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CRAFT ARCHITECTURE STUDIO



Reviewed
for Code
Compliance

07/12/2024

Woodrow Residence

31555 Green Ridge Drive

EXISTING PARTIAL SITE PLAN	
DATE	ISSUANCE
02.20.2024	ISSUED FOR PRICING
06.12.2024	ISSUED FOR PERMIT

1 EXISTING SITE PLAN

1" = 10'-0"

A1.1





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STATE OF COLORADO
ADAM BLAKE WRIGHT
ARC. 00402329
Professional Engineer

**Reviewed
for Code
Compliance**

07/12/2024

Woodrow Residence

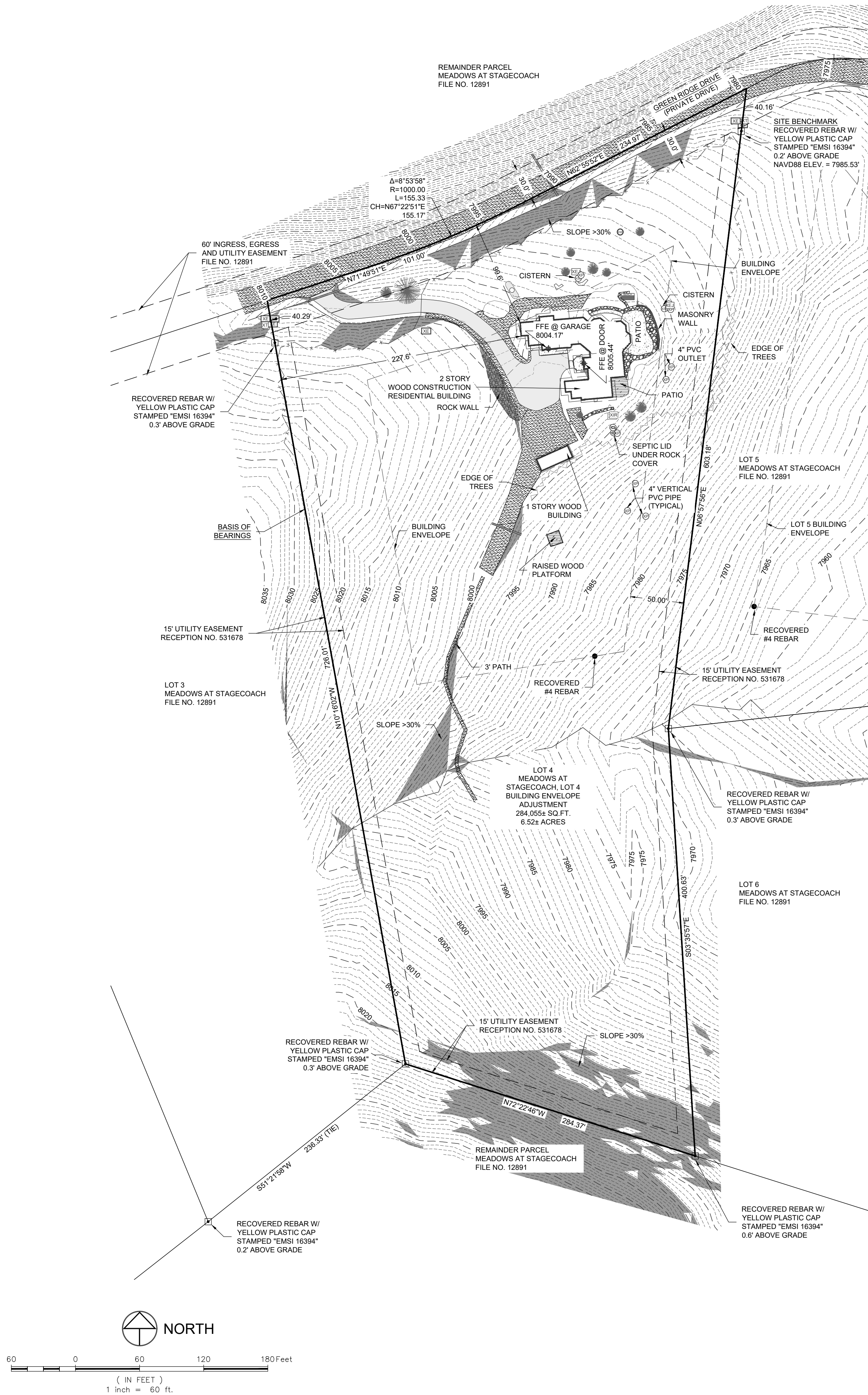
31555 Green Ridge Drive

PROPOSED SITE PLAN

DATE	ISSUANCE
02.20.2024	ISSUED FOR PRICING
05.24.2024	ISSUED FOR PRICING V.2
06.12.2024	ISSUED FOR PERMIT

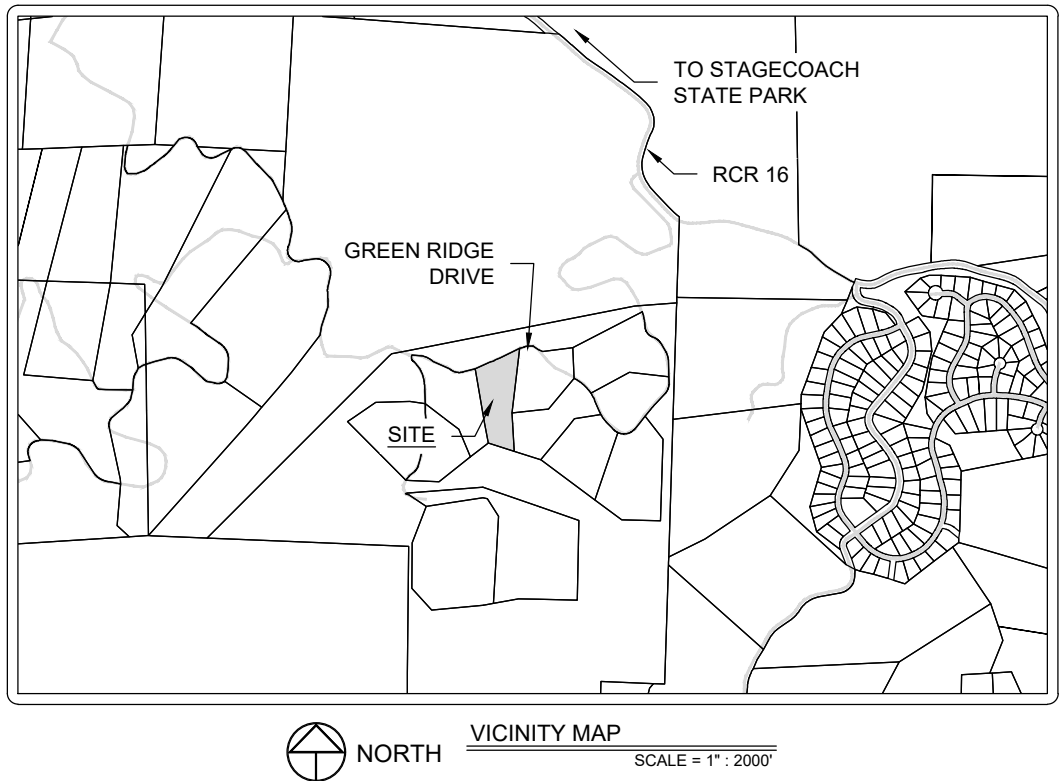
A1.2

DRAWING FILENAME: P:\2023\202306\20230613\20230613-517000.dwg, LAYOUT NAME: TPOC, DATE: Feb 27, 2024, 11:55am CAD OPERATOR: JH
