

An Interior Remodel for MOUNTAIN VILLAGE MONTESSORI CHARTER SCHOOL

COLORADO STATE HWY. 40 AND BRANDON BLVD. HERITAGE PARK SUBDIV.

PROJECT NOTES

1. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
 2. TEMPORARY SPACE HEATING SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE IN A SAFE, SENSIBLE MANNER WITH PERIODIC CHECKS TO ALL SYSTEMS.
 3. CONTRACTORS SHALL CARRY BUILDERS RISK, WORKMAN'S COMPENSATION, CONTRACTOR'S LIABILITY, PERSONAL INJURY, COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE FRAMED STRUCTURE AND COMPLETED WORK IN PROGRESS.
 4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN OF THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES A PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
 5. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH FEDERAL AND STATE SAFETY REGULATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
 6. DO NOT DIG - VERIFY LOCATION OF ALL UTILITIES BEFORE DIGGING.
 7. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS INTO TYPES, SECTIONS, ARTICLES AND THE ARRANGEMENT OF THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUB-CONTRACTORS, OR IN ESTABLISHING THE WORK TO BE PERFORMED BY ANY TRADE.
 8. CONTRACTOR TO INVESTIGATE EXISTING CONDITIONS PRIOR TO PERFORMING ANY REMOVALS. PROVIDE TEMPORARY SUPPORT OF EXISTING STRUCTURE AS REQUIRED.*
 9. CONTRACTOR TO COORDINATE AS REQUIRED FOR REMODEL AND ADDITIONS. CUT, PATCH AND REPAIR AS REQUIRED FOR REMODEL AND ADDITIONS.
 10. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.
- *NO STRUCTURAL WORK ANTICIPATED.

CODE ANALYSIS

LEGAL DESCRIPTION

HERITAGE PARK SUBDIVISION
PARCEL F

PROJECT DESCRIPTION

The project is a Tenant Remodel that impacts approximately 3300 square feet of existing classroom space inside the existing Christian Heritage School building. Existing interior classroom partitions will be removed and new interior partitions constructed to better suit the classroom layout required by the new tenant. The remodel will work within the constraints of the existing mechanical, electrical and plumbing in order to minimize work of this nature. Three in-classroom bathrooms are proposed as part of the remodel.

CODE COMPLIANCE

2009 International Building Code
2009 International Existing Building Code
2009 International Code Council A117.1 (ANSI)

LAND USE ZONING

MDR

OCCUPANCY TYPE

E

FIRE SEPARATIONS

All existing fire separations will remain in place, as originally constructed. Remodel work is non-rated. Patching of the 1hr rated hallway wall will be consistent with the existing fire rated construction.

CONSTRUCTION TYPE

EXISTING BUILDING

-Hallway adjacent to classrooms: Type VA (1 HR),
Sprinklered

-Existing classrooms: Type VB, Sprinklered

TENANT FINISH

-New classroom interior partitions: Type VB, Sprinklered

BUILDING STATISTICS

Remodel Square Footage Breakdown (Gross SF)
Classroom: 3003 s.f.
Storage: 142 s.f.
Restrooms (in classroom): 150 s.f.
Total Square Footage: 3,295 s.f.

No new construction will take place as part of this project, only remodel work. No change will take place to the footprint of the existing building. The existing Christian Heritage School Building square footage is approximately 41,632 SF.

OCCUPANT LOAD

The scope of this project will not change the occupancy of this building. As noted, the remodel work includes changes to the location of classroom interior partitions. There will be no change in occupancy type or loading.

TOILET FACILITIES

Existing toilet facilities are provided as required by occupancy. No additional toilet facilities are required by the proposed scope of work.

The tenant has opted to include in-classroom bathrooms as part of the remodel. These bathrooms will comply with Chapters 3 and 6 of ICC A117.1-2009.

