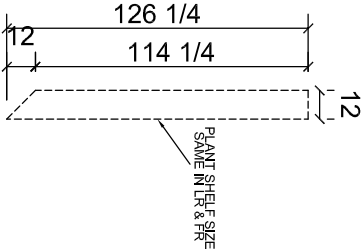
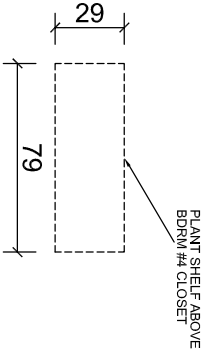
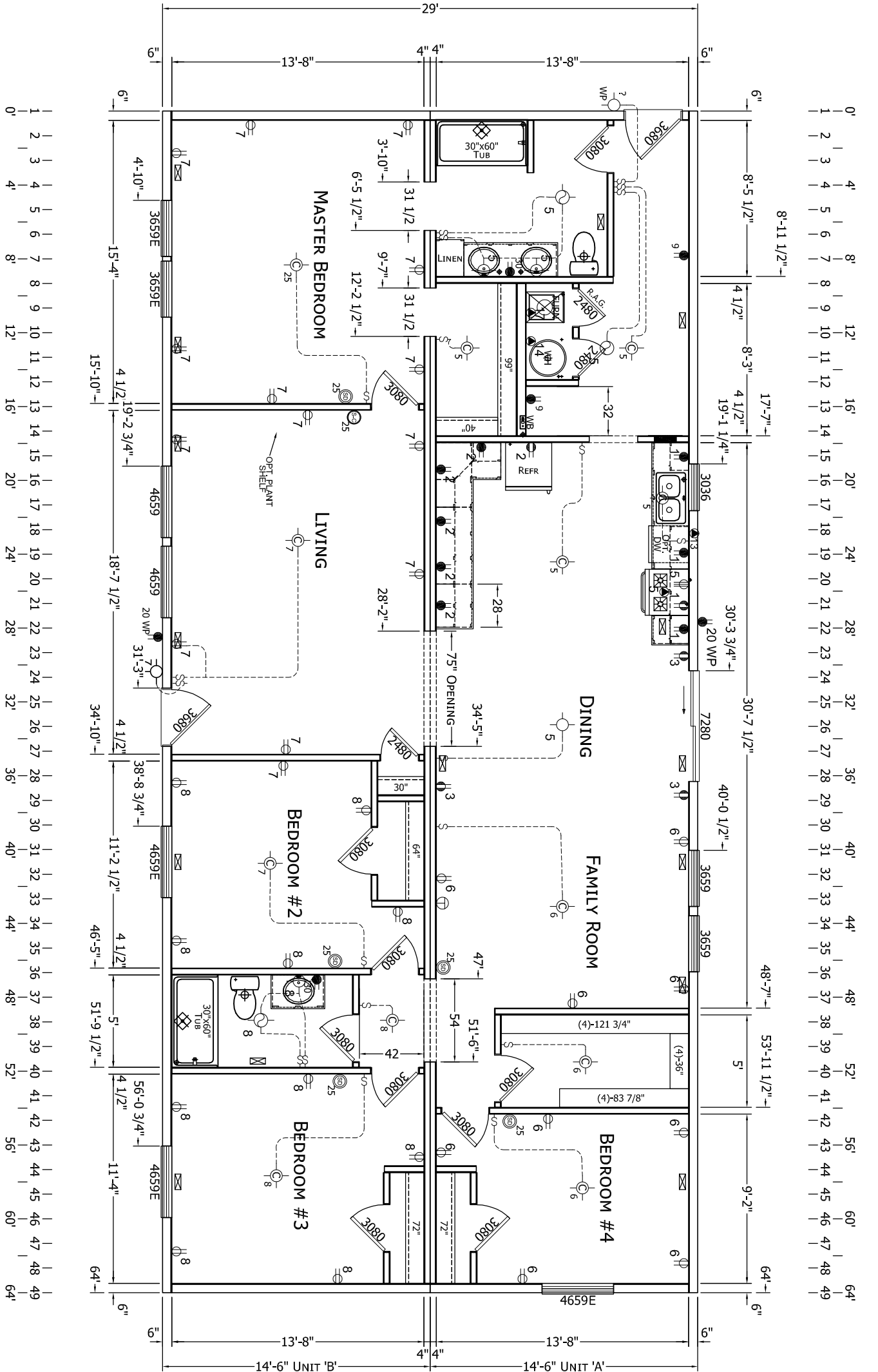


PREMIUM LIVING
HERBERT
07-24-23

LIGHT & VENT SCHEDULE				
NAME	AREA	REQ'D LIGHT	REQ'D VENT	
BEDROOM #2	130.42	10.43	5.22	
BEDROOM #3	140.81	11.26	5.63	
BEDROOM #4	111.20	8.90	4.45	
DINING	133.72	10.70	5.35	
FAMILY ROOM	143.50	11.48	5.74	
LIVING	254.54	20.36	10.18	
MASTER BEDROOM	209.56	16.76	8.38	



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3200 ENTERPRISE AVE. YORK, NE 68467

MODIFICATIONS

PROJECT: 05-865 MOD 64'-0" X 29'-0" 3 BD 2 BT

TITLE: FLOOR PLAN ELECTRICAL PLAN

SHEET: AP-101

DRAWN BY: STAFF
DATE: 07-18-23
SCALE: 5/32" = 1'-0"

