



## PROPERTY INFORMATION

1. PARCEL IDENTIFICATION NUMBER: 270400041
2. LEGAL DESCRIPTION: LOT 41 ALPINE MOUNTAIN RANCH L.P.S.E
3. SECTION, TOWNSHIP, RANGE: S3, T5, R84
4. PROPERTY OWNER: WIEMERS LIVING TRUST, DATED 04/13/2022

GENERAL NOTES:

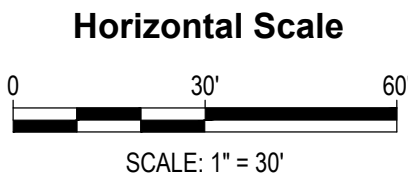
1. SEE SHEET C1 OF THIS BUILDING PERMIT PLAN SET FOR ADDITIONAL NOTES AND LEGEND INFORMATION.
2. FOUR POINTS SURVEYING AND ENGINEERING COMPLETED A FIELD SURVEY OF THE SUBJECT PROPERTY ON MAY 13, 2024. PROPERTY CORNERS WERE LOCATED AS SHOWN HEREON. BEARING AND DISTANCE VALUES REPRESENT MEASURED FIELD SURVEY DIMENSIONS.
3. EXISTING CONTOURS ARE GENERATED FROM LIDAR INFORMATION PROVIDED BY THE COLORADO HAZARD MAPPING & RISK MAP PORTAL AT THE COLORADO WATER CONSERVATION BOARD. THE CONTOURS REFLECT THE CONDITIONS ON THE GROUND FROM 10-14-2015 TO 9-20-2016. THE LIDAR INFORMATION WAS COLLECTED BY MERRICK & CO AND PUBLISHED BY CWCB ON 10-1-2016 USING THE COLORADO STATE PLANE NORTH, NAD 1983 COORDINATE SYSTEM.
4. CONTRACTOR TO WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION ON SLOPES. ALL SLOPES EQUAL OR GREATER THAN 3:1 (HORIZONTAL TO VERTICAL RATIO) REQUIRE SLOPE STABILIZATION IN THE FORM OF EROSION CONTROL BLANKET OR TURF REINFORCEMENT MATTING. REFERENCE THE CONSTRUCTION SITE MANAGEMENT SHEET (C8) FOR ADDITIONAL INFORMATION.
5. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PUBLIC AND PRIVATE UTILITY MAIN AND SERVICE LINES PRIOR TO COMMENCING EARTH MOVING ACTIVITIES. CONTACT THE RESPONSIBLE UTILITY PARTIES AND CALL 8-1-1 TO LOCATE BURIED UTILITY LINES PRIOR TO CONSTRUCTION.
6. A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) WILL BE REQUIRED AS PART OF THE GRADING AND EXCAVATING AND BUILDING PERMIT FOR THE PROJECT. FOUR POINTS SURVEYING AND ENGINEERING WILL PREPARE A CSMP FOR THE CONTRACTOR PRIOR TO ISSUING FOR PERMIT. SEE SHEET C8 FOR ADDITIONAL INFORMATION.
7. CONTRACTOR SHALL OBTAIN ALL NECESSARY LOCAL, STATE, AND FEDERAL PERMITS PRIOR TO CONSTRUCTION. A COPY OF THE NECESSARY PERMITS SHALL BE MAINTAINED ON-SITE AT ALL TIMES DURING CONSTRUCTION. IT IS ANTICIPATED AT A MINIMUM THAT A GRADING AND EXCAVATING PERMIT AND A BUILDING PERMIT WILL BE REQUIRED FROM ROUTT COUNTY FOR THE INTENDED WORK OF THIS PROJECT.
8. IT IS RECOMMENDED THAT DISTURBED SLOPES FOR THE PROJECT SHALL NOT EXCEED 2:1 (H:V) OR 50% SLOPE WITHOUT THE INSTALLATION OF AN ENGINEERED RETAINING WALL. ANY SLOPES EXCEEDING IN STEEPNESS NEED TO BE EVALUATED BY A LICENSED GEOTECHNICAL ENGINEER IN THE STATE OF COLORADO.
9. ALL DISTURBED SOILS SHALL BE RE-VEGETATED WITHIN ONE CONSTRUCTION SEASON. INSTALL SOD, HAY MULCH, SEEDING PER ROUTT COUNTY ROAD AND BRIDGE SPECIFICATIONS, LATEST EDITION.
10. SEE SHEET C7 FOR ADDITIONAL INFORMATION ON UTILITY SERVICE LINES AND TAP CONNECTIONS.



