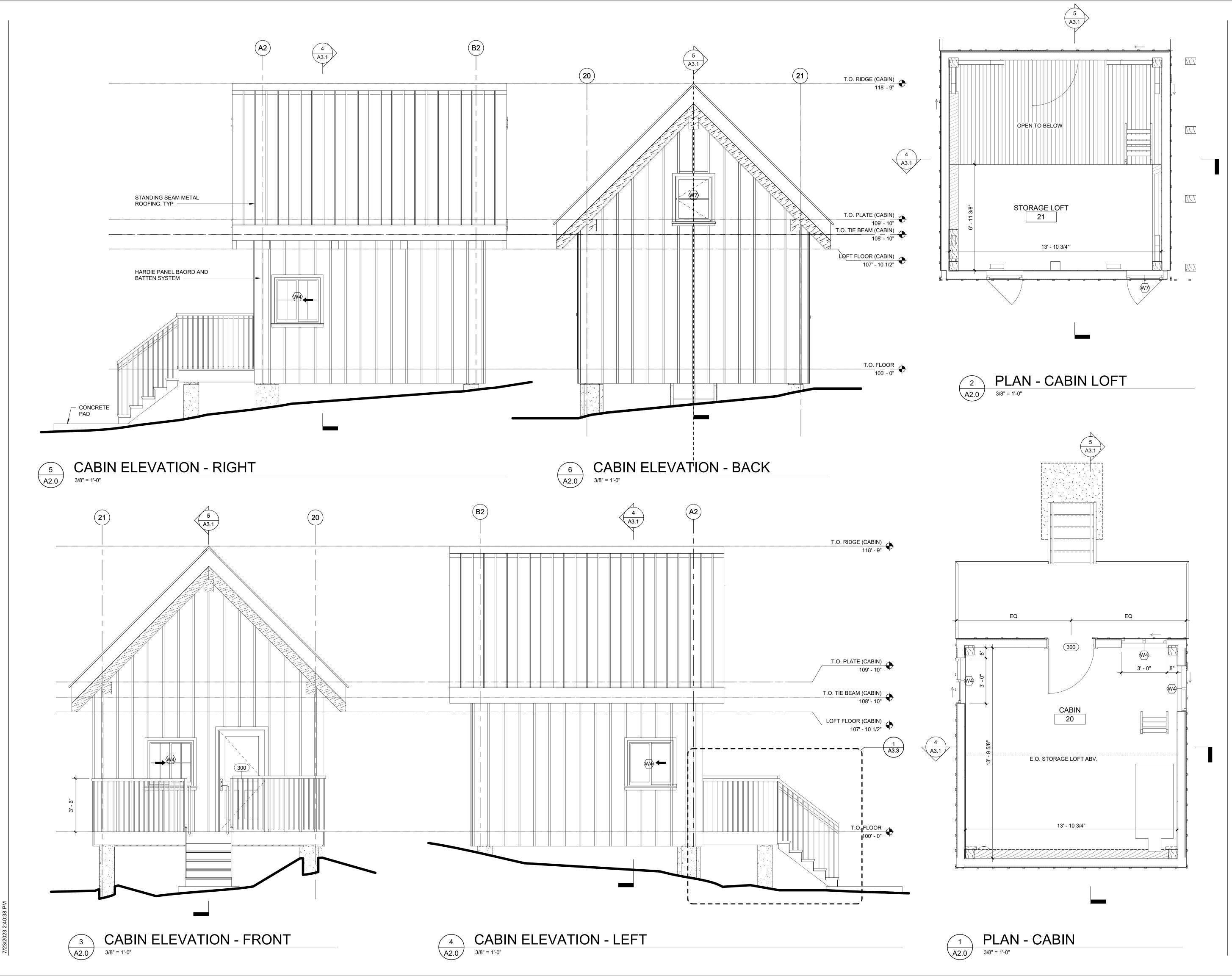
UHL BARN AND CABINS

40343 COUNTY RD 68, STEAMBOAT SPRINGS, CO 80487

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_CT NO. 22019	
ES/REVISIONS	
ISSUE/REVISION-NAME	DATE
PERMIT SET	5/24/23
PERMIT SET COUNTY COMMENTS	7/23/23
	ES/REVISIONS ISSUE/REVISION-NAME PERMIT SET

BARN INTERIOR ELEVATIONS





Bill Uhl 626 Franklin Street Denver, CO 80218 303-945-6920 bill@orangewiresystems.com

