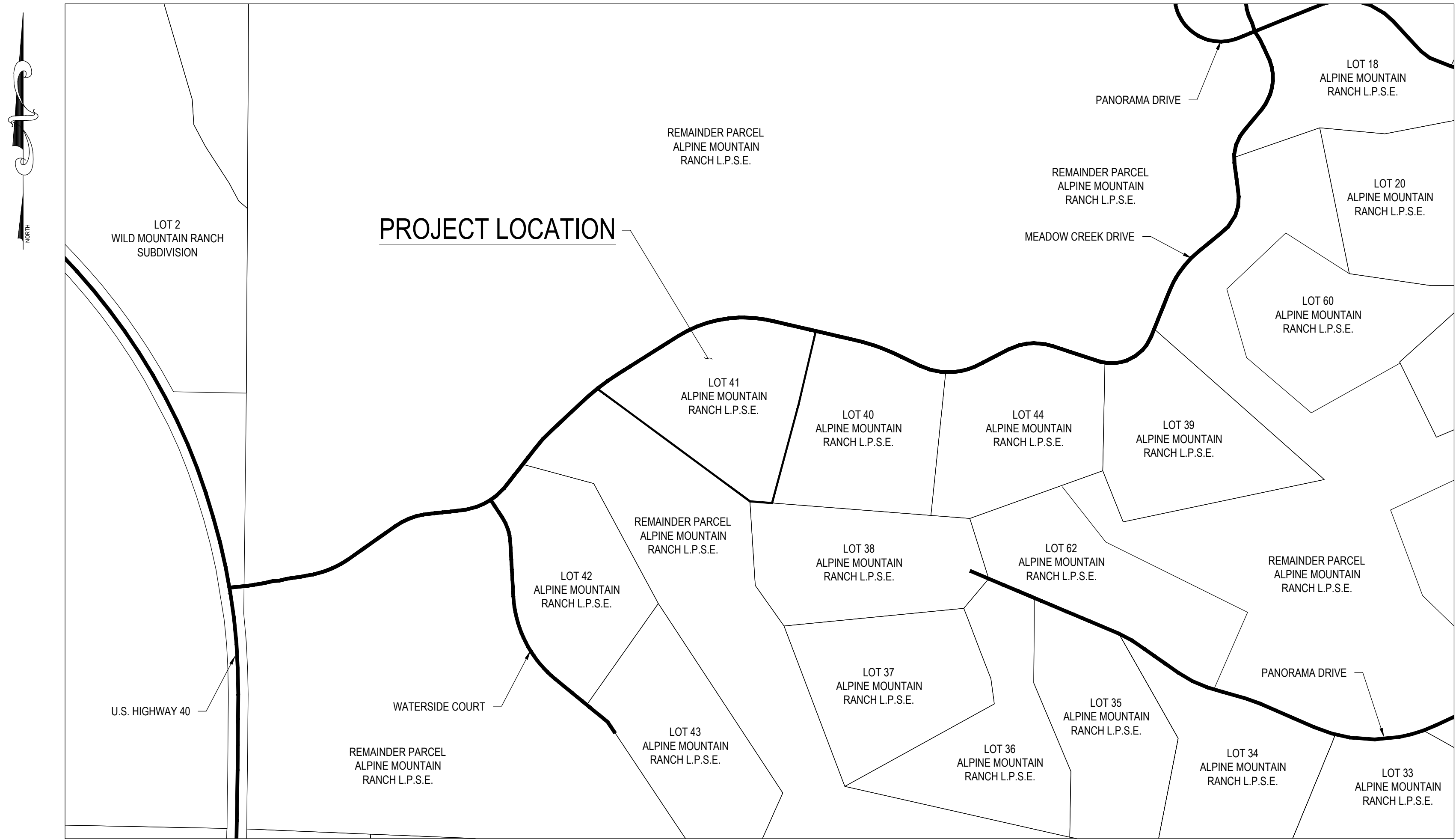


GENERAL LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING SETBACK
	EXISTING EDGE OF ASPHALT
	PROPOSED EDGE OF ASPHALT
	EXISTING 2 FT CONTOUR
	EXISTING 10 FT CONTOUR
	PROPOSED 2 FT CONTOUR
	PROPOSED 10 FT CONTOUR
	EXISTING EDGE OF GRAVEL
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EX CURB STOP, GATE VALVE, FIRE HYDRANT
	PROPOSED WATER SERVICE LINE
	PR CURB STOP, GATE VALVE, FIRE HYDRANT
	THRUST BLOCK
	EXISTING SEWER LINE
	EXISTING MANHOLE AND CLEANOUTS
	PROPOSED SEWER LINE
	PROPOSED MANHOLE AND CLEANOUTS
	EXISTING ELECTRICAL
	EXISTING TELEPHONE
	UTILITY PEDESTALS
	UTILITY PEDESTALS
	POWER POLE
	GAS
	EXISTING FENCE
	PROPOSED EDGE OF CONCRETE
	DECK
	PROPOSED BUILDING
	OVERHANG
	PROPOSED POND
	SIDEWALK/BOARDWALK
	PERIMETER DRAIN
	WALL
	VEGETATION OUTLINE
	PROPERTY CORNERS
	STORM INLET
	EX CULVERT
	PR CULVERT W/ FLARED END SECTIONS
	ASPHALT
	CONCRETE
	GRAVEL
	ROCK/RIIP RAP

