

AERIAL RENDERING

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07/12/2024

Woodrow Residence
31555 Green Ridge Drive



PROPERTY



PROJECT TEAM

OWNER

Meredith and Martin Woodrow
31555 Green Ridge Drive
Oak Creek, CO
Phone: 303.646.7780
Email: mwoodrow604@gmail.com

ARCHITECT

Craft Architecture Studio
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Steamboat Springs, Colorado 80478
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CONTRACTOR

TBD

ENGINEER

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Steamboat Springs, Colorado 80487
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Contact: Kevin Meyer

BUILDING AUTHORITY

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136 6th Street
Steamboat Springs, Colorado 80487
Phone: 970.870.5566
Email: tcarr@co.routt.co.us
Contact: Todd Carr

SURVEYOR

Landmark Consultants, Inc.
141 9th St
Steamboat Springs, Colorado 80487
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COVER SHEET / PROJECT INFORMATION	
DATE	ISSUANCE
02.20.2024	ISSUED FOR PRICING
05.24.2024	ISSUED FOR PRICING V.2
06.12.2024	ISSUED FOR PERMIT

A0.1

GENERAL NOTES

1. ALL CONSTRUCTION WORK AND MATERIALS SHALL BE AS SPECIFIED IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS AND THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY FIELD CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
3. EXCAVATION SHALL NOT COMMENCE UNTIL THE LOCATION OF ALL UTILITIES HAS BEEN VERIFIED.
4. ALL MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED TO PREVENT DAMAGE AND DETERIORATION.
5. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES A PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
6. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OR CONFLICTS IN THE DRAWINGS AND/OR SPECIFICATIONS, REQUEST AND RECEIVE AN INTERPRETATION OR CLARIFICATION BEFORE PROCEEDING WITH CONSTRUCTION.
7. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS INTO TYPES, SECTIONS, ARTICLES AND THE ARRANGEMENT OF THE DRAWINGS SHALL NOT CONTROL HOW THE CONTRACTOR DIVIDES THE WORK AMONG SUB-CONTRACTORS, OR IN ESTABLISHING THE WORK TO BE PERFORMED BY ANY TRADE.
8. CONTRACTORS SHALL CARRY BUILDERS RISK, WORKMAN'S COMPENSATION, CONTRACTOR'S LIABILITY, PERSONAL INJURY, COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE FRAMED STRUCTURE AND COMPLETED WORK IN PROGRESS.
9. TEMPORARY SPACE HEATING SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE IN A SAFE, SENSIBLE MANNER WITH PERIODIC CHECKS TO ALL SYSTEMS.
10. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
11. CONSTRUCTION SITE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH FEDERAL AND STATE SAFETY REGULATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
12. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED / NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.
13. ALL DIMENSIONS ARE TO FACE OF STUD U.N.O.
14. PLACEMENT OF INTERIOR DOORS SHALL FOLLOW THIS RULE, UNO: EDGE OF DOOR FRAME TO EDGE OF ADJACENT PERPENDICULAR WALL SHALL BE 6"
14. DRAWINGS SHALL NOT BE SCALED WITH TAPE ON SITE. WRITTEN DIMENSIONS SHALL ESTABLISH LOCATION OF ALL PARTITIONS, OPENINGS, EQUIPMENT, ETC.
16. LARGER SCALE DRAWINGS AND DETAILS HAVE PRIORITY OVER SMALLER SCALE DRAWINGS.
17. ALL PORTIONS OF WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE REVIEWED BY THE ARCHITECT, INCLUDING BUT NOT LIMITED TO PREMANUFACTURED TRUSS DRAWINGS AND WINDOW / DOOR SUBMITTALS. NO EXCEPTIONS ALLOWED.
18. CONTRACTOR TO PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES, ELECTRICAL UNITS, A.C. EQUIPMENT, RECESSED ITEMS, AND ALL OTHER ITEMS AS REQUIRED.
19. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY LOSSES, DAMAGES, OR CLAIMS RELATING TO THE ACTUAL, POTENTIAL, OR THREATENED PRESENCE OF ANY FUNGI, MOLDS, SPORES, OR MYCOTOXINS OF ANY KIND, INCLUDING BUT NOT LIMITED TO ANY CLAIMS IN ANY WAY INVOLVING ASBESTOS OR ANY MATERIALS CONTAINING ASBESTOS IN WHATEVER FORM OR QUANTITY, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.
- 20.THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER, AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE ALL TRASH AND DEBRIS AS A RESULT OF THEIR OPERATION.
- 21.PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES TO ALL CONCEALED SPACES, VOIDS, ATTICS, ETC. VERIFY TYPE REQUIRED WITH ARCHITECT PRIOR TO INSTALLATION.
22. THE CONTRACTOR SHALL PROVIDE AN APPROVED SUB-SLAB/CRAWLSPACE RADON MITIGATION SYSTEM, PER NOTES ON GROUND LEVEL FLOOR PLAN.
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH INTERNATIONAL ENERGY CONSERVATION CODE (IECC) WHEN FALLING OUTSIDE THE SCOPE OF THE ARCHITECTURAL DRAWINGS.
24. ALL INTERIOR PARTITIONS SHALL HAVE BATT INSULATION FOR ACOUSTIC CONTROL, UNO.
25. ELEVATION BENCHMARKS SHALL BE TOP OF PLYWOOD OR TOP OF SLAB, UNO

SCOPE OF DRAWING SET

WITH THIS SET OF PLANS, THE ARCHITECT HAS PROVIDED A SCOPE OF PROFESSIONAL SERVICES FOR THE PROJECT CONSISTENT WITH CUSTOM RESIDENTIAL DESIGN AND CONSTRUCTION. THE DOCUMENTS PROVIDED UNDER SUCH SERVICES SHALL BE TERMED "RESIDENTIAL PLAN SET", IN RECOGNITION OF THE DECISION TO RELY ON THE CONTRACTOR'S EXPERIENCE IN THE CONSTRUCTION OF A BUILDING OF THIS TYPE.