DISCIPLINE

CLIENT

Mountain Village Montessori Charter School
(MVMCS)
c/o Kristen Rockford
Phone: 970.819-9275
Email: kristen.rockford@mvmcs.org

GENERAL CONTRACTOR

Mountain Village Montessori Charter School
(MVMCS)
c/o Dan Leblanc, Owner's Representative
Phone: 970.439-8606

ARCHITECT

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Steamboat Springs, Colorado 80477
Phone: 970.879.0819
Fax: 970.879.3406
Email: SAA@steamboatarchitectural.com
Contact: William J. Rangitsch

BUILDING AUTHORITY

Routt County Building Dept.
136 6th Street
Steamboat Springs, Colorado 80487
Phone: 970.870.5566
Fax: 970.870.5489
Email: tallen@co.routt.co.us
Contact: Ted Allen

HEALTH DEPARTMENT

Routt County Department of Environmental Health
136 6th Street
Steamboat Springs, CO 80477
Phone: 970-870-5588
Fax: 970-870-5404
Email: hsavalox@co.routt.co.us
Contact: Heather Savalox

SHEET INDEX

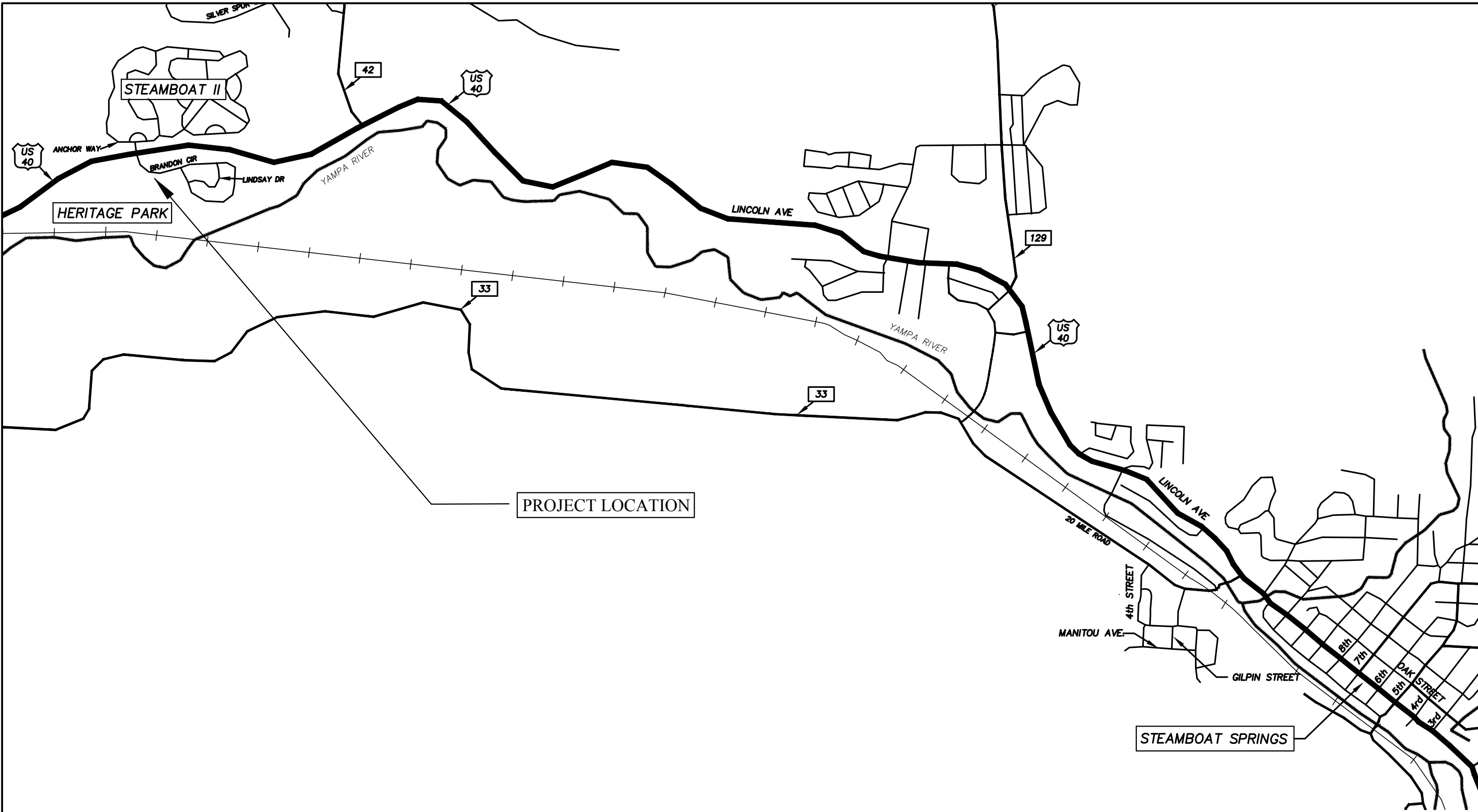
ARCHITECTURAL DRAWINGS

A0.0 Cover Sheet
A2.0 Existing Conditions & Demolition plan
A2.1 Proposed Floor Plan
A2.2 Reflected Ceiling Plan