LOT 41 - ALPINE MOUNTAIN RANCH L.P.S.E. BUILDING PERMIT SET



VICINITY MAP
SCALE: 1" = 250'

GENERAL NOTES:

- OWNER: WIEMERS LIVING TRUST, DATED 04/14/2022
- LOT AREA: 5.03 ACRES
- TOPOGRAPHIC INFORMATION OBTAINED FROM 2018 LIDAR DATA.
- LOCATES FOR BURIED UTILITIES WERE NOT REQUESTED OR OBTAINED BY FOUR POINTS SURVEYING AND ENGINEERING, INC. UTILITY LOCATES SHOULD BE OBTAINED PRIOR TO PERFORMING ANY WORK IN THE REFERENCED AREA.
- LOT IS VACANT WITH NATIVE VEGETATION. TOPSOIL DEPTH IS UNKNOWN.
- DIMENSIONS ARE IN FEET UNLESS OTHERWISE NOTED.
- ALL DISTURBED AREAS NOT RECEIVING GRAVEL SURFACING SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON. ALL FINISHED GRADES SHALL RECEIVE A MINIMUM OF 6" OF TOPSOIL, SEED, AND STRAW BLANKET IF APPLICABLE.
- PROPOSED UTILITY LINES, INCLUDING BUT NOT LIMITED TO WATER, SEWER, GAS, ELECTRICAL, AND COMMUNICATIONS SHOULD BE CONSIDERED APPROXIMATE ONLY AT THIS TIME. REFERENCE NWCC SOIL REPORTS FOR LOCATIONS OF PROPOSED SEPTIC TANK AND OWTS.

GRADING:

- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- VEGETATED SLOPES GREATER THAN 3:1 (H:V) REQUIRE SOIL STABILIZATION IN THE FORM OF APPROVED EROSION CONTROL MATTING OR TURF REINFORCEMENT MATTING.

EROSION CONTROL:

- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

RECORD DRAWINGS:

- EXISTING ASPHALT PAVEMENT SHALL BE STRAIGHT SAW CUT WHEN ADJOINING WITH NEW ASPHALT PAVEMENT OR WHEN ACCESS TO UNDERGROUND UTILITIES IS REQUIRED. TACK COAT SHALL BE APPLIED TO ALL EXPOSED SURFACES INCLUDING SAW CUTS, POTHOLES, TRENCHES, AND ASPHALT OVERLAY.
- ADJUST RIMS OF CLEANOUTS, MANHOLES, VALVE COVERS TO FINISHED GRADE, AS APPLICABLE.

WATER, SEWER AND UTILITY NOTES:

- EXISTING DRY UTILITY LOCATIONS AND WATER AND SEWER SERVICES WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING.
- MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10') FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10') FEET.
- ALL WORK SHALL BE IN ACCORDANCE WITH ROUTT COUNTY STANDARDS & SPECIFICATIONS.
- MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7) FEET UNLESS OTHERWISE NOTED. ALL WATER SERVICE LINES SHALL ONE INCH DIAMETER, CROSS-LINKED POLYETHYLENE (PEX) AND SEAMLESS BETWEEN FITTINGS.
- SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%, UNLESS NOTED OTHERWISE. INSTALL ±2 FEET OF FOUR INCH DIAMETER SDR-40 PVC PIPE DIRECTLY ADJACENT TO THE PROPOSED RESIDENCE AND CLEANOUT STRUCTURE. SEE SHEET C7 FOR ADDITIONAL INFORMATION.
- UNDERGROUND SEPTIC TANK AND LEACH FIELD SIZE AND LOCATION SHOWN SHOULD BE CONSIDERED APPROXIMATE ONLY. DESIGN TO BE PROVIDED BY OTHERS (NWCC).
- WATER DELIVERY SYSTEM TO FOLLOW EXHIBIT D OF THE ROUTT COUNTY DRB DESIGN GUIDELINES, AS LISTED BELOW:

All residences and other structures shall be connected to the community water system and water use shall be metered. Individual wells are prohibited. Domestic water demand can severely tax water supplies and delivery systems. Large households may use as much as an acre-foot of water a year (325,851 gallons). However, efficiency in water use can significantly reduce this demand. The largest water users in the home are toilets, washers, dishwashers and showers. Therefore, only reduced volume fixtures and appliances may be used and, in particular, multi-head and deluge-type shower fixtures are not recommended. If replacement is required in the future, fixtures and appliances approved by the Review Board may be replaced only with other low-volume fixtures and appliances. Any exterior water features such as small landscape ponds must be re-circulating in nature supplied after the meter and may require additional use fees. The management may require such features to be turned off in drought conditions or otherwise mitigate water use at the ranch. Based on overall home water consumption patterns and usage, the Alpine Mountain Ranch Metropolitan District or the Design Review Board may require some homes to install auxiliary water storage.