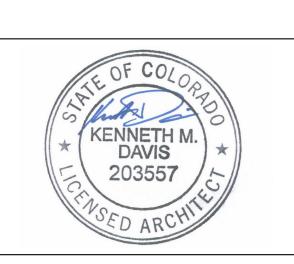
ARCHITECT: Kenny Davis Studio+QUAD 5690 Webster St Arvada CO 80002 303-960-5813 kenny.davis@studioquad.com

Jonathan Batson, P.E. Cimarron Engineering PO Box 1421 Ridgeway CO 81432 970-318-6026 jonathanbatsoneng@gmail.com

STRUCTURAL (FOUNDATION):
Jonathan Batson, P.E.
Cimarron Engineering
PO Box 1421 Ridgeway CO 81432 970-318-6026 jonathanbatsoneng@gmail.com

STRUCTURAL (TIMBER): Chris Miller Timberframe Headquarters PO Box 133 Mountain Rest, SC 29664 888-552-9379 +102 projects@timberframehq.com





UHL BARN AND CABINS

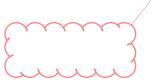
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CABIN PLANS AND ELEVATIONS



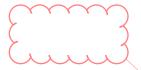
LIGHTING LEGEND LED RECESSED CAN LIGHT WET LOCATION VENTILATION FAN VANITY LIGHT