BY ENTERING INTO A CONTRACT WITH THE OWNER, THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT THEY POSSESS THE COMPETENCE AND SKILLS REQUIRED TO BUILD THE PROJECT WITHOUT FULL ARCHITECTURAL, ENGINEERING AND CONSULTING SERVICES (FOR EXAMPLE: MEP DESIGNS). USE OF THE RESIDENTIAL PLAN SET BY THE CONTRACTOR FOR THIS PROJECT MAY REQUIRE MAKING ADJUSTMENTS REQUIRED BY FIELD CONDITIONS TO ASSURE THAT THE GENERAL INTENT IS CARRIED OUT IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ENERGY CODES AND LAND USE CODES.

CHANGES MADE IN THE FIELD WITHOUT THE PRIOR NOTICE AND CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILTY FOR ALL CONSEQUENCES ARISING FROM SUCH CHANGES. IN THE EVENT THAT ANY DISCREPENCY OR AMBIGUITY IS DISCOVERED DURING THE USE OF THESE DRAWINGS OR ADDITIONAL DETAILS OR GUIDANCE REQUIRED BY THE OWNER OR CONTRACTOR, PROMPT NOTICE SHALL BE GIVEN TO THE ARCHITECT.

PROJECT INFORMATION

PROJECT LOCATION

31555 Green Ridge Drive, Oak Creek Colorado 80467
Legal Description: LOT 4, THE MEADOWS AT STAGECOACH
Lot Size: 6.25 Acres

PROJECT DESCRIPTION

The scope of work includes adding a framed deck along the East side of an existing single family residence, with a height of approximately 14" above grade. Deck area is approximately 1,370 SF. A new roof will be added as cover over the majority of the deck, using a gable roof for part of the area and a flat roof covering additional area. One-third of the new deck will not be covered. A patio door and two new windows will be installed at the new deck, where existing windows are located.

The deck and roof will be founded by piers and customary framing.

The Colorado Solar Ready Code does not apply to this project per Sec. RS401.1, since the project does not constitute a major addition.

CODE ANALYSIS

BASIS FOR DESIGN

IRC 2021
IECC 2021: Path for Compliance: Prescriptive basis, for Climate Zone 7. AS REQUIRED FOR WINDOWS ONLY.
2021 IWUIC
2023 State of Colorado Model Electric Code and Solar Ready Code
2023 NEC

Local Amendments
Unincorporated Routt Building Code Resolution, Adopted 2024

Geotechnical Report
NWCC report/job no. 23-12920

Zoning
AF

PERMITTING

Building Permit Planset Dated: June 12, 2024

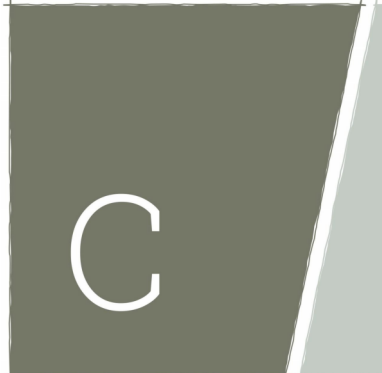
Previously Approved Building Envelope Amendment (PL20230012): April 03, 2023

USE AND OCCUPANCY CLASSIFICATION

R3

CONSTRUCTION TYPE

TYPE VB (Non-sprinklered)



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CODE / GENERAL NOTES

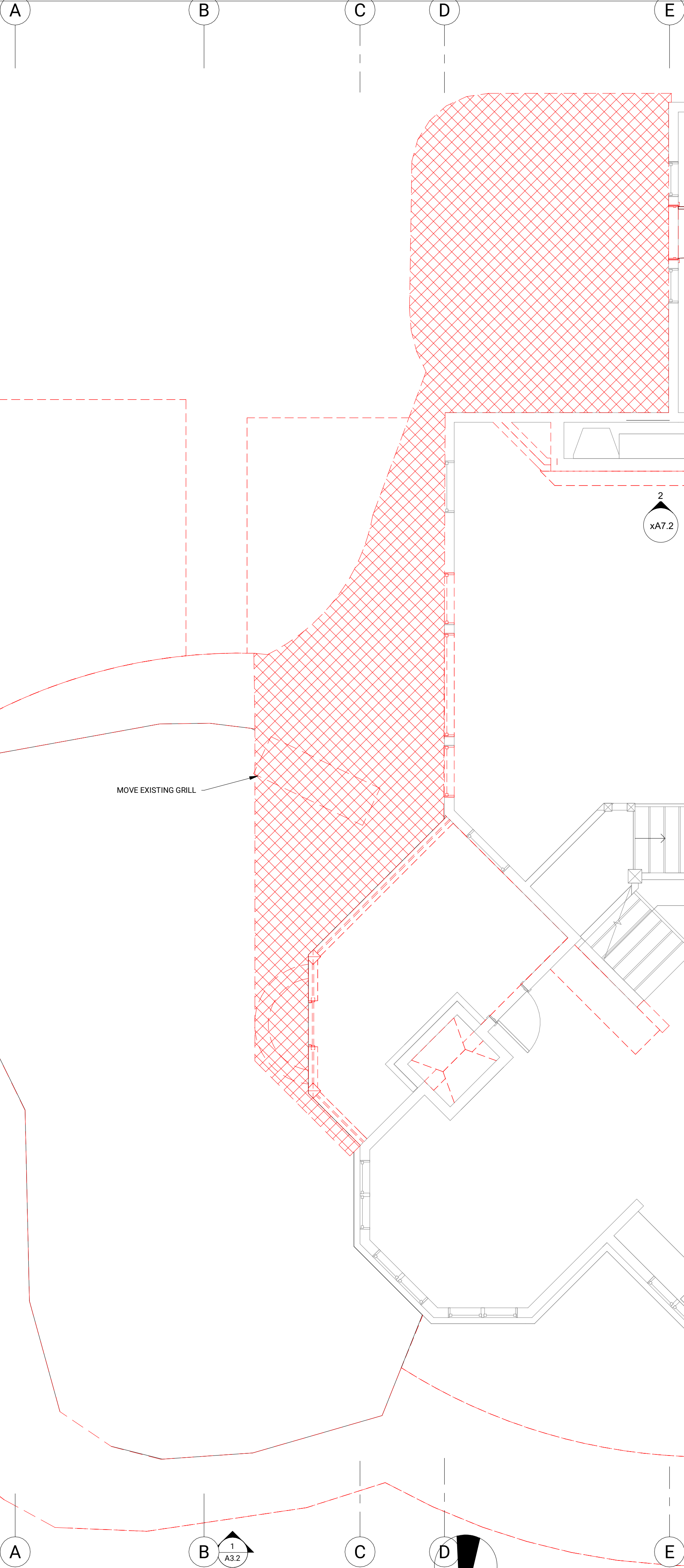
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A0.2