ABBREVIATIONS:

AP	ANGLE POINT	INV	INVERT
APR	APPROXIMATE	LF	LINEAL FEET
A	ASPHALT	LP	LOW POINT
BFF	BASEMENT FINISH FLOOR	MAX	MAXIMUM
BVC	BEGIN VERTICAL CURVE	MIN	MINIMUM
BW	BOTTOM OF WALL	NG	NATURAL GROUND
C	CURB	NG	OFFSET
CC	CURB CUT	PC	POINT OF CURVATURE
CG	CURB AND GUTTER	PED	PEDESTAL
CL	CENTERLINE	PI	POINT OF INTERSECTION
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
C/O	CLEAN OUT	PR	PROPOSED
CONC	CONCRETE	PT	POINT
CNR	CORNER	PVC	POINT OF VERTICAL CURVE
CR	CURB RETURN	PVC	POLYVINYL CHLORIDE PIPE
CS	CURB STOP	PVI	POINT OF VERTICAL INTERSECTION
D	DEPTH	RD	ROAD
DI	DRAIN INLET	R	RADIUS
DIP	DUCTILE IRON PIPE	ROW	RIGHT-OF-WAY
DMH	DRAINAGE MANHOLE	RW	RETAINING WALL
DRN	DRAIN	SQFT	SQUARE FEET
DT	DITCH	SMH	SEWER MANHOLE
DW	DRIVEWAY	SS	SANITARY SEWER
EG	EXISTING GRADE	STA	STATION
EL	ELEVATION	SW	SIDEWALK
EW	EDGE OF WALK	TB	THRUST BLOCK
EX	EXISTING	TBC	TOP BACK OF CURB
FES	FLARED END SECTION	TBR	TO BE REMOVED
FFE	FINISH FLOOR ELEVATION	TBW	TOP BACK OF WALK
FG	FINISH GRADE	TEL	TELEPHONE
FH	FIRE HYDRANT	TOP	TOP OF PIPE
FL	FLOW LINE	TW	TOP OF WALL
FT	FOOT OR FEET	TYP	TYPICAL
G	GRAVEL	VOL	VOLUME
GB	GRADE BREAK	VP	VALLEY PAN
HC	HANDICAP RAMP	W	WIDTH
HP	HIGH POINT	WL	WATERLINE
IN	INLET	WI	WITH

PROJECT CONTACT LIST

PROJECT OWNER

WIEMERS LIVING TRUST, DATED 04/13/2022
21930 WEST 119TH TERRACE
OLATHE, KANSAS 66061

CIVIL ENGINEER

FOUR POINTS SURVEYING AND ENGINEERING
ATTN: WALTER MAGILL, P.E.
440 S. LINCOLN AVE, SUITE 4A
STEAMBOAT SPRINGS, CO 80487

OFFICE: (970) 871-6772
EMAIL: walterm@fourpointsse.com

ARCHITECT

SPROUT ARCHITECTURE
ATTN: SCOTT BEANS, P.E. & NCARB

OFFICE: (970) 439-0088
EMAIL: scott@sproutaec.com

SHEET INDEX:

SHEET NO.	TITLE
C1	COVER SHEET & NOTES
C2	EXISTING CONDITIONS PLAN
C3	OVERALL SITE PLAN
C4	DRIVEWAY SECTION AND PROFILE
C5	DRIVEWAY GRADING AND DRAINAGE PLAN
C6	BUILDING GRADING AND DRAINAGE PLAN
C7	UTILITY PLAN
C8	CONSTRUCTION SITE MANAGEMENT PLAN
C9	CONSTRUCTION PHASING PLAN

PREPARED BY FOUR POINTS SURVEYING & ENGINEERING	No.	DATE	REVISIONS	INT		Four Points Surveying & Engineering 440 S. Lincoln Ave, Suite 4A P.O. Box 775966 Steamboat Springs, CO 80487 (970)-871-6772 matthew@fourpointsse.com	SHEET # C1
DATE: 10-25-2024 JOB #: 1147-053 DRAWN BY: DSC DESIGN BY: DSC REVIEW BY: WNM							
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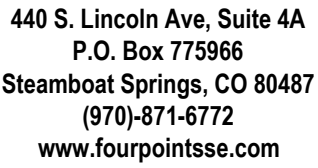
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01/08/2025



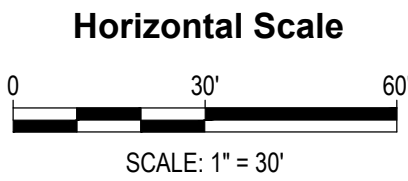


NOTES:

1. SEE SHEETS C1 AND C3 FOR ADDITIONAL NOTES AND LEGEND INFORMATION.

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LOT 41 ALPINE MOUNTAIN RANCH
BUILDING PERMIT PLANS



Contour Interval = 2 ft

DATE: 10-25-2024

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AWING:

**EXISTING
CONDITIONS PLAN**

SHEET #

C2





PROPERTY INFORMATION

1. PARCEL IDENTIFICATION NUMBER: 270400041
2. LEGAL DESCRIPTION: LOT 41 ALPINE MOUNTAIN RANCH L.P.S.E
3. SECTION, TOWNSHIP, RANGE: S3, T5, R84
4. PROPERTY OWNER: WIEMERS LIVING TRUST, DATED 04/13/2022