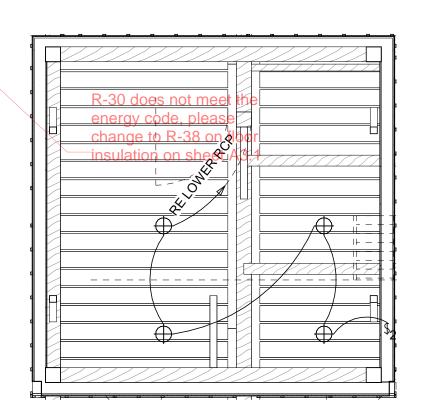
──── VANITY LIGHT

—── LED STRIP LIGHT

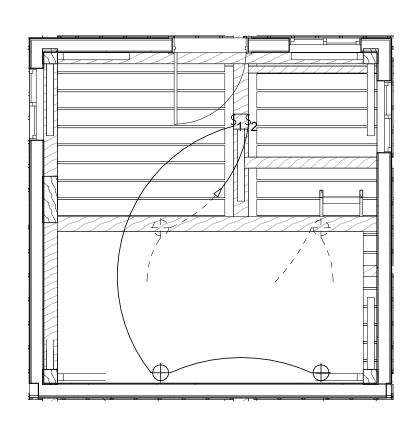
\$1 SINGLE SWITCH \$2 2 WAY SWITCH

\$3 3 WAY SWITCH
\$A AUTOMATIC / HINGE SWITCH

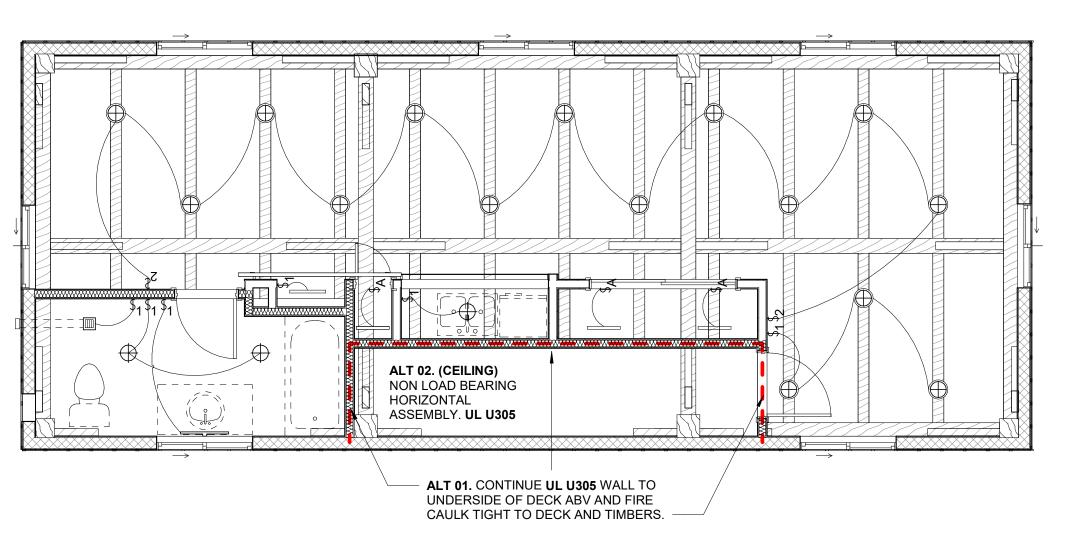


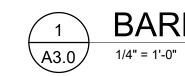




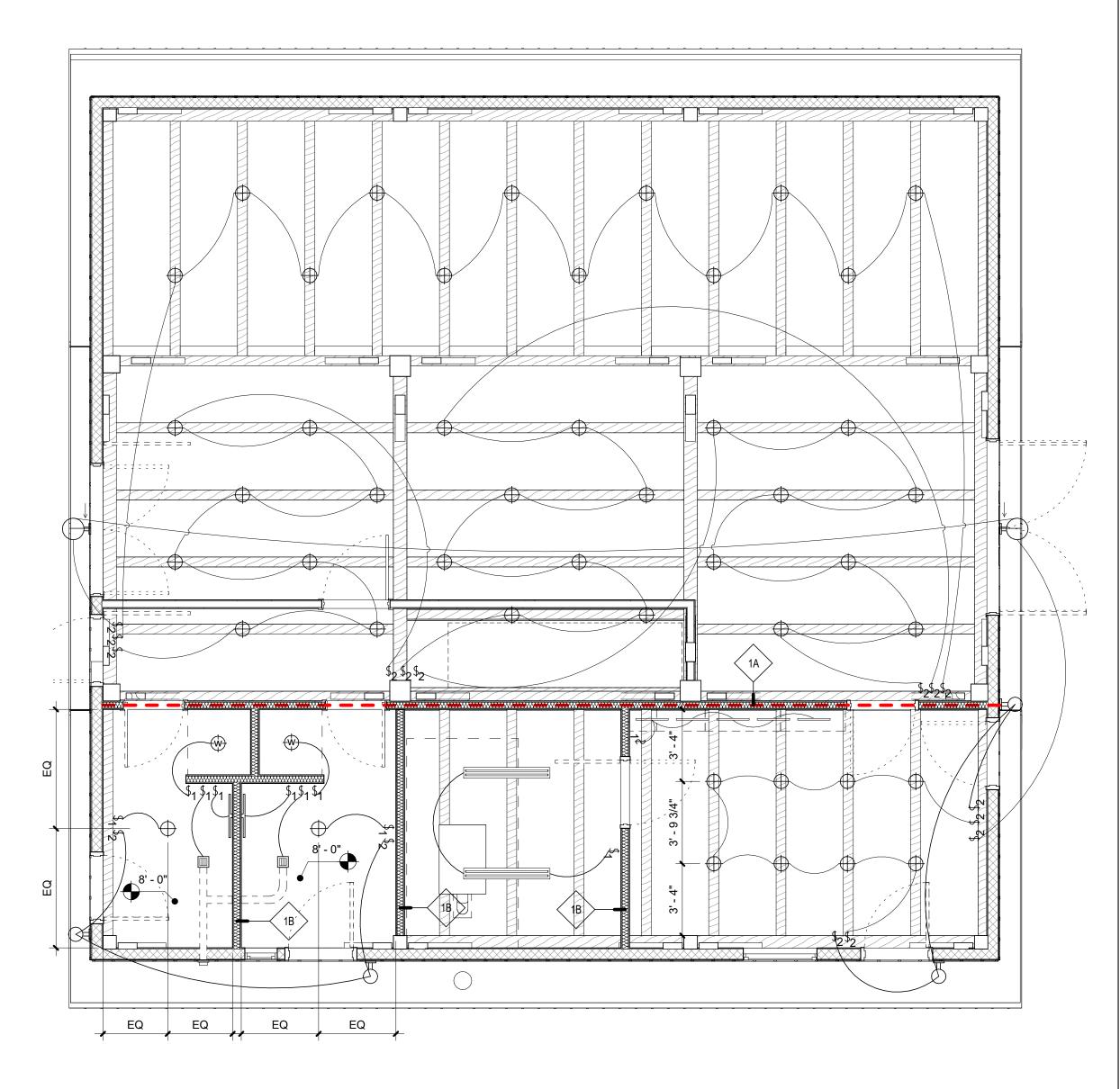








BARN LOFT RCP / LIGHTING







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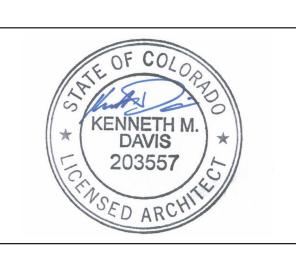
ARCHITECT:
Kenny Davis
Studio+QUAD
5690 Webster St
Arvada CO 80002
303-960-5813
kenny.davis@studioquad.com