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[illegible]

**LOT 41 ALPINE MOUNTAIN RANCH  
BUILDING PERMIT PLANS**



**Contour Interval = 2 ft**

DATE: 10-25-2024  
JOB #: 1147-053  
DRAWN BY: DSC  
DESIGN BY: DSC/SB  
REVIEW BY: WNM

IF THIS DRAWING IS PRESENTED IN A FORMAT OTHER THAN  
24" X 36", THE GRAPHIC SCALE SHOULD BE UTILIZED.

**DRAWING:**

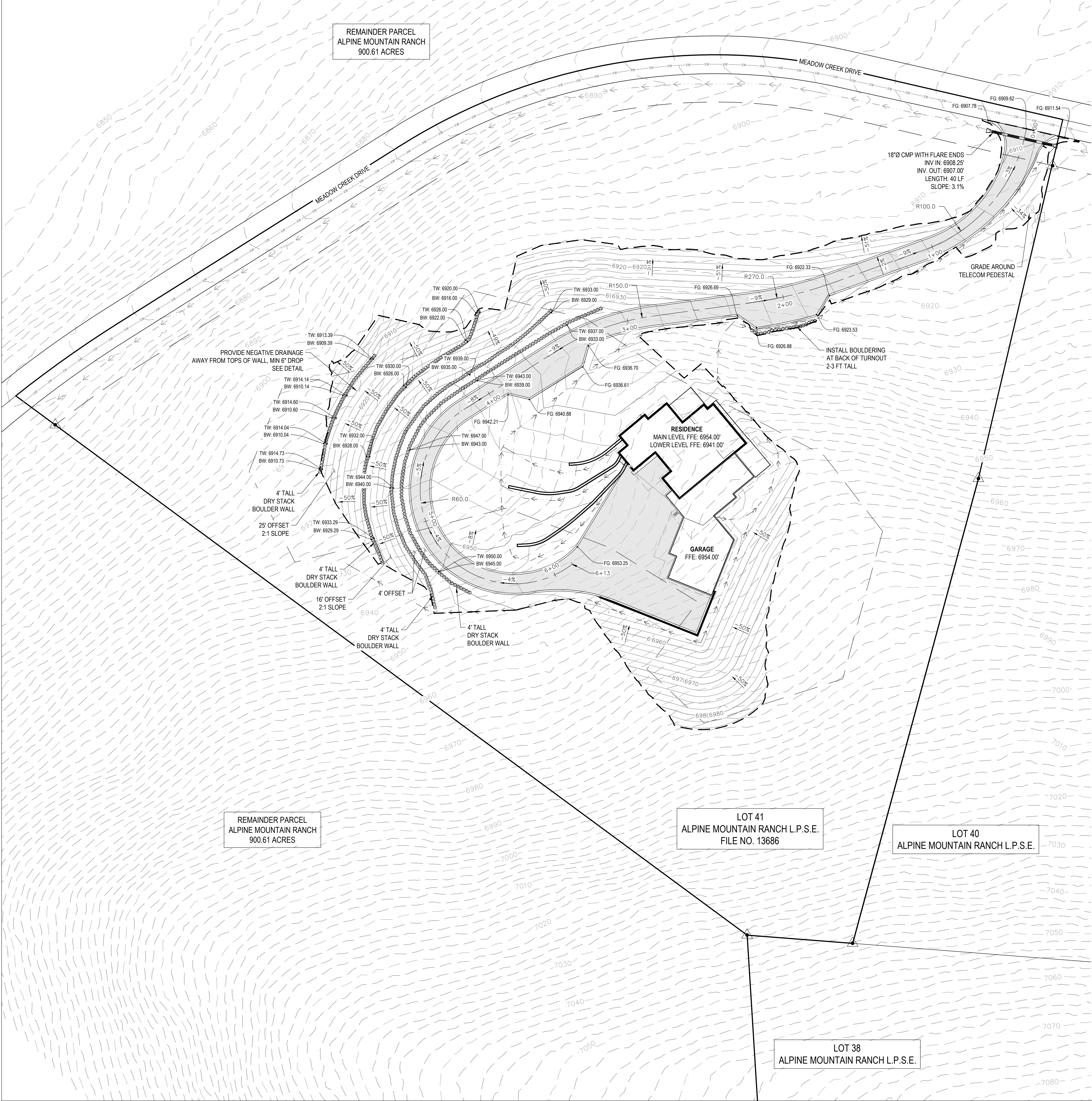
**SHEET #**

# OVERALL SITE PLAN

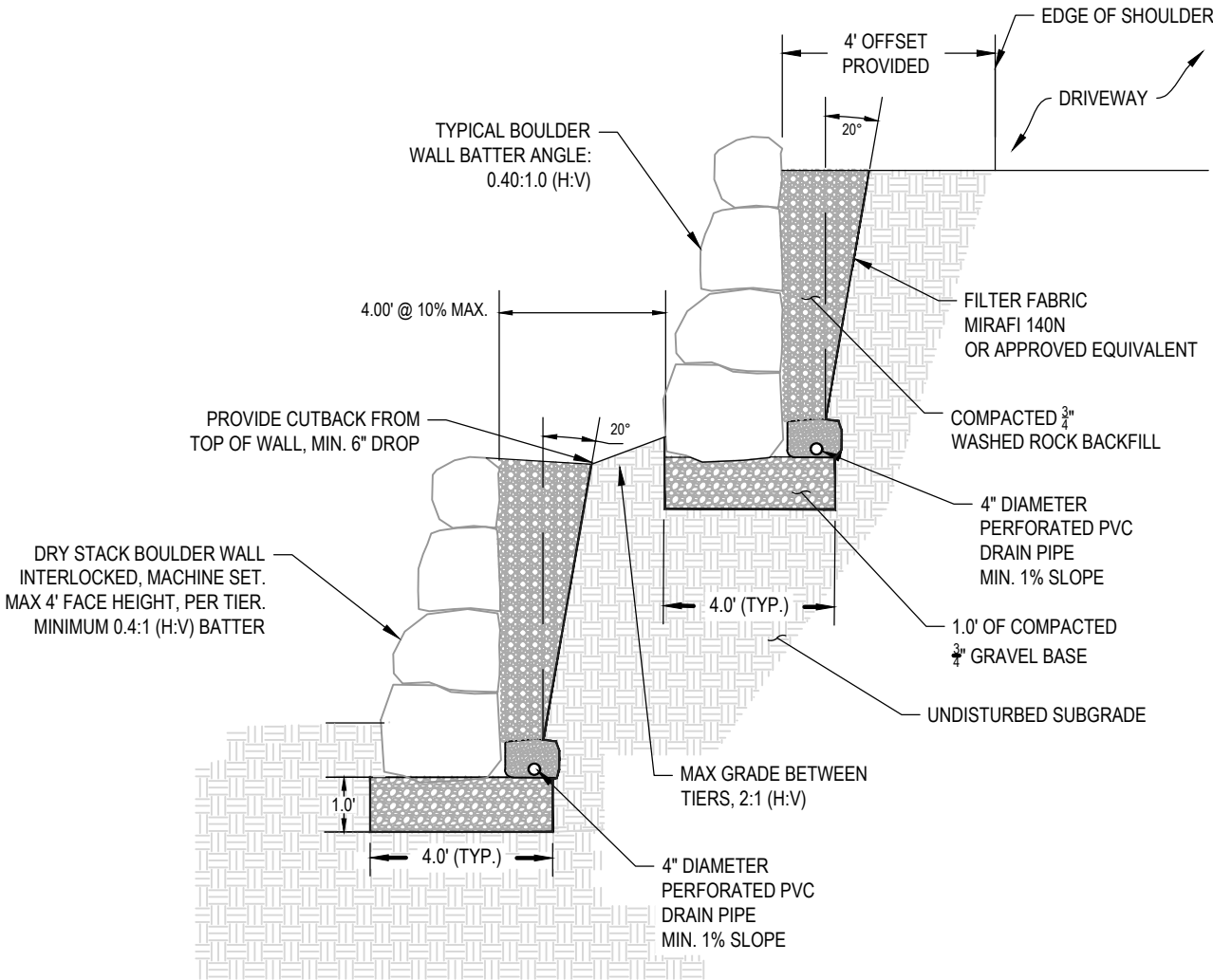
# C3







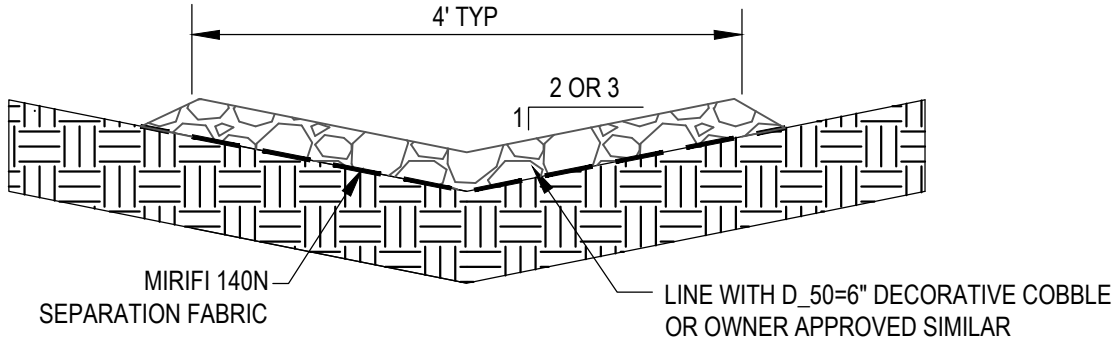
DRIVEWAY GRADING AND DRAINAGE PLAN



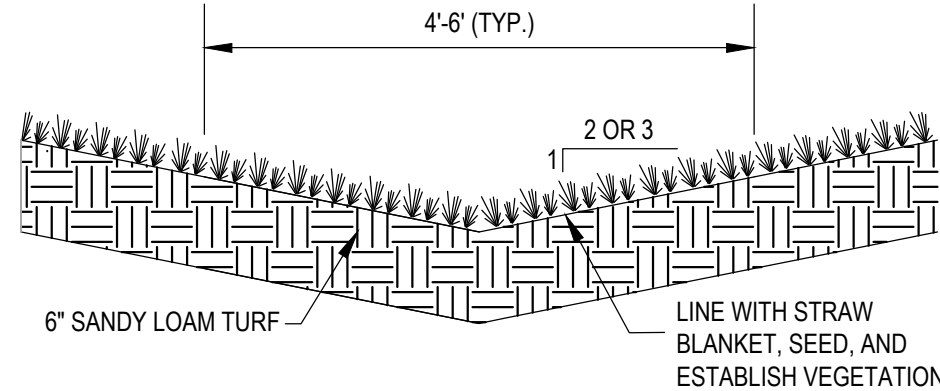
TIERED RETAINING WALL TYPICAL DETAIL  
NOT TO SCALE