- DEMO AREA
- DEMO WALL OR COMPONENT
- TO REMAIN

DEMO LEGEND

1
2
3
4
6
7
8
9



1 LEVEL 1 DEMO FLOOR PLAN

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DEMO PLAN LEVEL 1

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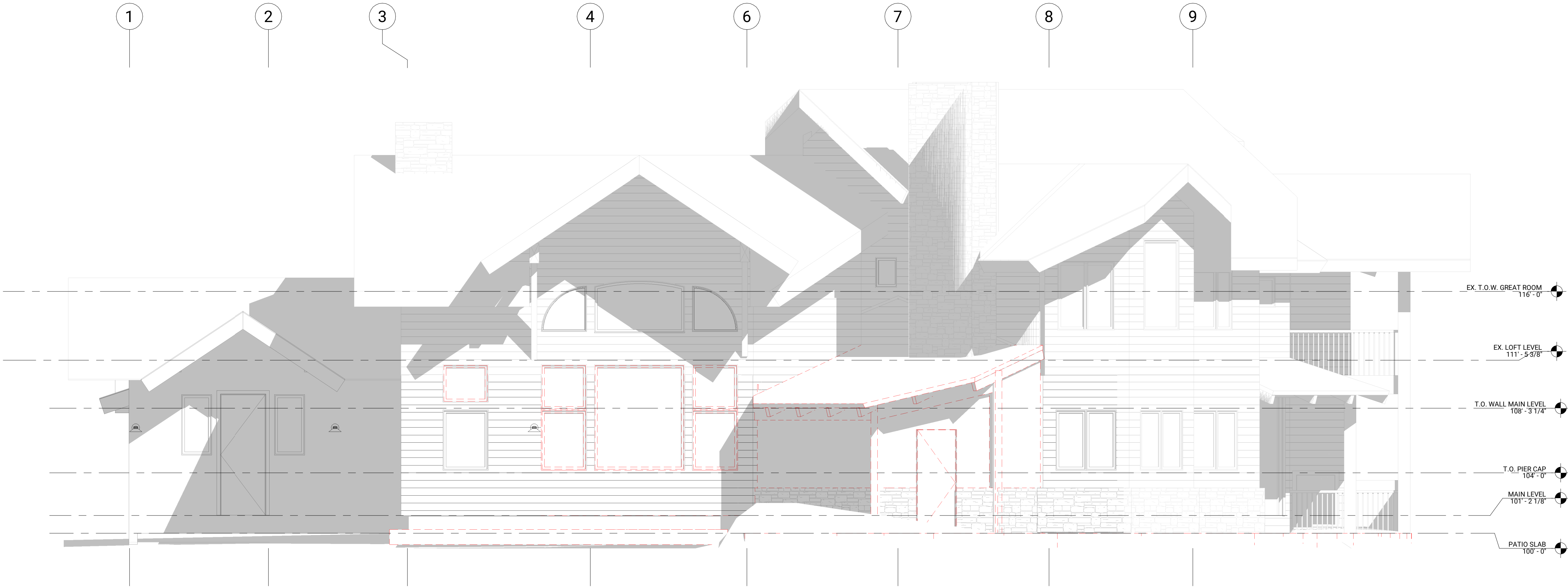
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6/12/2024 3:42:22 PM Autodesk Docs: //Woodrow/Woodrow_House.rvt



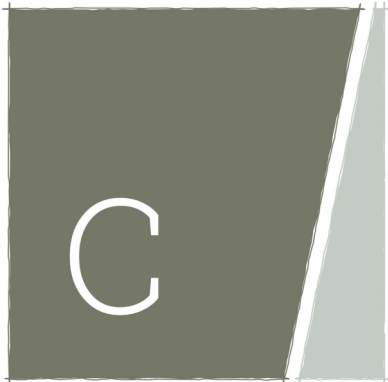
2 SOUTH DEMO ELEVATION

1/4" = 1'-0"