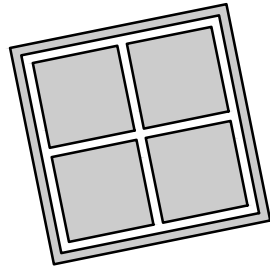
SUBMISSION

For Permit
2016-06-06

VICINITY MAP



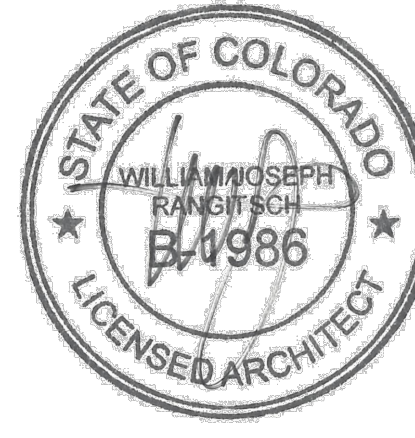
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MONTESSORI
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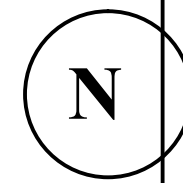
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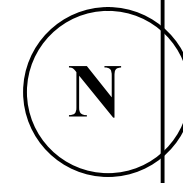
PROJECT NOTES
DISCIPLINE
SHEET INDEX
CODE ANALYSIS
VICINITY MAP
SUBMISSION STATUS

THESE DRAWINGS
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NECESSARY FOR
CONSTRUCTION
SAFETY.