GENERAL NOTES:

1. SEE SHEET C1 OF THIS BUILDING PERMIT PLAN SET FOR ADDITIONAL NOTES AND LEGEND INFORMATION.
2. FOUR POINTS SURVEYING AND ENGINEERING COMPLETED A FIELD SURVEY OF THE SUBJECT PROPERTY ON MAY 13, 2024. PROPERTY CORNERS WERE LOCATED AS SHOWN HEREON. BEARING AND DISTANCE VALUES REPRESENT MEASURED FIELD SURVEY DIMENSIONS.
3. EXISTING CONTOURS ARE GENERATED FROM LIDAR INFORMATION PROVIDED BY THE COLORADO HAZARD MAPPING & RISK MAP PORTAL AT THE COLORADO WATER CONSERVATION BOARD. THE CONTOURS REFLECT THE CONDITIONS ON THE GROUND FROM 10-14-2015 TO 9-20-2016. THE LIDAR INFORMATION WAS COLLECTED BY MERRICK & CO AND PUBLISHED BY CWCB ON 10-1-2016 USING THE COLORADO STATE PLANE NORTH, NAD 1983 COORDINATE SYSTEM.
4. CONTRACTOR TO WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION ON SLOPES. ALL SLOPES EQUAL OR GREATER THAN 3:1 (HORIZONTAL TO VERTICAL RATIO) REQUIRE SLOPE STABILIZATION IN THE FORM OF EROSION CONTROL BLANKET OR TURF REINFORCEMENT MATTING. REFERENCE THE CONSTRUCTION SITE MANAGEMENT SHEET (C8) FOR ADDITIONAL INFORMATION.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITY MAIN AND SERVICE LINES PRIOR TO COMMENCING EARTH MOVING ACTIVITIES. CONTACT THE RESPONSIBLE UTILITY PARTIES AND CALL 8-1-1 TO LOCATE BURIED UTILITY LINES PRIOR TO CONSTRUCTION.
6. A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) WILL BE REQUIRED AS PART OF THE GRADING AND EXCAVATING AND BUILDING PERMIT FOR THE PROJECT. FOUR POINTS SURVEYING AND ENGINEERING WILL PREPARE A CSMP FOR THE CONTRACTOR PRIOR TO ISSUING FOR PERMIT. SEE SHEET C8 FOR ADDITIONAL INFORMATION.
7. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO CONSTRUCTION. A COPY OF THE NECESSARY PERMITS SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION. IT IS ANTICIPATED AT A MINIMUM THAT A GRADING AND EXCAVATING PERMIT AND A BUILDING PERMIT WILL BE REQUIRED FROM ROUTT COUNTY FOR THE INTENDED WORK OF THIS PROJECT.
8. IT IS RECOMMENDED THAT DISTURBED SLOPES FOR THE PROJECT SHALL NOT EXCEED 2:1 (H:V) OR 50% SLOPE WITHOUT THE INSTALLATION OF AN ENGINEERED RETAINING WALL. ANY SLOPES EXCEEDING IN STEEPNESS NEED TO BE EVALUATED BY A LICENSED GEOTECHNICAL ENGINEER IN THE STATE OF COLORADO.
9. ALL DISTURBED SOILS SHALL BE RE-VEGETATED WITHIN ONE CONSTRUCTION SEASON. INSTALL SOD, HAY MULCH, SEEDING PER ROUTT COUNTY ROAD AND BRIDGE SPECIFICATIONS, LATEST EDITION.
10. SEE SHEET C7 FOR ADDITIONAL INFORMATION ON UTILITY SERVICE LINES AND TAP CONNECTIONS.

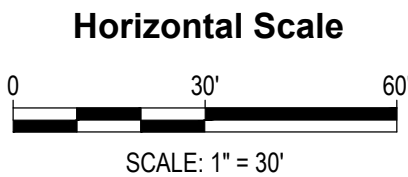


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LOT 41 ALPINE MOUNTAIN RANCH

BUILDING PERMIT PLANS



Contour Interval = 2 ft

DATE: 10-25-2024
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DRAWING:

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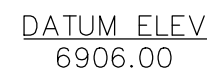
OVERALL SITE PLAN

C3

Revised

01/08/2025 7:51:42 AM





HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

[illegible]