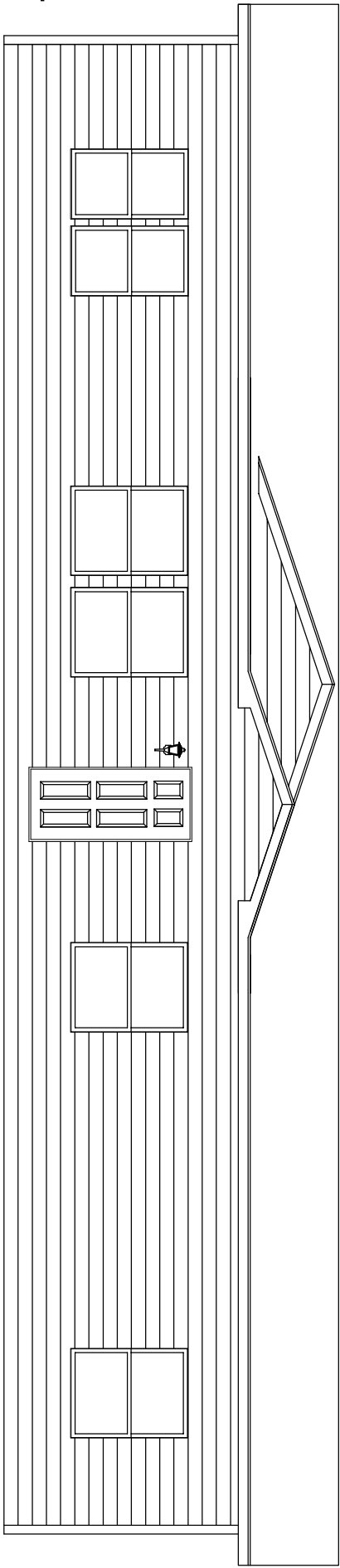
FILENAME: 05-865 MOD-PREMIUM LIVING-HERBERT

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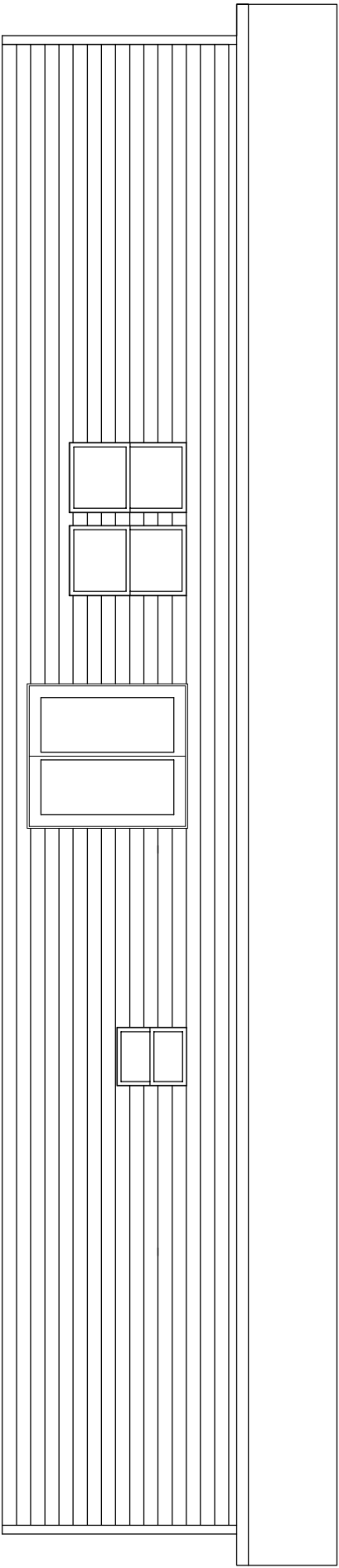
ELEVATIONS ARE A GENERAL OVERVIEW OF THE HOME.
SIDING TYPE, WINDOW STYLES, DOOR STYLES, WINDOW
AND DOOR TRIM AND DORMERS WILL VARY.

A-6

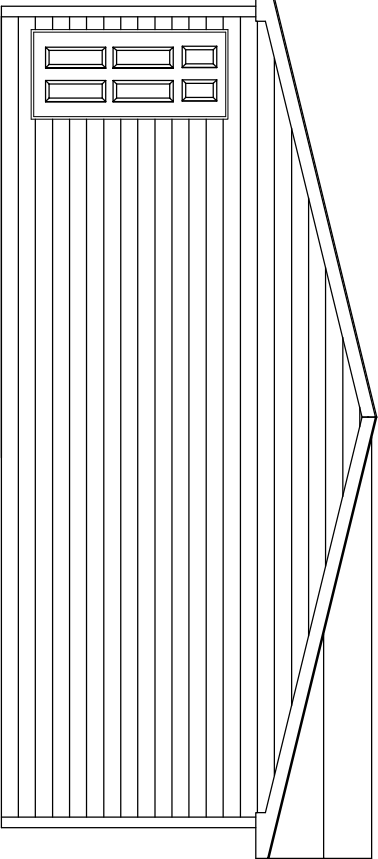
FRONT



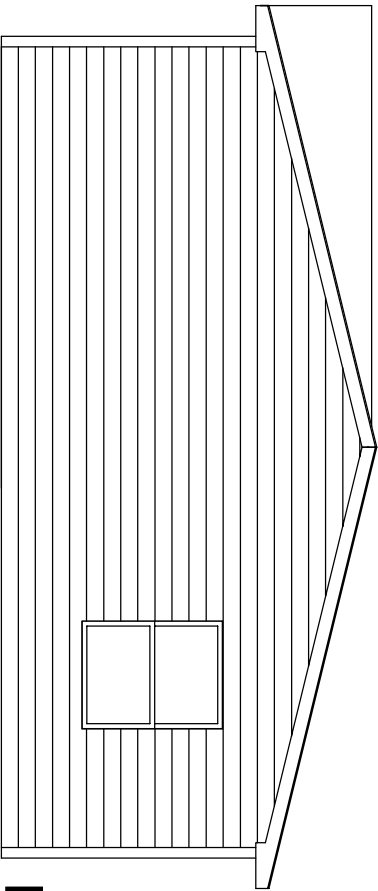
BACK



LEFT



RIGHT



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MODIFICATIONS

PROJECT:

05-865 MOD
64'-0" X 29'-0"
3 BD 2 BT

TITLE:

ELEVATIONS

SHEET:

EV-101

DRAWN BY: STAFF
DATE: 07-18-23
SCALE: 3/16" = 1'-0"

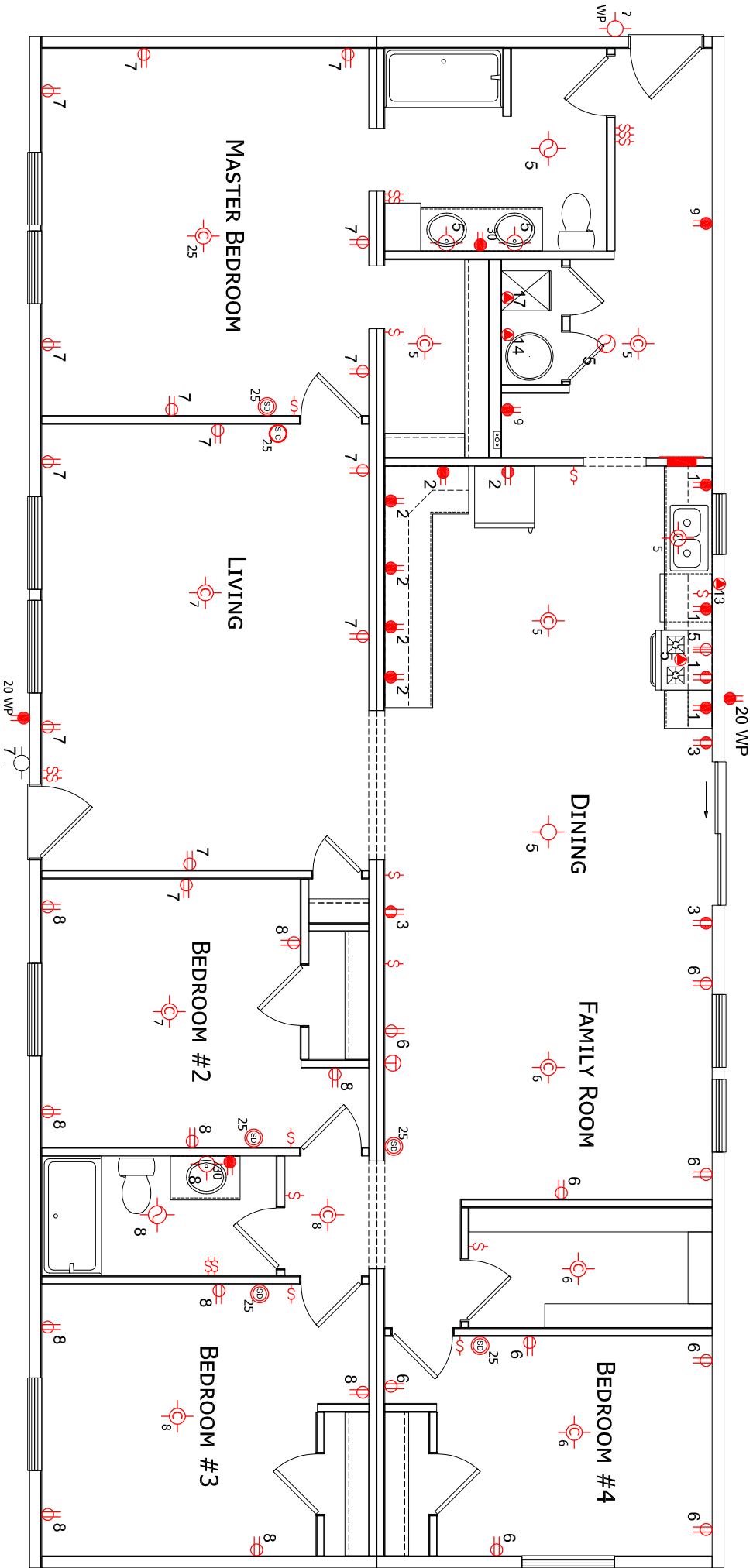
FILENAME: 05-865 MOD-PREMIUM LIVING-HERBERT

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PREMIUM LIVING
HERBERT
07-24-23

CIRCUIT INFORMATION							
CIRCUIT NO.	TYPE	AMPS	COPPER WIRE SIZE	CIRCUIT NO.	TYPE	AMPS	COPPER WIRE SIZE
1	SW. APPL.	20	122 W/GRND	14	W. HEATER	25	103 W/GRND
2	SW. APPL.	20	122 W/GRND	15	COOKTOP	40	83 W/GRND
3	SW. APPL.	20	122 W/GRND	16	SINGLE WALL DOOR & WALL OVEN	40	83 W/GRND
4	WASHER	20 GFCI	122 W/GRND	16		40	83 W/GRND
5	GENERAL	15	142 W/GRND	17	F. BLOWER	15	122 W/GRND
6	GENERAL	15	142 W/GRND	19	OPT. G.L.	15 GFCI	122 W/GRND
7	GENERAL	15	142 W/GRND	20	GFCI	20	122 W/GRND
8	GENERAL	15	142 W/GRND	24	GENERAL	15	142 W/GRND
9	SW. APPL.	20 GFCI	122 W/GRND	25	GENERAL	15	143 W/GRND
11	DRYER	30 GFCI	103 W/GRND	26	GENERAL	15	142 W/GRND
12	RANGE	40	83 W/GRND	30	GFCI	20	122 W/GRND
13	OPT. DW	15 GFCI	122 W/GRND	32	GENERAL	15	142 W/GRND