1 EAST DEMO ELEVATION

1/4" = 1'-0"



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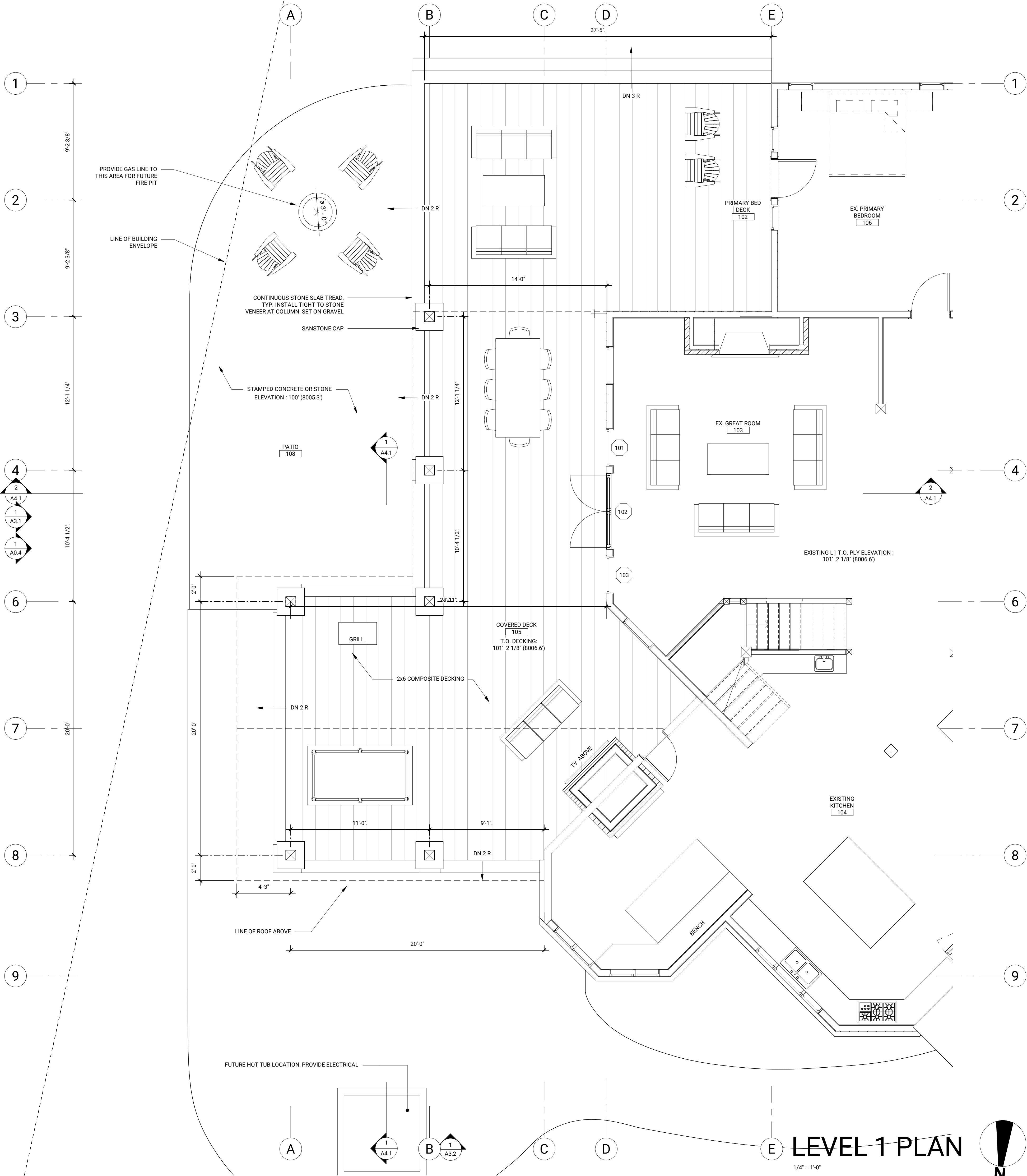
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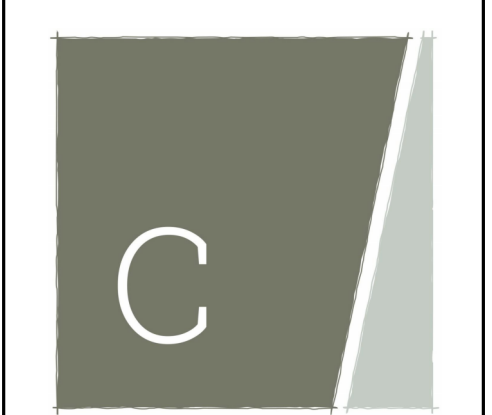
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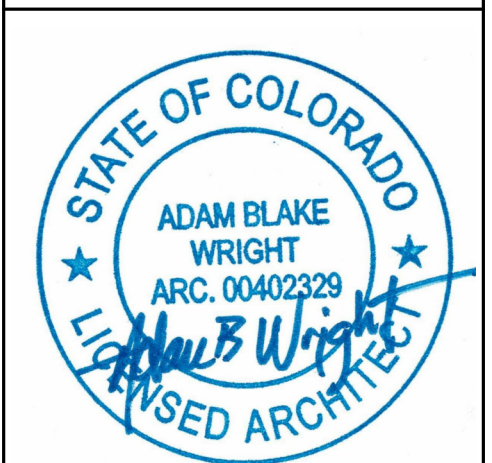
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STATE OF COLORADO
ADAM BLAKE WRIGHT
ARC. 00402329
Professional Engineer Seal