LOT 41 ALPINE MOUNTAIN RANCH

DATE: 10-25-2024
 DB #: 1147-053
 DRAWN BY: DSC
 DESIGN BY: DSC/SB
 REVIEW BY: WNM

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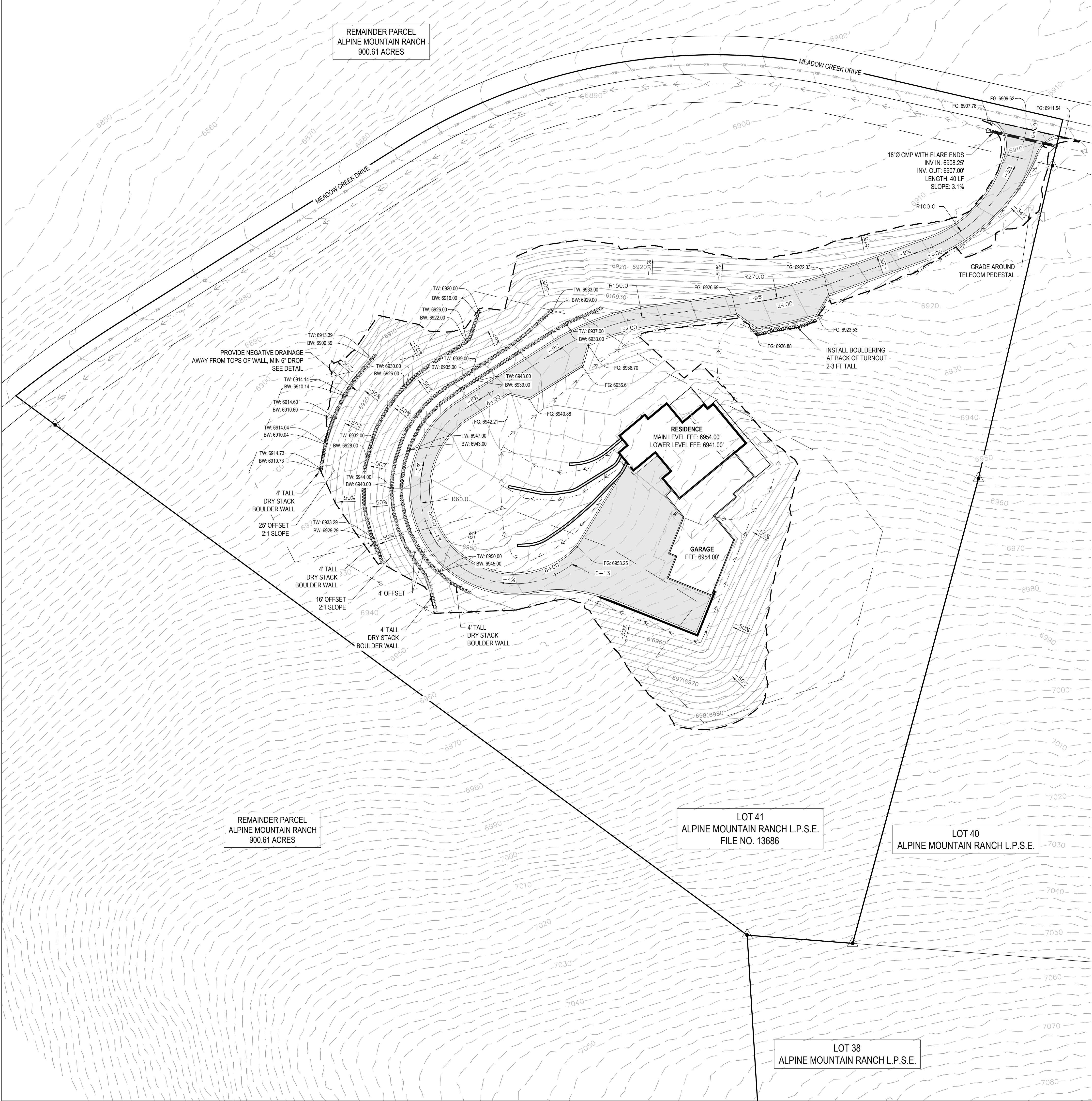
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DRIVEWAY SECTION AND PROFILE