SEPTIC:
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Cimarron Engineering
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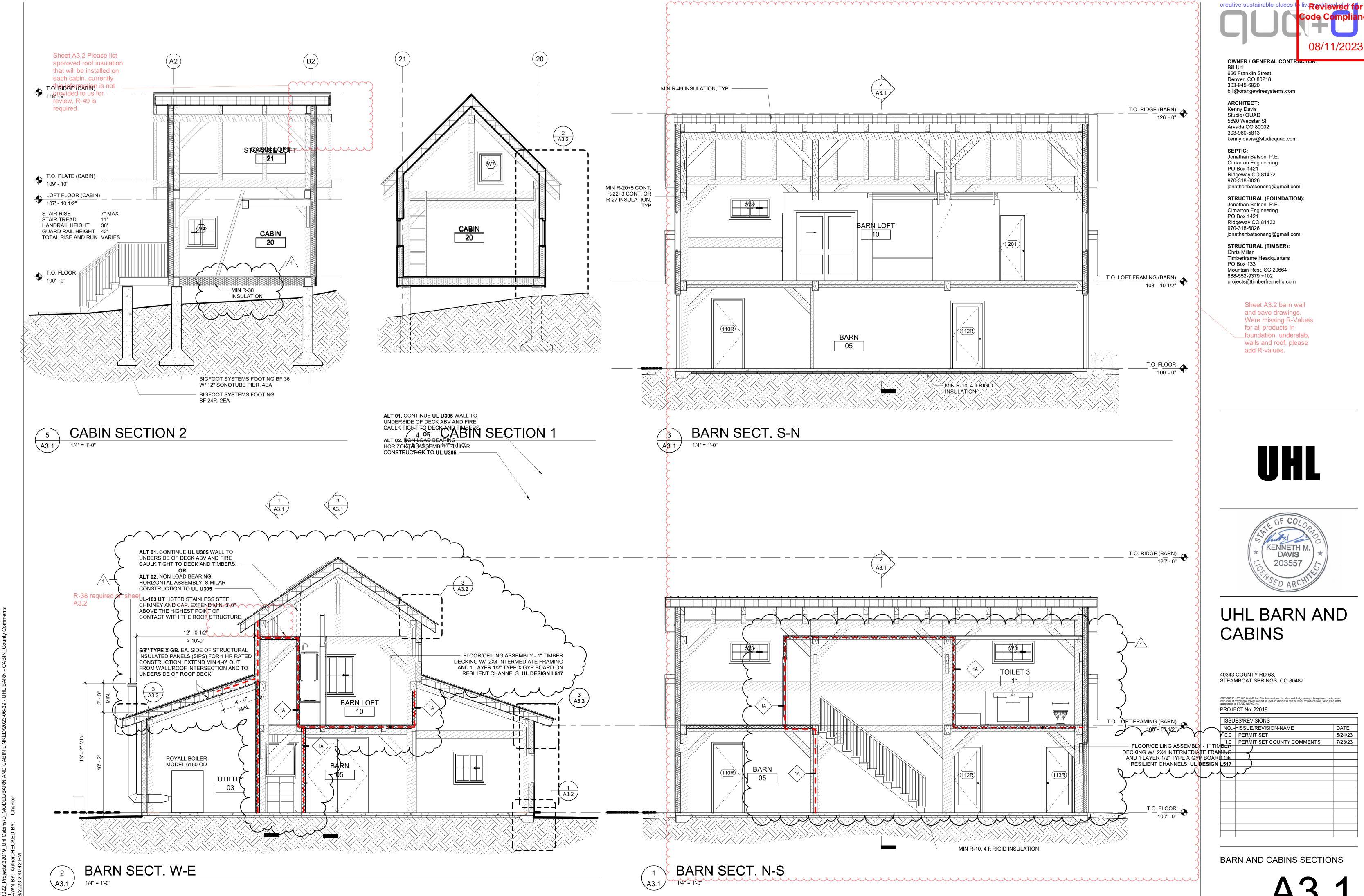