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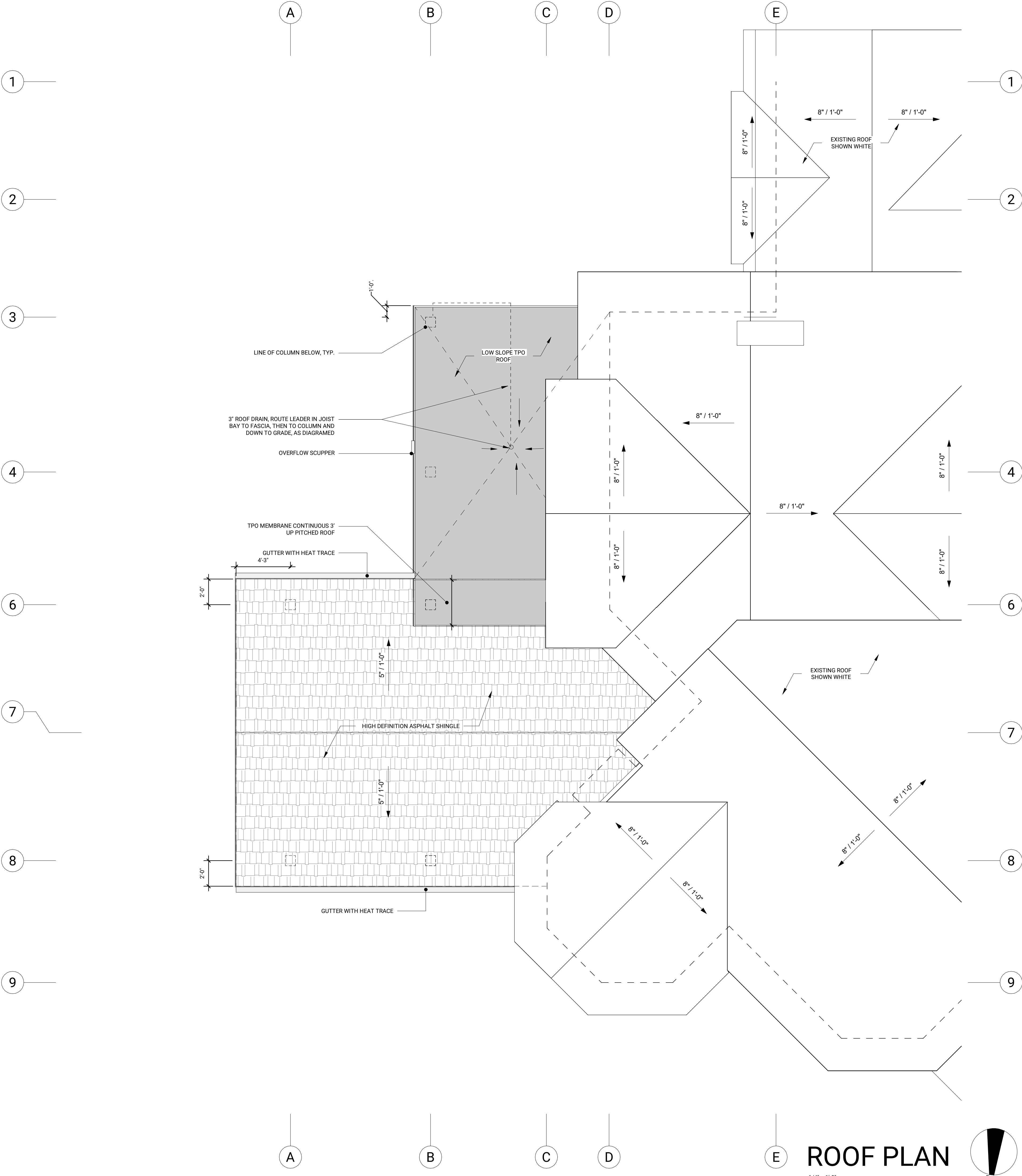
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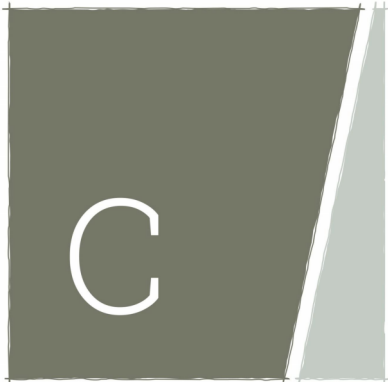
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LEVEL 1 FLOOR PLAN	
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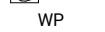