ELECTRICAL LEGEND				OR	CHUBB SMOK & CO DETECTOR
GENERAL LIGHTING RECEPTACLE	220 VOLT RECEPTACLE	CEILING VENT FAN	SINGLE POLE SWITCH (3-DEVICES MAX)		
GROUND-FEED INTERCEPT	SMOKE DETECTOR	WALL LIGHT	FLUORESCENT LIGHT (R-DEVICES RECESSED)		
SHALL APPLIANCE	WALL PANEL		W.P. WEATHERPROOF		
GROUND-FULL INTERCEPT	GROUND-FULL INTERCEPT	SPECIAL PURPOSE CONNECTION	UNDER FLOOR JUNCTION BOX		
1. SMOKE DETECTORS ARE INTERCONNECTED. 1443 WIRE IS SHOWN FOR STAIRS SMOKE DETECTOR TO BELL ALARM BOX ON SITE CONNECTION TO BASEMENT SMOKE DETECTOR.					
2. ELECTRICAL 30 AMP MAIN & SERVICE IS STAMPED.					
3. ALL CIRCUITS SUPPLYING OUTLETS IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, DEN, BEDROOMS, CLOSETS, HALLWAYS, KITCHENS, BREAKING ROOMS, PORCHES, RECREATION ROOMS, KITCHENS, LAUNDRY AREAS, LIBRARIES OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED AFCI-FULL CIRCUIT INTERRUPTER.					
4. MINIMUM WIRE SIZE TO BE #12 AWG, WHEN REQUIRED BY STATE OR LOCAL CODE.					
5. COMBINATION VENT FAN LIGHT REQUIRED IN UTILITY AREA UNLESS UTILITY AREA IS EQUIPPED WITH AN EXTERIOR DOOR THAT HAS A COMBINATION STORAGE-SCREEN DOOR.					
6. LOCK DOG BREAKERS FOR FURNACE AND WATER HEATER TO BE INSTALLED IN BREAKER BOX AS REQUIRED PER NEC SECTION 422.31					
7. EXPOSED STRUCTURAL METAL SHALL BE BONDED IN ACCORDANCE WITH NEC 250.104 (C).					
8. 125 AND 250 VOLT NON-LOCKING TYPE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT IN ACCORDANCE WITH NEC 404.12.					
9. SMOKE PROTECTOR DEVICE & EMERGENCY DISCONNECT IS INSTALLED ON-SITE BY OTHERS.					



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MANUFACTURED BEAUTIFULLY™

3200 ENTERPRISE AVE. YORK, NE 68467

MODIFICATIONS

PROJECT:

05-865 MOD
64'-0" X 29'-0"
3 BD 2 BT

DRAWN BY: STAFF
DATE: 07-18-23
SCALE: 5/32" = 1'-0"

TITLE:

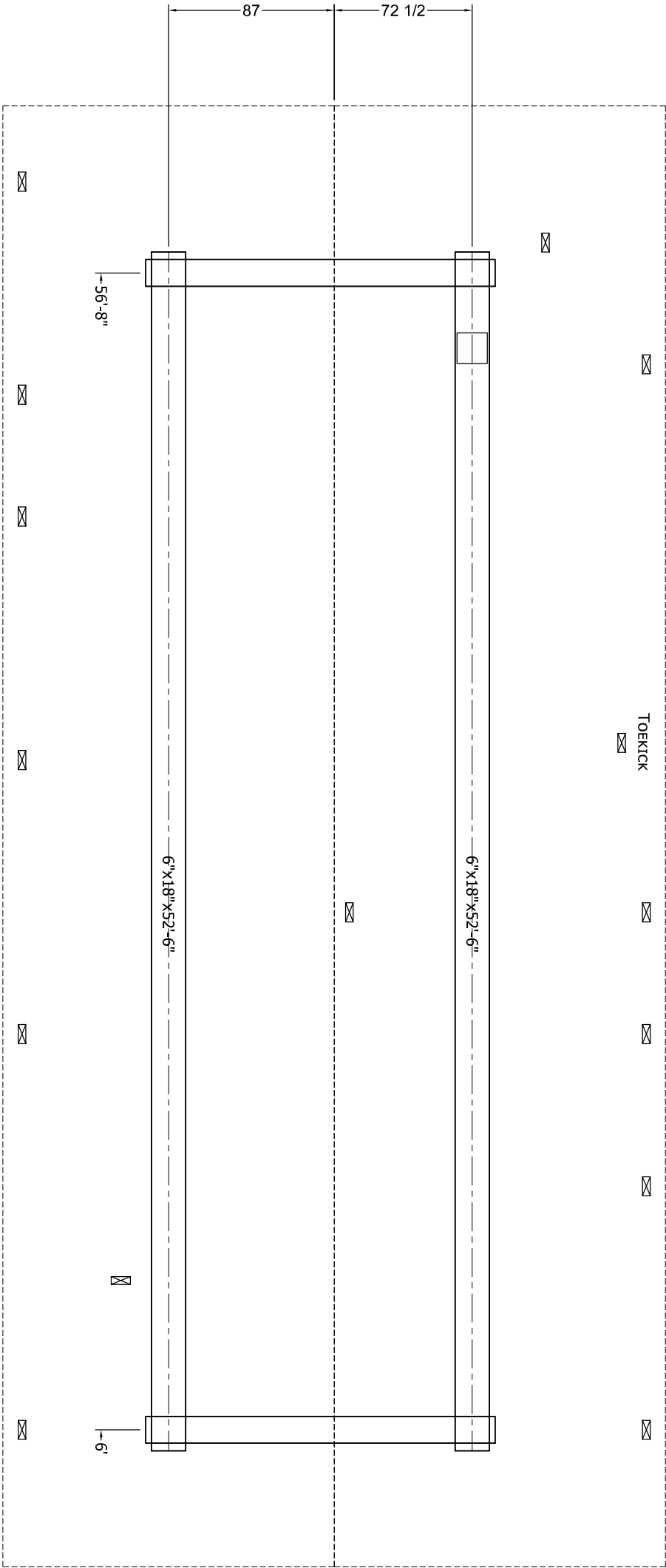
ELECTRICAL
WIRING PLAN

FILENAME: 05-865 MOD-PREMIUM LIVING-HERBERT

SHEET:

EP-101

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<div>CHAMPION</div> <div>MANUFACTURED BEAUTIFULLY™</div> <div>3200 ENTERPRISE AVE. YORK, NE 68467</div>			MODIFICATIONS		PROJECT:	TITLE:	SHEET:
					05-865 MOD 64'-0" X 29'-0" 3 BD 2 BT	MECHANICAL PLAN	MP-101
					DRAWN BY: STAFF DATE: 07-18-23 SCALE: 5/32" = 1'-0"	FILENAME: 05-865 MOD-PREMIUM LIVING-HERBERT	PROPRIETARY AND CONFIDENTIAL THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL, PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION. COPYRIGHT © 1976-2023 BY CHAMPION

PREMIUM LIVING
HERBERT
07-24-23

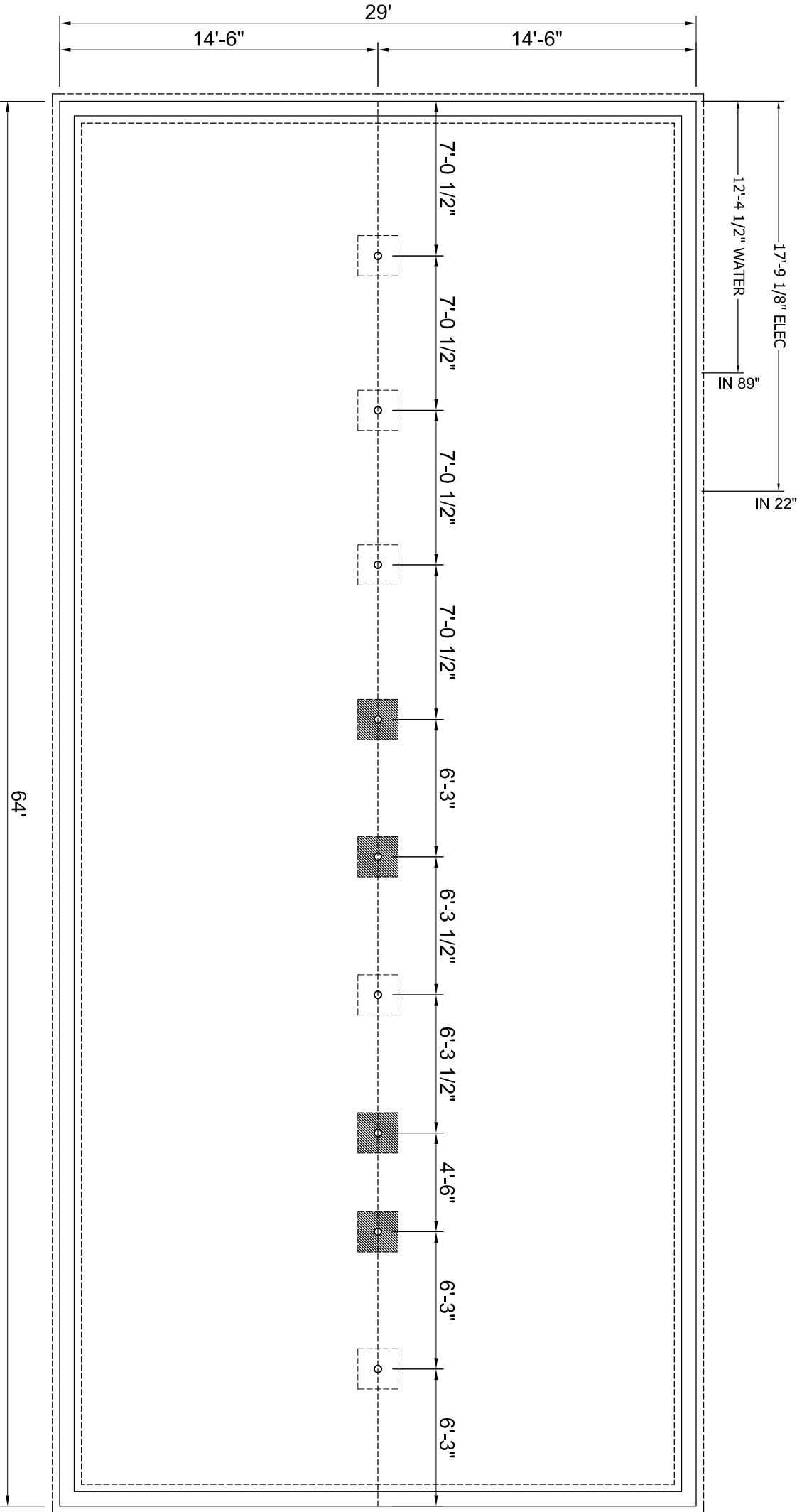
THIS SECTION IS NOT INTENDED TO PROVIDE A COMPLETE DESIGN FOR A BUILDABLE FOUNDATION. A COMPLETE DESIGN MUST BE OBTAINED THAT IS SUITABLE FOR THE LOCAL AREA AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT

ALL DESIGN DETAILS AND NOTES ARE SUGGESTIVE ONLY AND ARE SUBJECT TO THE JURISDICTION OF STATE AND LOCAL CODES. CHANGES MUST BE MADE ACCORDINGLY. CONTACT YOUR LOCAL BUILDING DEPT. FOR FROSTLINE AND SOIL REQUIREMENTS. SEE CHAMPION FOUNDATION SETUP DETAILS FOR ADDITIONAL REQUIREMENTS AND SUGGESTIONS.