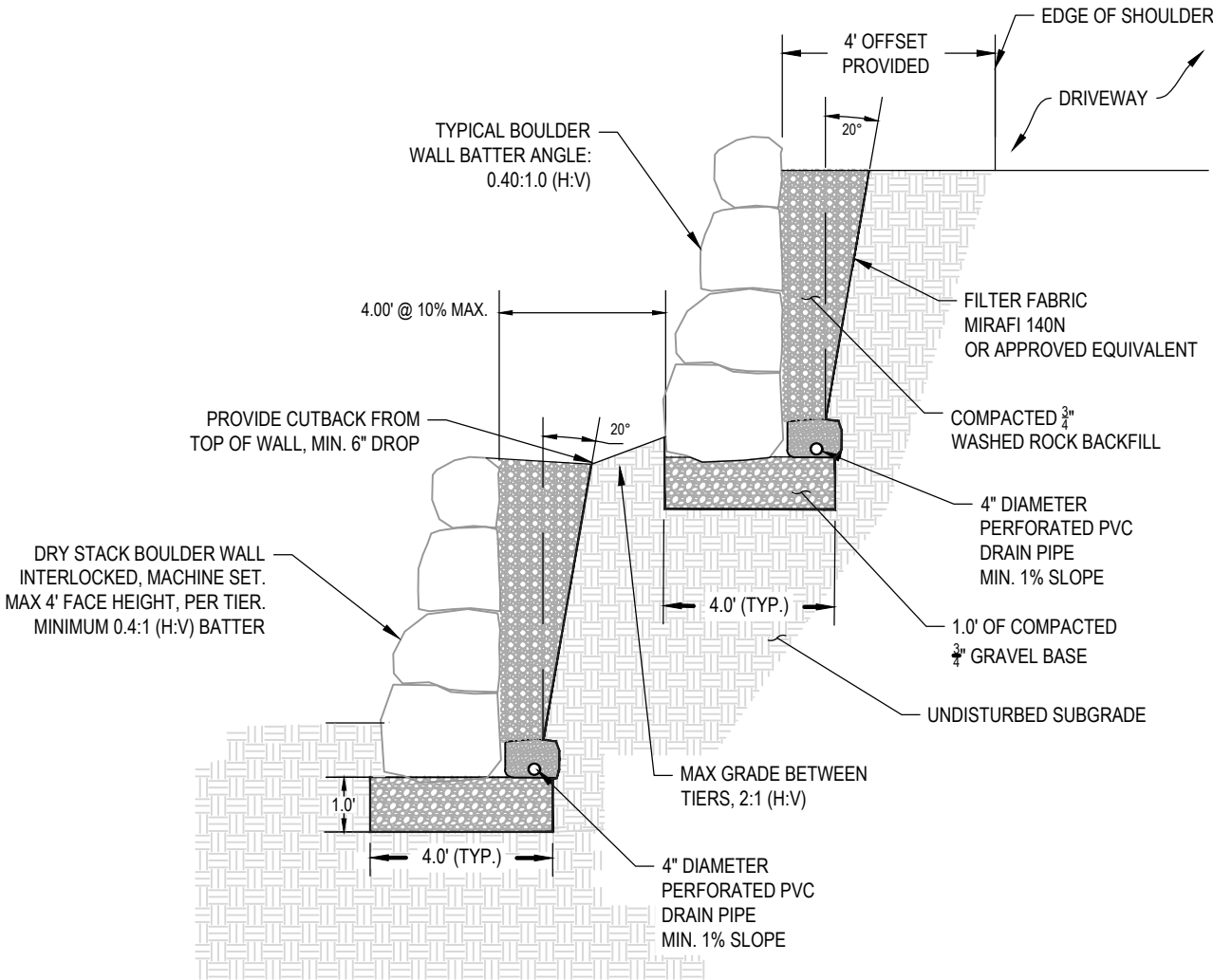
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C4





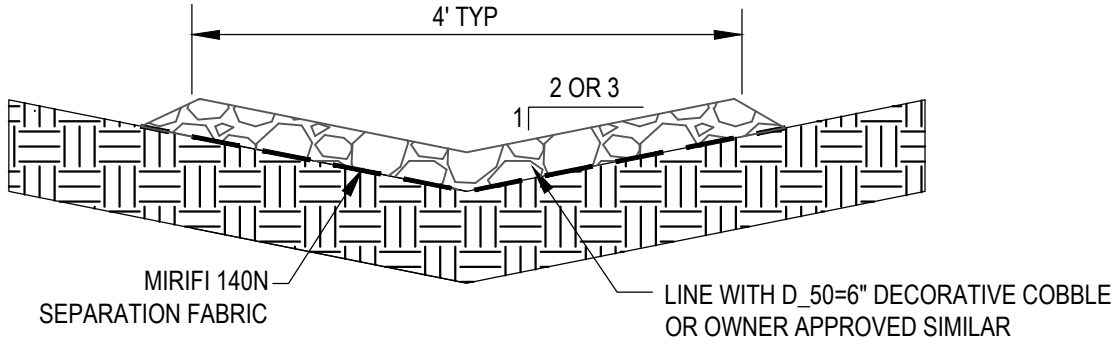
DRIVEWAY GRADING AND DRAINAGE PLAN



TIERED RETAINING WALL TYPICAL DETAIL
NOT TO SCALE

BOULDER WALL NOTES:

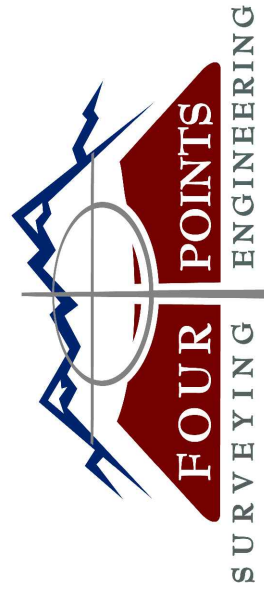
- 1. A LICENSED GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF COLORADO, SHALL BE APPOINTED TO REVIEW THE FEASIBILITY OF THE DRY STACK BOULDER WALL TIERS PRESENTED ON THESE PLANS.
- 2. COMPACT SUB-GRADE SOILS TO 95% OF THE MAXIMUM MODIFIED PROCTOR.
- 3. BACKFILL MATERIALS SHALL BE CAREFULLY PLACED IN UNIFORM LIFTS AT A MAXIMUM 8" DEEP LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY AND NEAR THE OPTIMUM MOISTURE CONTENT.
- 4. PRIOR TO PLACEMENT, ANY BACKFILL MATERIALS MUST BE SAMPLED AND RECEIVE A SOILS REPORT.
- 5. INSTALL MIRAFI 140N FILTER FABRIC, OR APPROVED EQUIVALENT, TO PROTECT WASHED ROCK BACKFILL FROM NATURAL SOIL BACKFILL.
- 6. COMPACT WASHED ROCK BACKFILL WITH VIBRATORY COMPACTOR.
- 7. MINIMUM 20" CUTBACK ANGLE TO BE PROVIDED.
- 8. OVERALL MAXIMUM HEIGHT PER WALL TIER IS 4.0 FEET.