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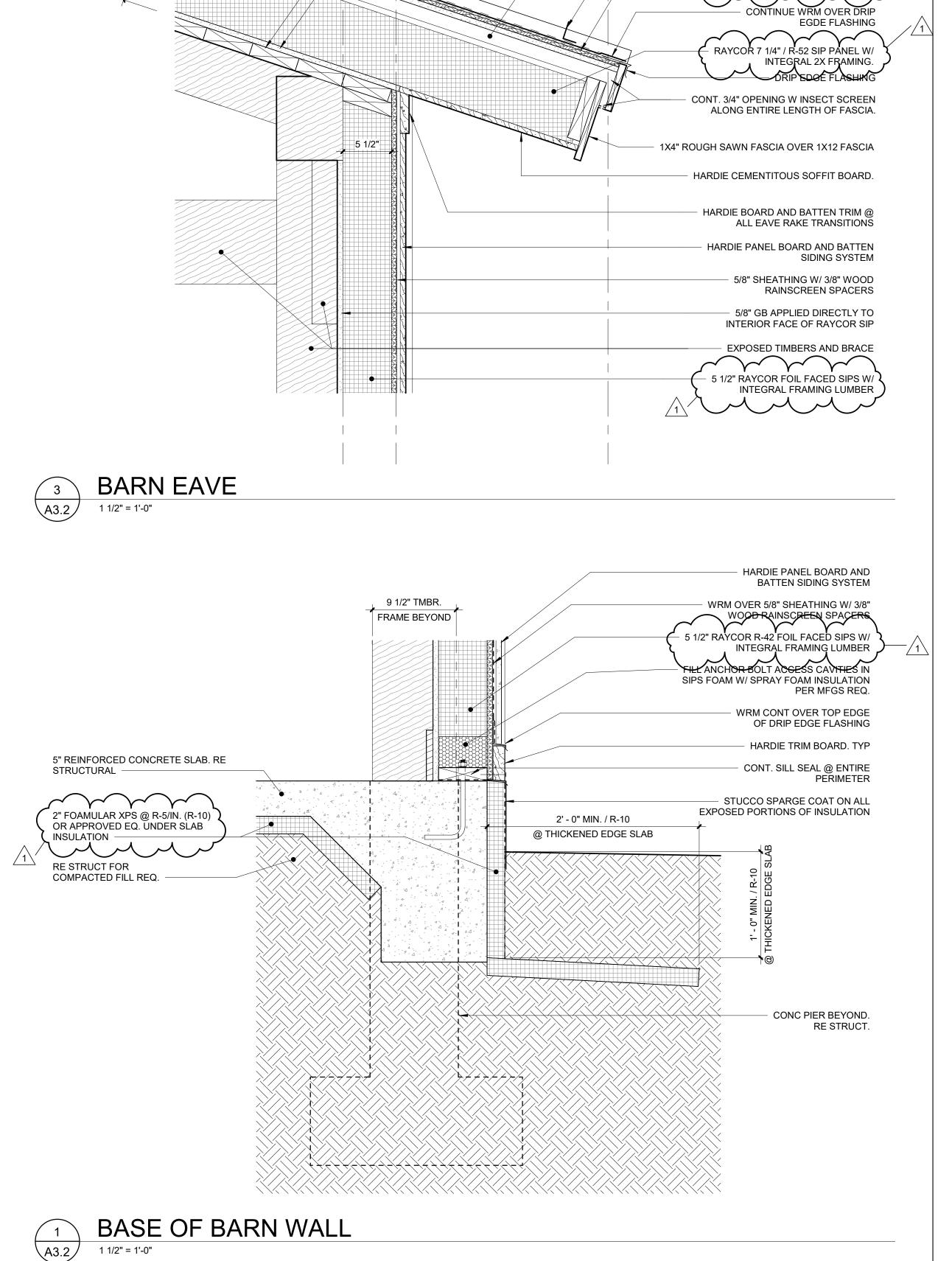
10011	EC/DEVICIONIC	
1550	ES/REVISIONS	
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-		