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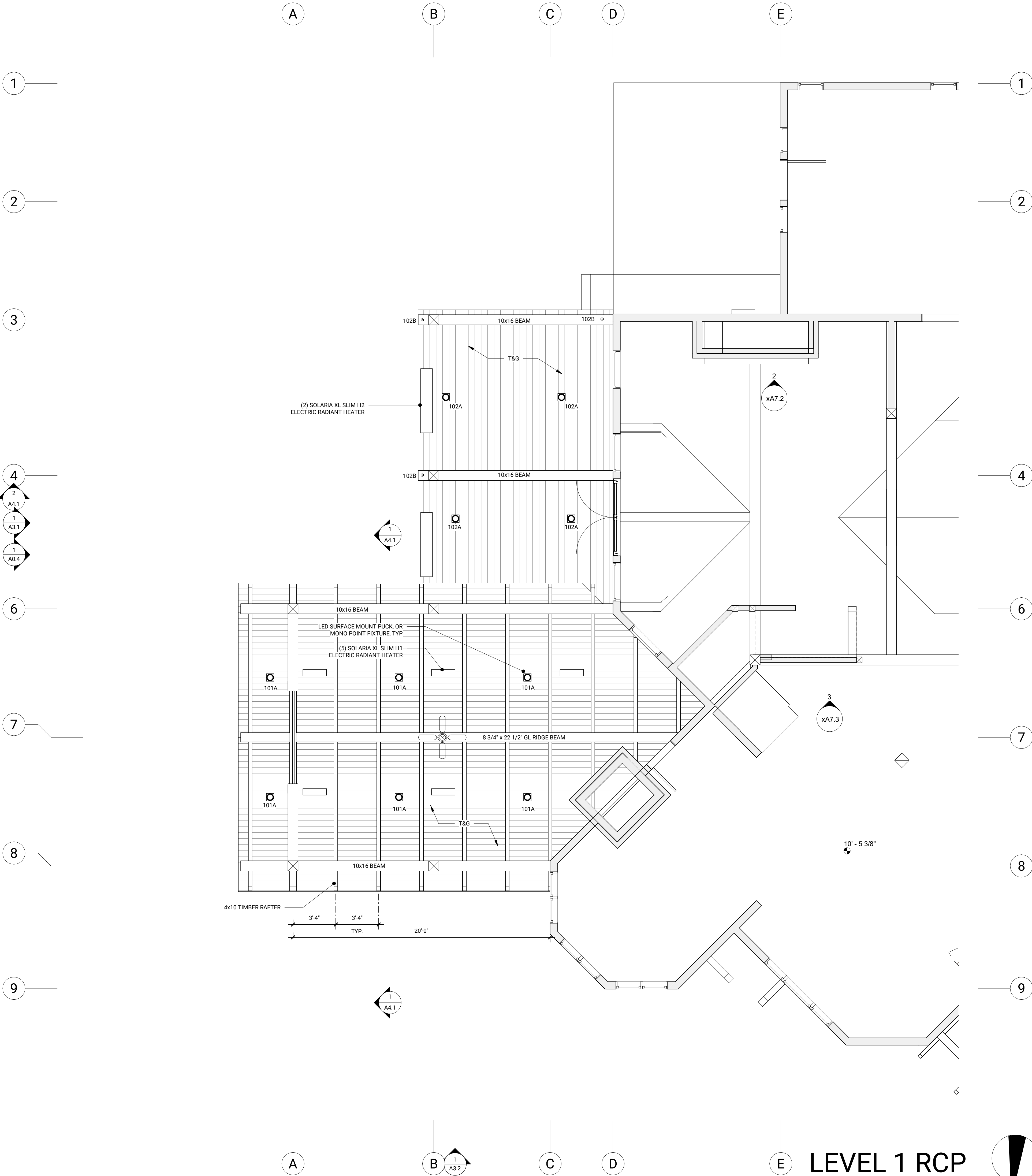
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ROOF PLAN	
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A2.3

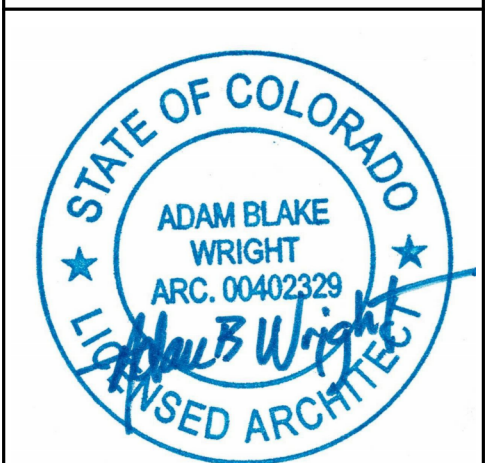
	RECESSED CAN LIGHT		OUTLET
	CEILING PLAN		GFCI OUTLET
	EXHAUST FAN		220V OUTLET
	WALL MOUNTED LIGHT		IN-WALL LANDSCAPE LIGHTING
	HANGING LIGHT		
	WALL WASH		
	RECESSED WATERPROOF CAN LIGHT		

FIXTURE LEGEND





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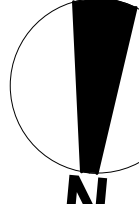
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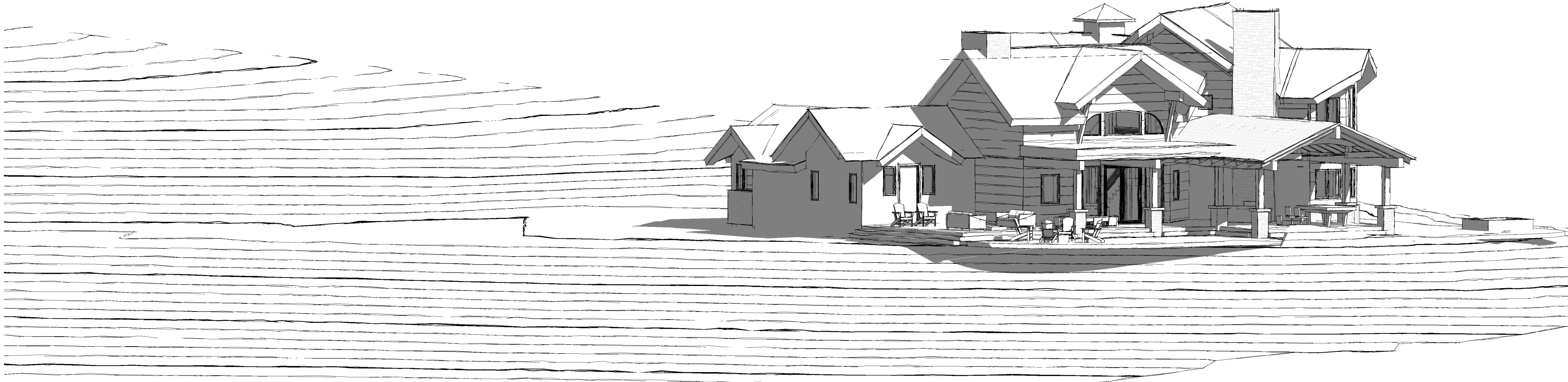
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LEVEL 1 RCP	
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A2.4