RIPRAP LINED SWALE TYPICAL DETAIL
NOT TO SCALE



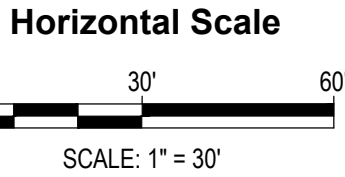
TYPICAL VEGETATED DRAINAGE SWALE DETAIL
NOT TO SCALE



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LOT 41 ALPINE MOUNTAIN RANCH
BUILDING PERMIT PLANS



Contour Interval = 2 ft

DATE: 10-25-2024
JOB #: 1147-053
DRAWN BY: DSC
DESIGN BY: DSC/SB
REVIEW BY: WNM

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DRAWING:
GRADING AND
DRAINAGE PLAN

SHEET #

C5

Revised
01/08/2025 7:52:01 AM



Year	Number of people	Percentage of total population
2010	1,234,567	12.34%
2011	1,345,678	13.45%
2012	1,456,789	14.56%
2013	1,567,890	15.67%
2014	1,678,901	16.78%
2015	1,789,012	17.89%
2016	1,890,123	18.90%
2017	1,901,234	19.01%
2018	1,912,345	19.12%
2019	1,923,456	19.23%
2020	1,934,567	19.34%

Horizontal Scale



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SHEET #

C6

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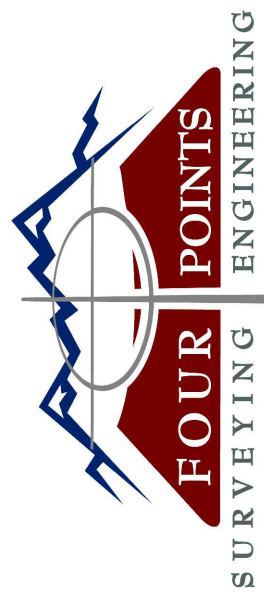




WATER, SEWER AND UTILITY NOTES:

1. EXISTING DRY UTILITY LOCATIONS AND WATER AND SEWER SERVICES WERE OBTAINED FROM UTILITY MAPPING, FIELD SURVEYING AND HAVE NOT BEEN VERIFIED WITH ANY ADDITIONAL UNDERGROUND POTHOLING.
2. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER MAINS AND SERVICES IS TEN (10)' FEET. MINIMUM SEPARATION BETWEEN PARALLEL WATER AND SEWER SERVICE LINES IS TEN (10)' FEET.
3. ALL WORK SHALL BE IN ACCORDANCE WITH ROUTT COUNTY STANDARDS & SPECIFICATIONS.
4. MINIMUM COVER FROM FINISHED GRADE TO TOP OF WATER MAIN LINE IS SEVEN (7)' FEET UNLESS OTHERWISE NOTED. ALL WATER SERVICE LINES SHALL ONE INCH DIAMETER, CROSS-LINKED POLYETHYLENE (PEX) AND SEAMLESS BETWEEN FITTINGS.
5. SEWER SERVICES ARE ANTICIPATED TO BE FOUR (4") INCH DIAMETER, SDR 35 PVC, MINIMUM SLOPE OF 2%, UNLESS NOTED OTHERWISE. MINIMUM 42 FEET OF FOUR INCH DIAMETER SDR 40 PVC PIPE DIRECTLY ADJACENT TO THE PROPOSED RESIDENCE AND CLEANOUT STRUCTURE. SEE SHEET C7 FOR ADDITIONAL INFORMATION.
6. UNDERGROUND SEPTIC TANK AND LEACH FIELD SIZE AND LOCATION SHOWN SHOULD BE CONSIDERED APPROXIMATE ONLY. DESIGN TO BE PROVIDED BY OTHERS (WWOC).
7. WATER DELIVERY SYSTEM TO FOLLOW EXHIBIT D OF THE ROUTT COUNTY DRB DESIGN GUIDELINES, AS LISTED BELOW:

All residences and other structures shall be connected to the community water system and water use shall be metered. Individual wells are prohibited. Domestic water demand can severely tax water supplies and delivery systems. Large households may use as much as an acre-foot of water a year (323,851 gallons). However, efficiency in water use can significantly reduce this demand. The largest water users in the home are toilets, washers, dishwashers and showers. Therefore, only reduced volume fixtures and appliances may be used and, in particular, multi-head and deluge-type shower fixtures are not recommended. If replacement is required in the future, fixtures and appliances approved by the Review Board may be replaced only with other low-volume fixtures and appliances. Any exterior water features such as small landscape ponds must be re-circulating in nature supplied after the meter and may require additional use fees. The management may require such features to be turned off in drought conditions or otherwise mitigate water use at the ranch. Based on overall home water consumption patterns and usage, the Alpine Mountain Ranch Metropolitan District or the Design Review Board may require some homes to install auxiliary water storage.