LIST OF REVISIONS: (DATE) (BY) (REASON) (DESCRIPTION) (DRAWN BY) (CHECKED BY) (DATE) (BY) (REASON) (DESCRIPTION)



LEGEND:

PROPERTY BOUNDARY	
ADJACENT PROPERTY BOUNDARY	
EASEMENT	
CENTERLINE	
RECOVERED PROPERTY MONUMENT AS NOTED	
BUILDING	
ROOF LINE/OVERHANG	
DECK	
WALL	
FENCE	
MAJOR CONTOUR	
MINOR CONTOUR	
SLOPE >30%	
ASPHALT	
CONCRETE	
GRAVEL	
SIGN	
SEPTIC TANK LID AND PVC PIPE	
PROPANE TANK	
TELEPHONE LINE MARKER, VAULT, PEDESTAL AND MANHOLE	
ELECTRIC LINE MARKER, TRANSFORMER, METER AND SECONDARY PEDESTAL	
ELECTRIC MANHOLE, OUTLET, GENERATOR AND JUNCTION BOX	
DITCH/SWALE	
CULVERT W/ END SECTIONS	
CONIFEROUS AND DECIDUOUS TREE (SCALED TO APPROXIMATE DRIPLINE)	
CONIFEROUS AND DECIDUOUS SHRUB (SCALED TO APPROXIMATE DRIPLINE)	
STUMP, BOULDER AND IRRIGATION VALVE BOX	



PROPERTY DESCRIPTION:

LOT 4, THE MEADOWS AT STAGECOACH, LOT 4 BUILDING ENVELOPE ADJUSTMENT;
COUNTY OF ROUTT, STATE OF COLORADO.