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REMODEL - 3295 SF

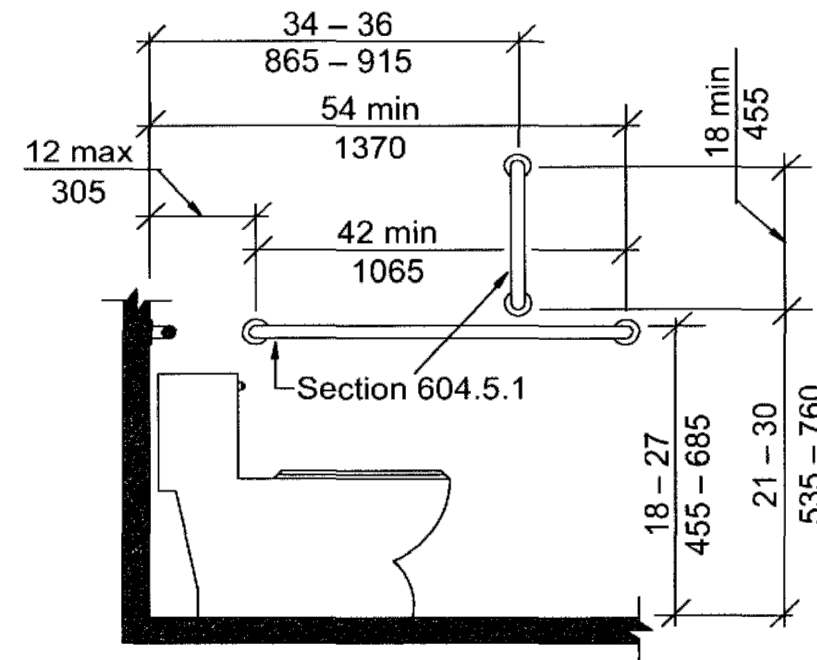
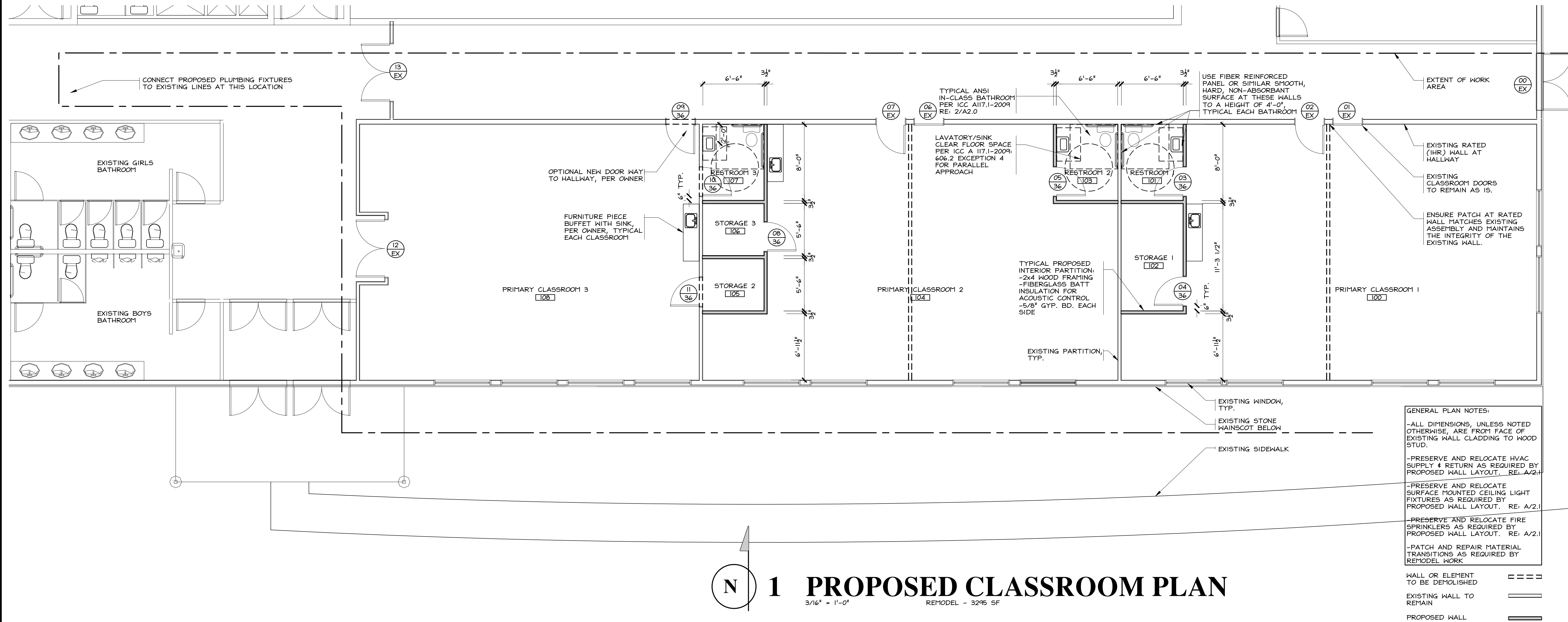


NTS



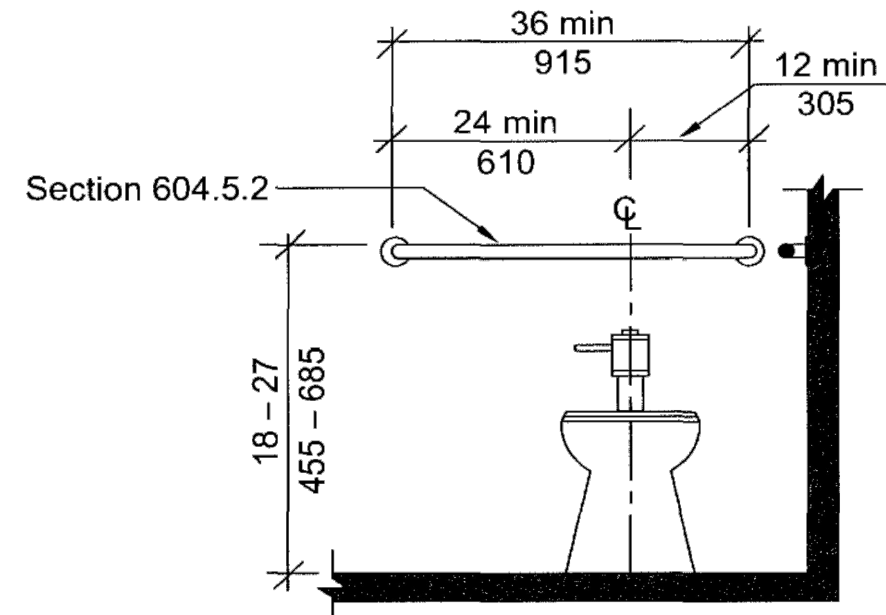
EXTENT OF WORK AREA RE
1/D1.0, 1/A2.0 AND 1/A2.1