BARN AND CABINS REFLECTED CEILING PLANS

A3.0



A3.2



1 1/2" = 1'-0"



Bill Uhl 626 Franklin Street Denver, CO 80218 303-945-6920 bill@orangewiresystems.com

5/8" GEORGIA PACIFIC TOUGHROCK FIREGUARD X

2X4s @ 24"O.C. AND ANCHORED TO

INTEGRAL 2X8 SIPS FRAMING MEMBERS TO

FORM VENT CHANNELS FOR COLD ROOF

RE ROOF PLANS FOR SNOW

5/8" GEORGIA PACIFIC TOUGHROCK

FIREGUARD X OVER 7/16" ROOF SHEATHING OR APPROVED EQ.

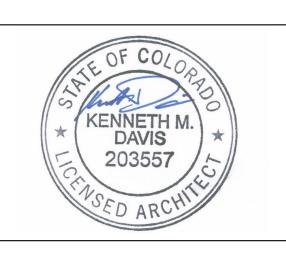
OVER ENTIRE ROOF SURFACE

ARCHITECT: Kenny Davis Studio+QUAD 5690 Webster St Arvada CO 80002 303-960-5813 kenny.davis@studioquad.com

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UHL BARN AND **CABINS**

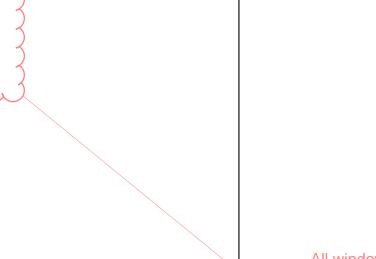
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BARN AND CABINS DETAILS

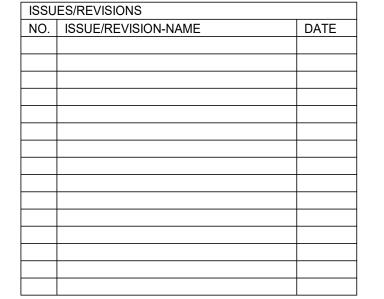


All windows must have a U-factor of .30 or less, please change this on window schedule on sheet A4.0

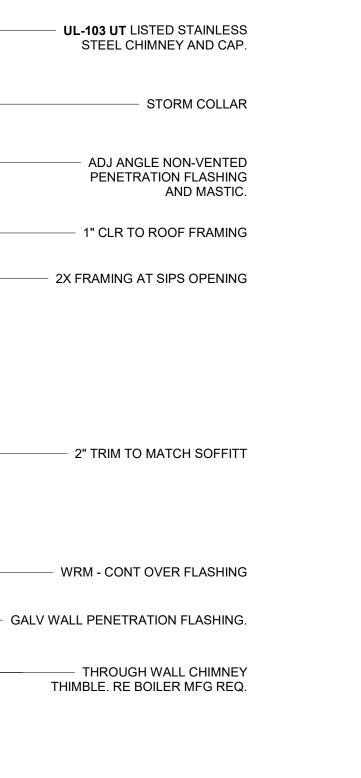
UHL BARN AND CABINS

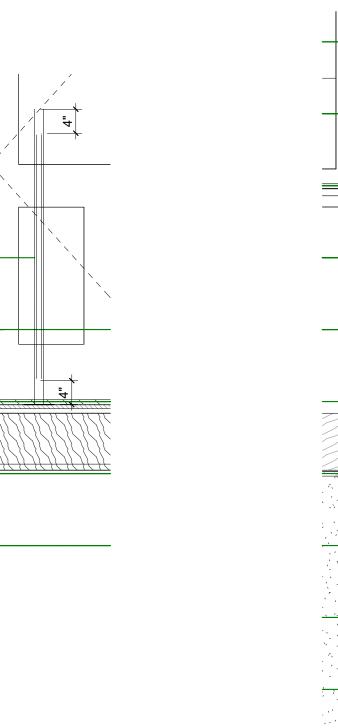
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BARN AND CABINS DETAILS





CABIN STAIR DETAIL

(1) (A3.3)

3/4" = 1'-0"