NOTES:

- FIELD SURVEYING COMPLETED OCTOBER 3, 2022.
- DRAWING PLOTS TO SCALE ON 24"X36" FORMAT.
- BASIS OF BEARINGS: THE WESTERLY LINE OF LOT 4, THE MEADOWS AT STAGECOACH, LOT 4 BUILDING ENVELOPE ADJUSTMENT AS RECORDED UNDER RECEPTION NO. 849012 IN THE ROUTT COUNTY RECORDS, BEING MONUMENTED AS SHOWN HEREON AND BEARING N10°16'02"W BASED ON NAD83(2011) COLORADO NORTH ZONE COORDINATE SYSTEM.
- THIS EXISTING CONDITIONS MAP DOES NOT CONSTITUTE A TITLE SEARCH BY LANDMARK CONSULTANTS, INC. TO DETERMINE TITLE OR EASEMENTS OF RECORD. THE PLAT OF MEADOWS AT STAGECOACH, LOT 4 BUILDING ENVELOPE ADJUSTMENT WAS RELIED UPON FOR ALL INFORMATION REGARDING EASEMENTS AND RIGHTS-OF-WAY.
- THIS MAP DOES NOT REPRESENT A MONUMENTED LAND SURVEY. IT IS INTENDED ONLY TO DEPICT THAT INFORMATION REQUESTED BY OUR CLIENT.
- THE PROPERTY DESCRIPTION WAS PROVIDED BY OUR CLIENT.
- PROPERTY ADDRESS: 31555 GREEN RIDGE DRIVE PER ROUTT COUNTY GIS WEBSITE.
- UNITS SHOWN HEREON ARE IN US SURVEY FEET AND THE STANDARD OF DISTANCE ACCURACY FOR THIS MAP HAS BEEN DETERMINED TO BE GREATER THAN 1:10,000.
- SITE BENCHMARK: A RECOVERED #5 REBAR WITH YELLOW PLASTIC CAP STAMPED EMSI 16394 WITH A NAVD88 ELEV. OF 7985.3' AS SHOWN HEREON.
- CONTOURS SHOWN HEREON AT 1 FOOT INTERVAL, AND ARE DERIVED FROM ON SITE MEASUREMENTS COMBINED WITH LIDAR INFORMATION PROVIDED BY ROUTT COUNTY.
- THE SUBJECT PROPERTY IS ZONE X, AREA OF MINIMAL FLOOD HAZARD AS DETERMINED BY THE F.E.M.A. FLOOD MAP SERVICE CENTER WEBSITE, DATE OF RESEARCH 10/25/2022.
- BURIED UTILITIES ARE NOT SHOWN. LANDMARK CONSULTANTS, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
- BUILDING ENVELOPE AND EASEMENTS ARE SHOWN PER THE PLAT OF THE MEADOWS AT STAGECOACH, LOT 4 BUILDING ENVELOPE ADJUSTMENT.
- ALL REFERENCES HEREON TO BOOKS, PAGES, FILES AND RECEPTION NUMBERS ARE TO PUBLIC DOCUMENTS FILED IN THE RECORDS OF ROUTT COUNTY, COLORADO.
- LOT 4 CONTAINS A CALCULATED AREA OF 284,055 SQUARE FEET OR 6.52 ACRES.

SURVEYOR'S STATEMENT:

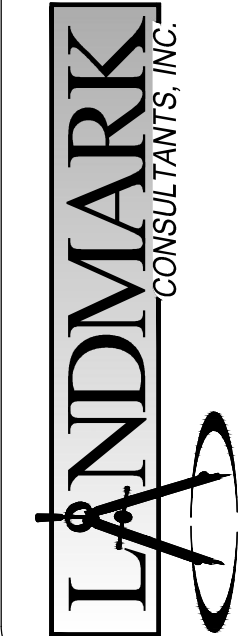
I, JEFFERY A. GUSTAFSON, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY STATE THAT THIS EXISTING CONDITIONS MAP WAS MADE UNDER MY DIRECT RESPONSIBILITY, SUPERVISION AND CHECKING AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

JEFFERY A. GUSTAFSON, LICENSED LAND SURVEYOR
COLORADO L.S. NO. 29039
FOR AND ON BEHALF OF LANDMARK CONSULTANTS, INC.



Reviewed
for Code
Compliance
07/12/2024

CIVIL ENGINEERS | SURVEYORS
141 9th Street - P.O. Box 774943
Steamboat, CO 80767-4943
www.LANDMARK-CD.COM



NO.	DATE	BY	DESCRIPTION
1	02/27/24	JAG	UPDATE TO REFLECT CURRENT PLATTING

PROJECT:	2612.001
DATE:	02/08/23
DRAWN BY:	JAG
CHECKED BY:	

EXISTING CONDITIONS MAP
LOT 4, THE MEADOWS AT STAGECOACH;
LOT 4 BUILDING ENVELOPE ADJUSTMENT;
LOCATED IN THE NE1/4 SECTION 17, T3N, R64W, 6TH P.M.;
COUNTY OF ROUTT,
STATE OF COLORADO