ALL DIMENSIONS TO BE FIELD VERIFIED.

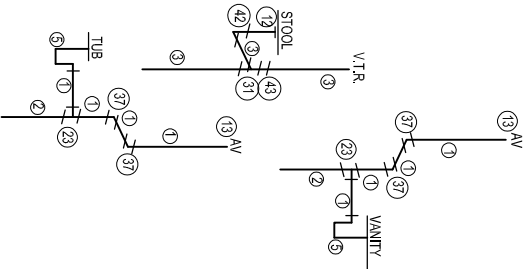
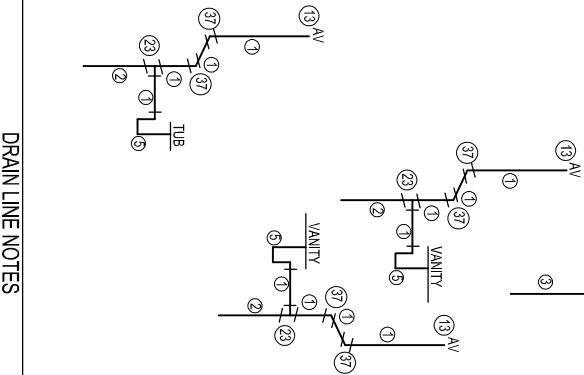
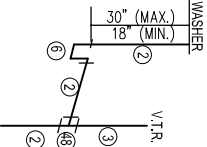
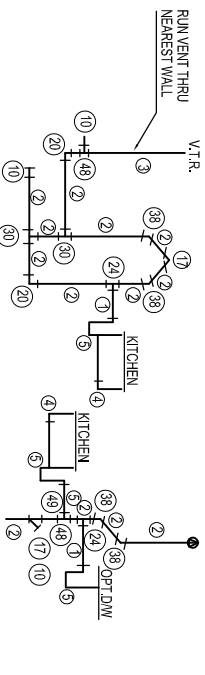
-  = MANDATORY LOAD RIDGEBEAM SUPPORT LOCATION
-  = RECOMMENDED MATE LINE/ENTRY SUPPORT LOCATION

SUGGESTED FOUNDATION
BASED ON #2000 MIN SOIL CAPACITY



PERIMETER

CHAMPION		MANUFACTURED BEAUTIFULLY™	
3200 ENTERPRISE AVE. YORK, NE 68467			
MODIFICATIONS		PROJECT:	
		05-865 MOD 64'-0" x 29'-0" 3 BD 2 BT	
		DRAWN BY: STAFF	
		DATE: 07-18-23	
		SCALE: 5/32" = 1'-0"	
TITLE:		PERIMETER FOUNDATION PLAN	
FILENAME: 05-865 MOD-PREMIUM LIVING-HERBERT			
		SHEET:	
PROPRIETARY AND CONFIDENTIAL		PE-101	
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Drain Line Notes

1. PPE AND FITTINGS ARE SCHEDULE 40 P.C. DWV.
2. CONNECTION OF BUILDING DRAIN OUTLETS TOGETHER & THEIR CONNECTION TO BUILDING SEWER TO BE DONE AT JOBSITE BY OTHERS.
3. OPTIONAL: HORIZONTAL DRAINAGE PIPING THAT RUNS BELOW FLOOR JOISTS MAY BE CUTTING AND ALL VERTICAL DRAIN PIPES STUBBED OFF AT OR ABOVE BOTTOM OF FLOOR JOIST.
4. HORIZONTAL DRAINAGE PIPING SHALL HAVE A MINIMUM SLOPE OF NOT LESS THAN 1/4" PER FOOT.
5. EVERY DRY VENT SHALL RISE VERTICALLY TO A MINIMUM OF 6 INCHES ABOVE THE F.L.R. OF THE HIGHEST TRAP OR TRAPPED FUTURE BEING VENTED.
6. VENT THROUGH ROOF TO BE A MINIMUM OF 3" DIA. FROM THE OUTDOOR ABOVE-ROOF TERMINUS TO WITHIN 3' OF THE TOP OF THE CEILING MATERIAL.
7. VENT THROUGH ROOF TO A V.I.R. OR MAY EXTEND INDIVIDUALLY.
8. VENT THROUGH ROOF FROM THE OUTDOOR ABOVE-ROOF TERMINUS TO WITHIN 3' OF THE TOP OF THE CEILING MATERIAL.
9. WHERE REQUIRED BY CODE, ALL OF THE THROUGH-THE-ROOF VENT PIPING TO 3" DIA. SHALL BE A MINIMUM OF 12" BELOW THE HOME'S THERMAL ENVELOPE (CEILING MATERIAL) FOR FROST CLOSURE.