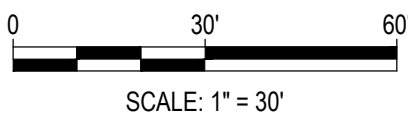


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[illegible]

**LOT 41 ALPINE MOUNTAIN RANCH
BUILDING PERMIT PLANS**

Horizontal Scale



Contour Interval = 2 ft

DATE: 10-25-2024

JOB #: 1147-053

DRAWN BY: DSC

DESIGN BY: DSCA

REVIEW BY: WNN

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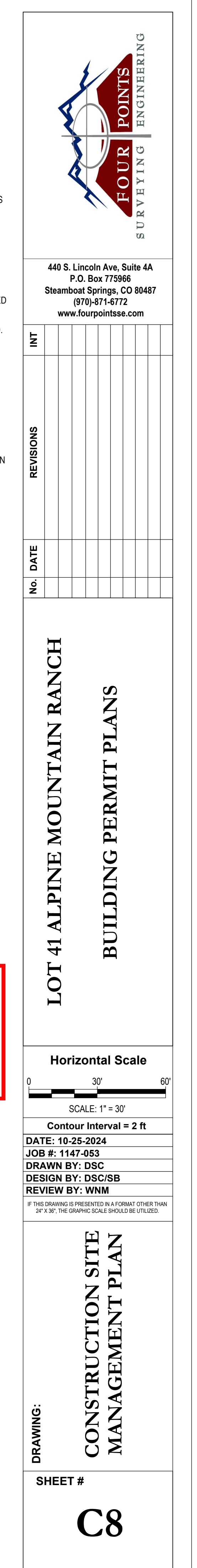
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UTILITY PLAN

SHEET #

C7







PHASING PLAN

PHASE 1 CONSTRUCTION: 1.00 ACRES

PHASE 2 CONSTRUCTION: 0.55 ACRES

PHASE I - EARTHWORK QUANTITIES

AREA OF DISTURBANCE:	43,560	SQUARE FEET
TOPSOIL REMOVAL:	800	CUBIC YARDS
CUT VOLUME:	200	CUBIC YARDS
FILL VOLUME:	14,650	CUBIC YARDS
NET VOLUME (FILL):	14,450	CUBIC YARDS

1. TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 0.5 FEET. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE DISTURBANCE AREA.
2. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
3. A FILL FACTOR OF 1.10 WAS USED FOR THE CUT/FILL CALCULATIONS.
4. FILL VOLUMES INCLUDE NATIVE MATERIAL AND ALL IMPORT MATERIAL (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

PHASE II - EARTHWORK QUANTITIES

AREA OF DISTURBANCE:	23,940	SQUARE FEET
TOPSOIL REMOVAL:	450	CUBIC YARDS
CUT VOLUME:	5,250	CUBIC YARDS
FILL VOLUME:	750	CUBIC YARDS
NET VOLUME (CUT):	4,500	CUBIC YARDS

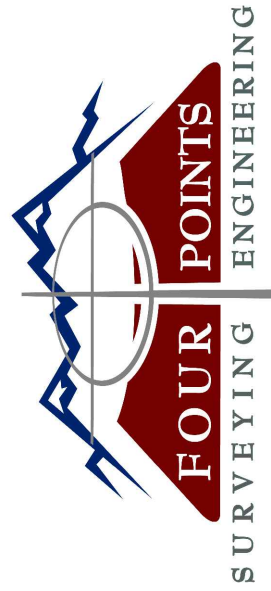
1. TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 0.5 FEET. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE DISTURBANCE AREA.
2. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
3. A FILL FACTOR OF 1.10 WAS USED FOR THE CUT/FILL CALCULATIONS.
4. FILL VOLUMES INCLUDE NATIVE MATERIAL AND ALL IMPORT MATERIAL (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

TOTAL EARTHWORK QUANTITIES

AREA OF DISTURBANCE:	67,500	SQUARE FEET
TOPSOIL REMOVAL:	1,250	CUBIC YARDS
CUT VOLUME:	5,450	CUBIC YARDS
FILL VOLUME:	15,400	CUBIC YARDS
NET VOLUME (FILL):	9,950	CUBIC YARDS

1. TOPSOIL STRIPPING VOLUME ASSUMES AN AVERAGE TOPSOIL DEPTH OF 0.5 FEET. ACTUAL TOPSOIL DEPTH MAY VARY ACROSS THE DISTURBANCE AREA.
2. THE TOTAL CUT VOLUME INCLUDES TOPSOIL STRIPPING.
3. A FILL FACTOR OF 1.10 WAS USED FOR THE CUT/FILL CALCULATIONS.
4. FILL VOLUMES INCLUDE NATIVE MATERIAL AND ALL IMPORT MATERIAL (I.E. GRAVEL, ASPHALT, CONCRETE, ETC.)

REVIEWED
FOR
CODE
COMPLIANCE
01/08/2025



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Steamboat Springs, CO 80487
(970)-871-6772
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INT	REVISIONS	DATE

LOT 41 ALPINE MOUNTAIN RANCH
BUILDING PERMIT PLANS

Horizontal Scale
0 30' 60'
SCALE: 1" = 30'
Contour Interval = 2 ft
DATE: 10-25-2024
JOB #: 1147-053
DRAWN BY: DSC
DESIGN BY: DSC/SB
REVIEW BY: WNM
IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN 24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

DRAWING:
PHASING PLAN
SHEET #

C9