SPACING PER FABRICATOR

1 1/2" x 3/4"_ METAL TOP RAIL,

1 1/2" x 1 1/2"____ METAL BALASTER

3/4" x 3/4" METAL RAIL -

4" SPHERE—

311.7.8 & 312

GUARD RAIL AND MOUNTING SYSTEM BY OTHERS - MUST MEET THE REQUIREMENTS OF THE IBC SECTIONS



BARN EAVE PENETRATION

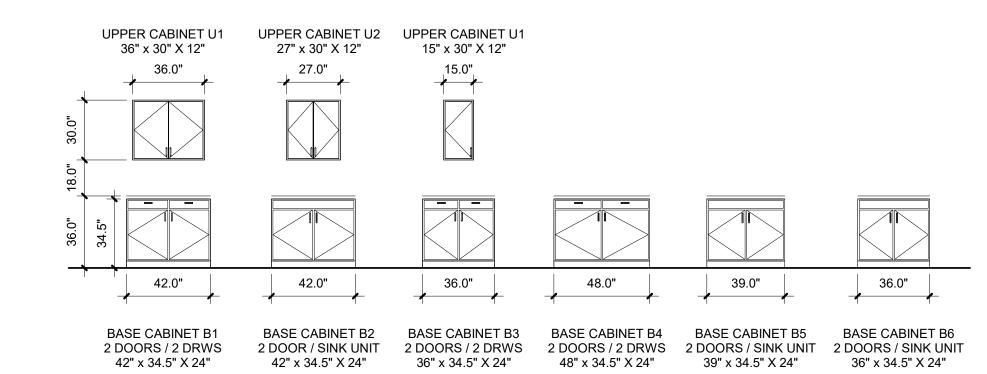
2018 IECC MANDATORY REQUIREMENTS

Vapor Retarder: Class I =Poly Class II =Kraft-Faced insulation	Follow IRC Section R702.7 or IBC Section 1405.3 Class of vapor retarder is based upon selected methods of insulating the exterior walls of the structure.					
Class III = Paint Windows and Doors U-Factor = 0.30	R402.1.5 Total UA Alternative may be used to lower the U-Factor					
Skylights U-Factor = 0.55 Ceiling Insulation with Attic Space = R49	R402.1.5 Total UA Alternative may be used to lower the U-Factor R402.2.1 reduction to R38 wherever the full height of uncompressed R-38 extends over the wall top plate at the eaves.					
Ceiling Insulation without Attic Space = R-49	R402.2.2 reduction to R30 provided when roof/ceiling assemblies don't have sufficient space.					
Wood Framed Wall Insulation: 2x6 wall = R20/5	R20 in the cavity of the wall and R5 continuous insulation, R22 in the cavity of the wall and					
Wood Framed Wall Insulation: 2x6 wall = R22/3	R3 continuous insulation, or R27 in the cavity of the wall and no continuous insulation.					
Wood Framed Wall Insulation: 2x6 wall = R27/0	Walls with Structural Sheathing see Section R402.2.7 for reduction					
Wood Framed Wall Insulation: 2x4 wall = R13/10	R13 in the cavity of the wall and R10 continuous insulation. Walls with Structural. Sheathing see Section R402.2.7 for reduction					
Mass Walls R-19/21	Defined & Reviewed based upon formula from Section 402.2.5					
Floor Insulation = R38	See Section 402.2.8 for definition and exception					
Basement Wall Insulation = R-15/19	See Section 402.2.9 for definition R15 continuous on either side or R19 on interior side. See footnotes in R402.1.2 for alternatives					
Concrete Slab on Grade Insulation = R10/4ft	See Section R402.2.10 Insulation depth shall be depth of the footing minimum of 4 feet.					
Crawl Space Wall Insulation = R15/19	See Section R402.2.11 for definition R15 continuous on either side or R19 on interior side.					
Fenestration Air Leakage: windows, sliding doors, skylights	= 0.3 cfm/sf Exception for site built windows, skylights, and doors.</td					
Fenestration Air Leakage: Swinging Doors	= 0.5 cfm/sf Exception for site built doors.</td					
Air Leakage: The building thermal envelop shall	All products installed in accordance with manufactures instructions and be labeled					
be constructed to limit air leakage.	in accordance with the requirements of the 2018 IECC.					
Fireplaces new wood-burning units	See Section R402.4.2 Information on tight fitting doors and labels required.					
Programmable thermostats required for all heating and cooling equipment installed in a dwelling unit.	See Section R403.1.1: Thermostat to have daily schedules and temperature setback for scheduled times of the day.					
Duct Insulation: Attic spaces R8 when 3" diameter or greater	See Section R403.3.1 for exception where ducts are completely within the					
Duct Insulation: Attic spaces R6 when less than 3" diameter	building thermal envelope. See Section R403.3.1 for exception where ducts are completely within the building thermal envelope.					
Sealing: Mandatory for ducts, air handlers and	See Section R403.3.2 for exceptions.					
filter boxes. Hot water boiler outdoor temperature setback:	See Section R403.2 Hot water boilers that supply heat to the building through					
not water boiler outdoor temperature setback.	one or two-pipe heating systems shall have an outdoor set-back control that					
Mechanical System Piping insulation: Mandatory	lowers the temperature based on outdoor temperature. See Section R403.4 mechanical piping carrying fluids above 105 F or below 55					
Circulating systems / Heat trace systems/	F shall be insulated with R3 minimum. See Section R403.5.1.1, R403.5.1.2, R403.5.2 for information on operations					
Demand recirculation systems:	and controls for pumps and specific electric heat trace systems.					
Hot water pipe insulation required to be R3	See Section R403.5.3 for list of required piping that requires R3					
Mechanical Ventilation: The building should be provided with mechanical ventilation or approved	See Section R403.6 and R403.6.1 for definitions and refer the 2015 IRC Sections M1507 for system design and requirements.					
method per requirements.	Sections Wilsor for system design and requirements.					
Systems serving multiple dwelling units:	See Section R403.8 Shall comply with Sections C403 and C404 of the IECC –					
Snow melt systems and ice system controls:	Commercial provisions in lieu of Section R403 See Section R403.9 Automatic controls shutting system when pavement temperature >50 F and no precipitations falling, automatic or manual control to shutoff as outdoor temp > 40 F					
Pools/ Permanent & Portable Spas:	See Sections R403.10 through R403.12 Heaters, Time Switches, Covers, Energy Consumption.					
Equipment Sizing and Efficiency Rating	See Section R403.7 and refer to IRC M1401.3					