1 PERSPECTIVE 1



2 PERSPECTIVE 2

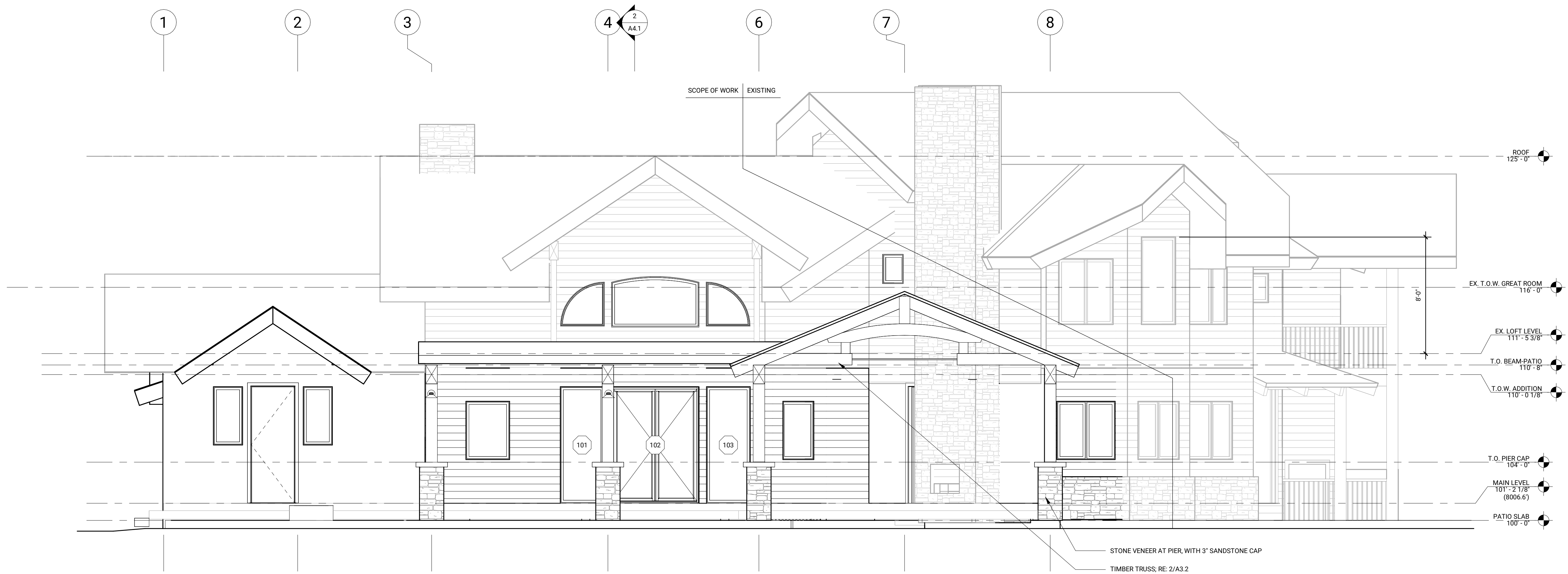
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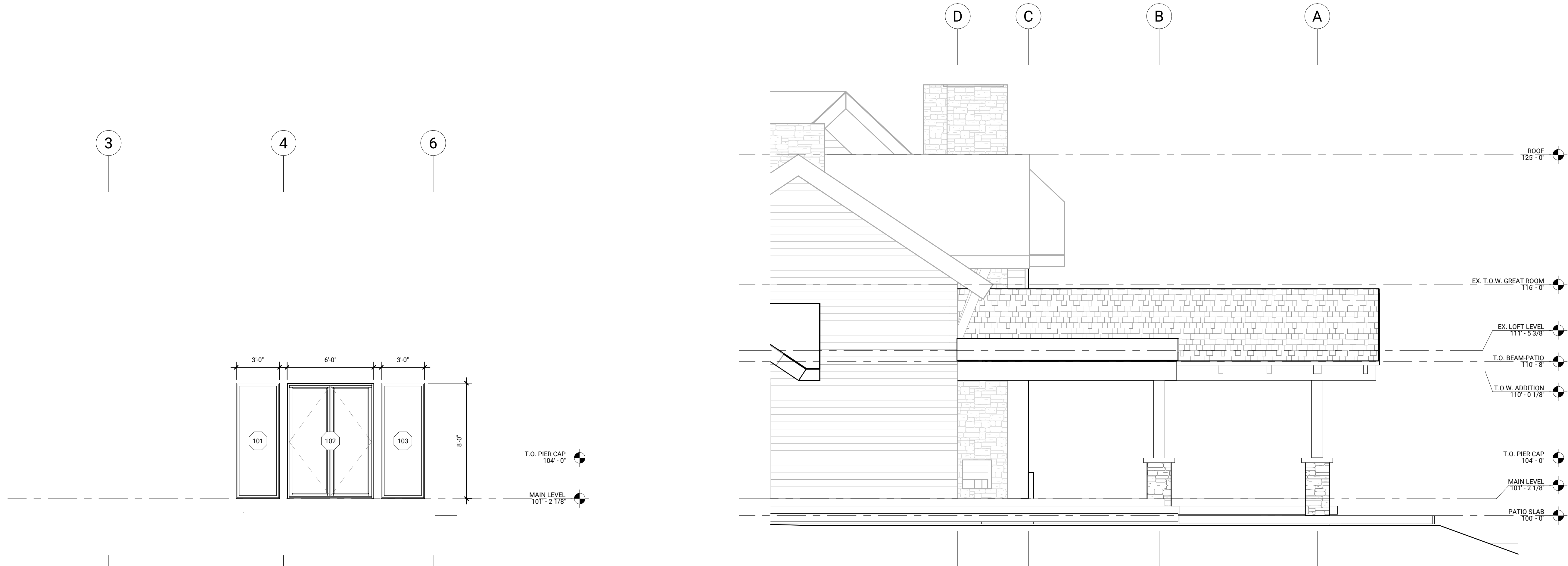
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PERSPECTIVE VIEWS	
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1 EAST ELEVATION