DRAIN LINE LEGEND										
1	1-1/2" PPE	11	3"	CLEANOUT PLUG	21	3"	LONG SWEEP 1/4 BEND	31	3"	L.I.T.Y.
2	2" PPE	12	1-1/2"	CLOSED FLANGE	22	1-1/2"	SAN. TEE	32	2" x 1-1/2" x 1-1/2"	L.I.T.Y.
3	3" PPE	13	1-1/2"	AUTO VENT	23	2" x 1-1/2" x 1-1/2"	SAN. TEE	33	2" x 2" x 1-1/2"	L.I.T.Y.
4	1-1/2" CONTINUOUS WASTE	14	2"	SAN. TEE	24	2" x 2" x 1-1/2"	SAN. TEE	34	2" x 1-1/2" x 2"	L.I.T.Y.
5	1-1/2" PT-TRAP	15	1-1/2"	WVE W/ FITTING CO. ADP.	25	3" x 3" x 1-1/2"	SAN. TEE	35	3" x 3" x 1-1/2"	L.I.T.Y.
6	2" PT-TRAP	16	1-1/2"	1/4 BEND	26	3" x 3" x 2"	SAN. TEE	36	3" x 3" x 2"	L.I.T.Y.
7	3" PT-TRAP	17	2"	1/4 BEND	27	3" x 3" x 2" x 1-1/2"	DBL SAN. TEE	37	1-1/2"	1/8 BEND
8	3" CAP W/ CHAIN	18	3"	1/4 BEND	28	3" x 3" x 2" x 2"	DBL SAN. TEE	38	2"	1/8 BEND
9	1-1/2" CLEANOUT PLUG	19	1-1/2"	CLEANOUT PLUG	29	1-1/2"	L.I.T.Y.	39	3"	1/8 BEND
10	2" CLEANOUT PLUG	20	2"	LONG SWEEP 1/4 BEND	30	2"	L.I.T.Y.	40	3" x 3" x 1-1/2"	SAN. TEE W/ 2 S. INLET
								41	3" x 3" x 3"	DBL 1/4 BEND
								42	4" x 3"	CLOSED BEUD
								43	3" x 1-1/2"	FUSH REDUCER BUSHING
								44	3" x 1-1/2"	FUSH REDUCER BUSHING
								45	2" x 1-1/2"	FUSH REDUCER BUSHING
								46	3"	WVE
								47	3" x 3" x 2"	FUSH REDUCER BUSHING
								48	2"	SAN. TEE
								49	1 1/2" x 2"	FUSH REDUCER BUSHING

CHAMPION

3200 ENTERPRISE AVE. YORK, NE 68467

APPROVER'S SEAL

MODIFICATIONS

MODEL: 05-865 MOD

64'-0" x 29'-0"

TITLE: PLUMBING PLAN

DRAWN BY: STAFF

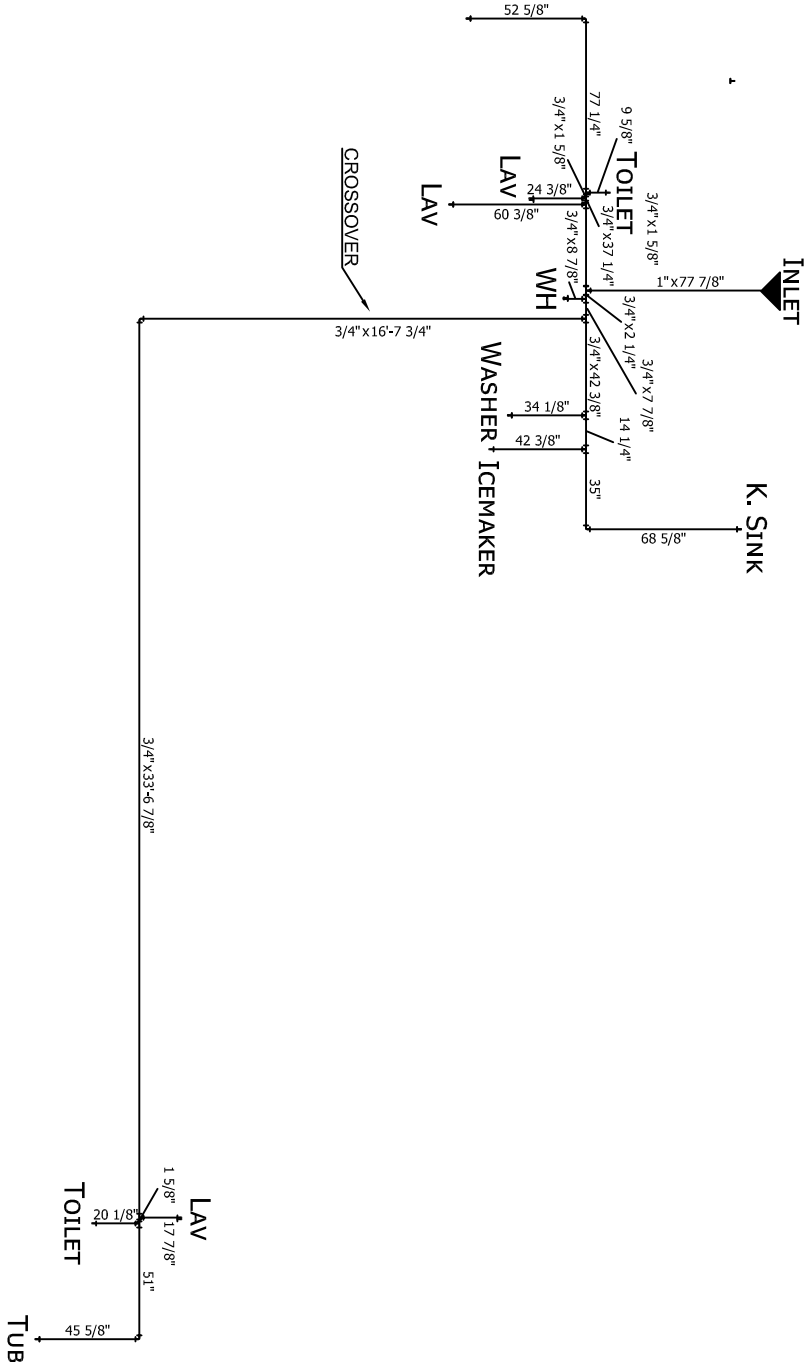
DATE: 07-18-23

SHEET: PP-101

NOTES:

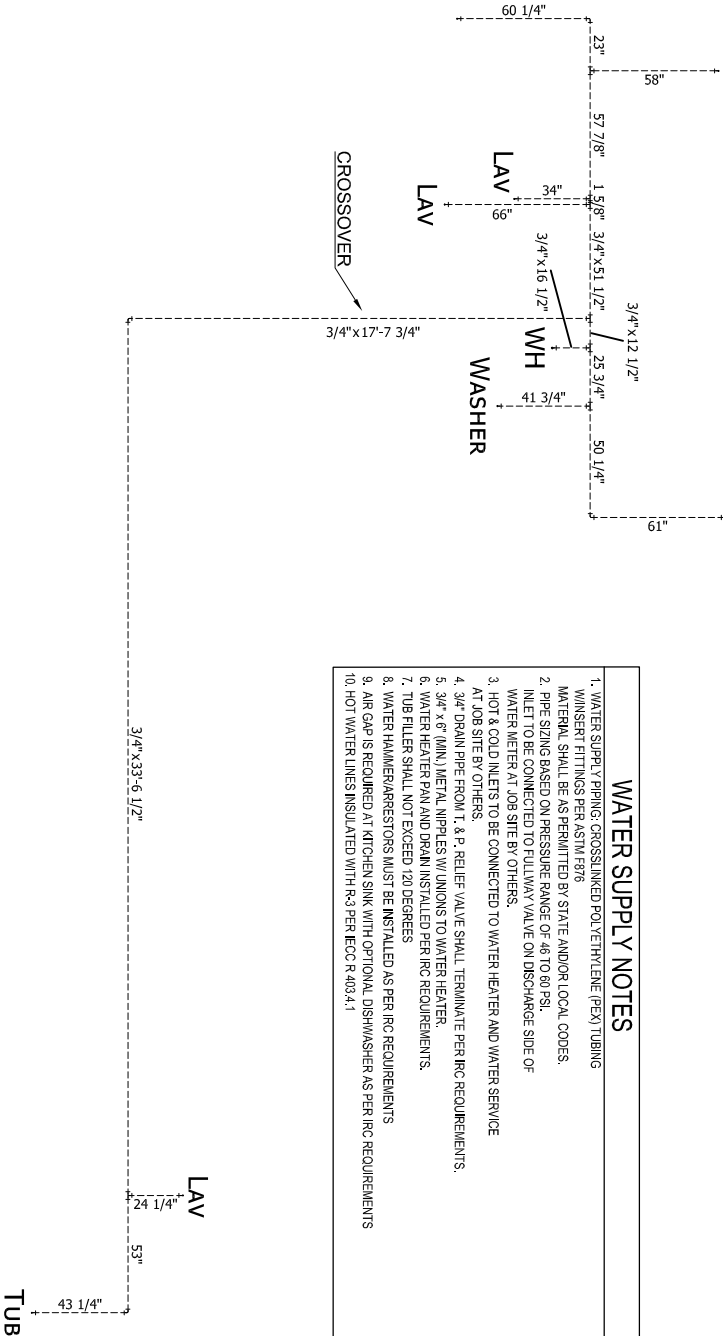
1. ALL PIPE SIZES 1/2" UNLESS OTHERWISE NOTED.

COLD WATER LINE



K. SINK

- ### WATER SUPPLY NOTES
1. WATER SUPPLY PIPING: CROSSLINKED POLYETHYLENE (PEX) TUBING
 2. WATERSERT FITTINGS PER ASTM F876
 3. MATERIAL SHALL BE AS PERMITTED BY STATE AND/OR LOCAL CODES.
 4. PIPE SIZING BASED ON PRESSURE RANGE OF 46 TO 80 PSI.
 5. INLET TO BE CONNECTED TO FILLWAY VALVE ON DISCHARGE SIDE OF WATER METER AT JOB SITE BY OTHERS.
 6. HOT & COLD INLETS TO BE CONNECTED TO WATER HEATER AND WATER SERVICE AT JOB SITE BY OTHERS.
 7. 3/4" DRAIN PIPE FROM T. & P. RELIEF VALVE SHALL TERMINATE PER IRC REQUIREMENTS.
 8. 3/4" x 8" (MIN.) METAL WIPPLES W/ UNIONS TO WATER HEATER.
 9. WATER HEATER PAN AND DRAIN INSTALLED PER IRC REQUIREMENTS.
 10. TUB FILLER SHALL NOT EXCEED 120 DEGREES
 11. WATER HAMMER ARRESTORS MUST BE INSTALLED AS PER IRC REQUIREMENTS
 12. AIR GAP IS REQUIRED AT KITCHEN SINK WITH OPTIONAL DISHWASHER AS PER IRC REQUIREMENTS
 13. HOT WATER LINES INSULATED WITH R-3 PER IECC R-403.4.1



HOT WATER LINE

CHAMPION		MODIFICATIONS	PROJECT: 05-865 MOD 64'-0" x 29'-0" 3 BD 2 BT	TITLE: WATER LINE PLAN	SHEET: WP-101		
MANUFACTURED BEAUTIFULLY™							
3200 ENTERPRISE AVE. YORK, NE 68467		DRAWN BY: STAFF DATE: 07-18-23 SCALE: N.T.S.		FILENAME: 05-865 MOD-PREMIUM LIVING-HERBERT			
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