						ROO	M FINISH SCHEDULE			
	FINISHES									
						W	/ALLS		CEILINGS	
#	NET AREA	ROOM NAME	FLOOR	BASE	NORTH	EAST	SOUTH	WEST	FINISH	Comments
01	77 SF TOILE	T 1	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
02	84 SF TOILE	T 2	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
03	120 SF UTILIT	ГҮ	SEALED CONC	NA	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
04	195 SF KITCH	lEN .	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
05	1,023 SF BARN		SEALED CONC	NA	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
10	481 SF BARN	LOFT	UNFIN WD	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
11	79 SF TOILE	T 3	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
12	22 SF CLOSE	ET								
20	209 SF CABIN	V	LVT	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	
21	105 SF STORA	AGE LOFT	UNFIN WD	WD	GB / PNT	GB / PNT	GB / PNT	GB / PNT	WD	

	GB / PN I		B / PN I	WD					
				WINDOW SCHEDU	JLE		كر		1
		F	R.O.					MAX U	1
Type Mark	Count	Width	Height	Type	Material	Finish	>	FACTOR	Comments
		1	1				7		7
W2	1	3' - 0"	2' - 0"	Window-Sliding-Double	TBD	TBD /		0.3)
W3	5	4' - 0"	2' - 0"	Window-Sliding-Double	TBD	TBD		0.3	1
W4	15	3' - 0"	3' - 0"	Window-Sliding-Double	TBD	TBD	$\overline{}$	0.3	
W5	1	3' - 5"	3' - 5"	Window-Awning-Double-Vertical	TBD	TBD		0.3	
W6	1	1' - 6"	3' - 6"	Window-Single-Hung	TBD	TBD /		0.3	
W7	4	2' - 5"	3' - 0"	Window-Casement-Single_Right	TBD	TBD		0.3	
W8	2	3' - 6"	4' - 0"	Window-Sliding-Double	TBD	TBD	<u> </u>	0.3	

							DOOR SO	CHEDULE			
				DOOR					FF	RAME	
Door Number	Leaf Quantity	Leaf Width	Opening Width	Height	Thickness	Material	Finish	Hardware	Material	Finish	Comments
BARN - LEVEL 1											
100	2	3' - 0"	6' - 0"	7' - 6"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ CROSS BAR	WD	PNT	
102	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
103	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
104	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
105	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	
106	2	4' - 0"	8' - 0"	7' - 6"	1 3/4"	WD	PNT	EXTERIOR ENTRY W/ CROSS BAR	WD	PNT	
110R	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	STN	PASSAGE	WD	STN	
111	1	3' - 0"	3' - 0"	7' - 0"	1 3/4"	WD	STN	STORAGE	WD	STN	
112R	1	2' - 8"	2' - 8"	6' - 8"	1 3/8"	WD	STN	SINGLE OCCP PRIVACY	WD	STN	
113R	1	2' - 8"	2' - 8"	6' - 8"	1 3/8"	WD	STN	SINGLE OCCP PRIVACY	WD	STN	
BARN - LEVEL 2											
200	1	2' - 8"	2' - 8"	6' - 8"	1 3/8"	WD	STN		WD	STN	20 MIN RATED W/ CLOSER
201	1	2' - 6"	2' - 6"	6' - 8"	1 3/8"	WD	STN	SINGLE OCCP PRIVACY	WD	STN	
CABIN											
300	1	3' - 0"	3' - 0"	6' - 8"	1 3/8"	WD	PNT	EXTERIOR ENTRY W/ DEADBOLT	WD	PNT	







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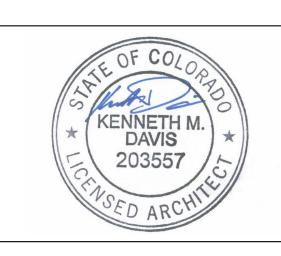
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SCHEDULES & ENERGY COMPLIANCE

A4.0