BOULDER WALL NOTES:

- 1. A LICENSED GEOTECHNICAL ENGINEER, REGISTERED IN THE STATE OF COLORADO, SHALL BE APPOINTED TO REVIEW THE FEASIBILITY OF THE DRY STACK BOULDER WALL TIERS PRESENTED ON THESE PLANS.
- 2. COMPACT SUB-GRADE SOILS TO 95% OF THE MAXIMUM MODIFIED PROCTOR.
- 3. BACKFILL MATERIALS SHALL BE CAREFULLY PLACED IN UNIFORM LIFTS AT A MAXIMUM 8" DEEP LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY AND NEAR THE OPTIMUM MOISTURE CONTENT.
- 4. PRIOR TO PLACEMENT, ANY BACKFILL MATERIALS MUST BE SAMPLED AND RECEIVE A SOILS REPORT.
- 5. INSTALL MIRAFI 140N FILTER FABRIC, OR APPROVED EQUIVALENT, TO PROTECT WASHED ROCK BACKFILL FROM NATURAL SOIL BACKFILL.
- 6. COMPACT WASHED ROCK BACKFILL WITH VIBRATORY COMPACTOR.
- 7. MINIMUM 20" CUTBACK ANGLE TO BE PROVIDED.
- 8. OVERALL MAXIMUM HEIGHT PER WALL TIER IS 4.0 FEET.

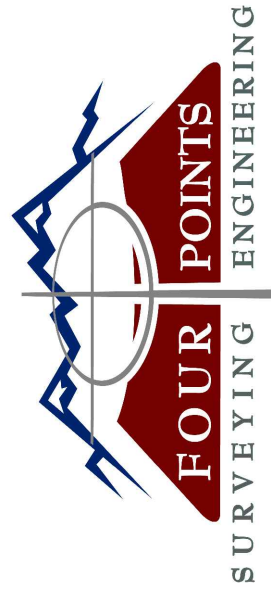


RIPRAP LINED SWALE TYPICAL DETAIL  
NOT TO SCALE



TYPICAL VEGETATED DRAINAGE SWALE DETAIL  
NOT TO SCALE

REVIEWED  
FOR  
CODE  
COMPLIANCE  
01/08/2025



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LOT 41 ALPINE MOUNTAIN RANCH  
BUILDING PERMIT PLANS

Horizontal Scale  
0 30' 60'  
SCALE: 1" = 30'

Contour Interval = 2 ft  
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GRADING AND  
DRAINAGE PLAN

SHEET #

C5