1/4" = 1'-0"



3 WINDOW ELEVATION

1/4" = 1'-0"

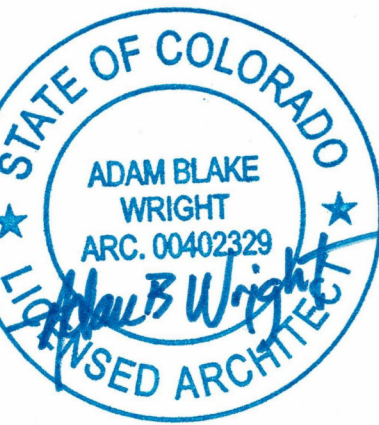
2 SOUTH ELEVATION

1/4" = 1'-0"



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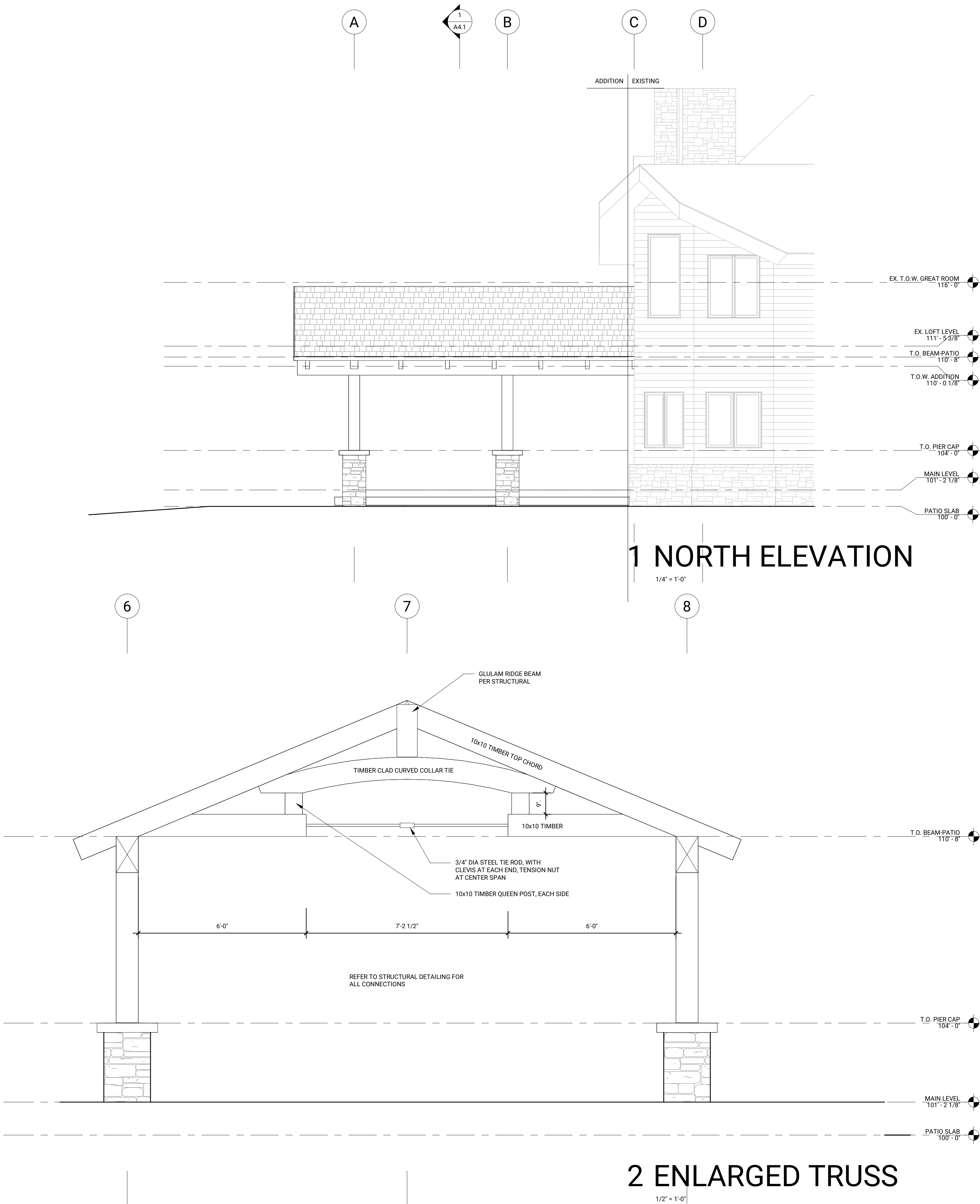
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