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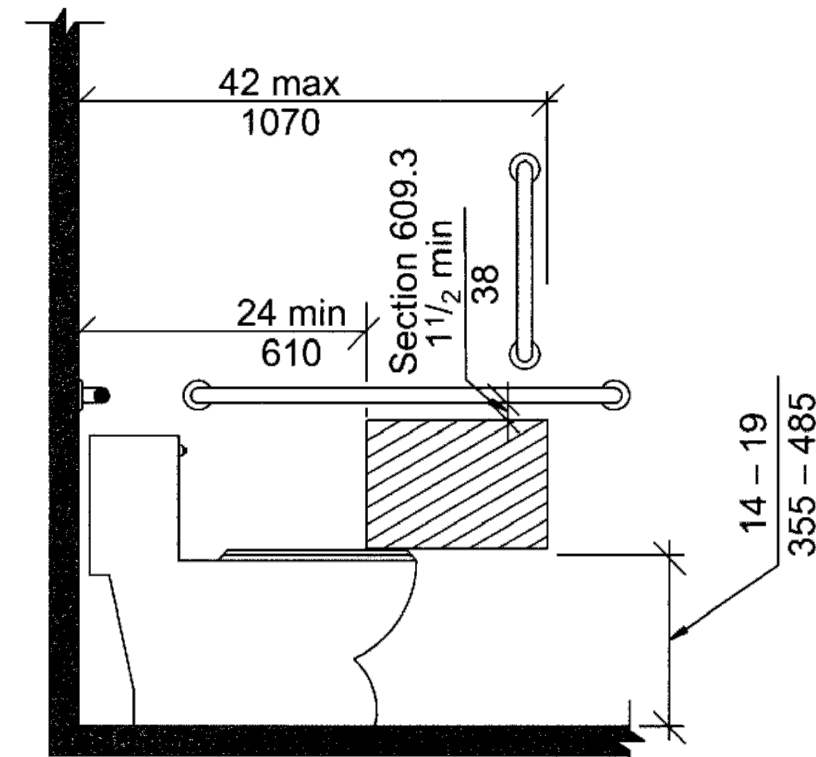


Note: For adult dimensions see Fig. 604.5.1
(a) Side Wall View

FIG. 609.4.2
POSITION OF CHILDREN'S GRAB BARS



Note: For adult dimensions see Fig. 604.5.2
(b) Rear Wall View



Note: For adult dimensions see Fig. 604.7
FIG. 604.11.7
CHILDREN'S DISPENSER OUTLET LOCATION

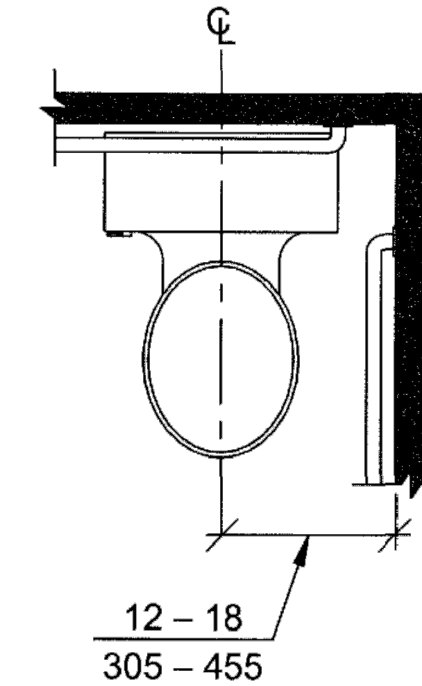
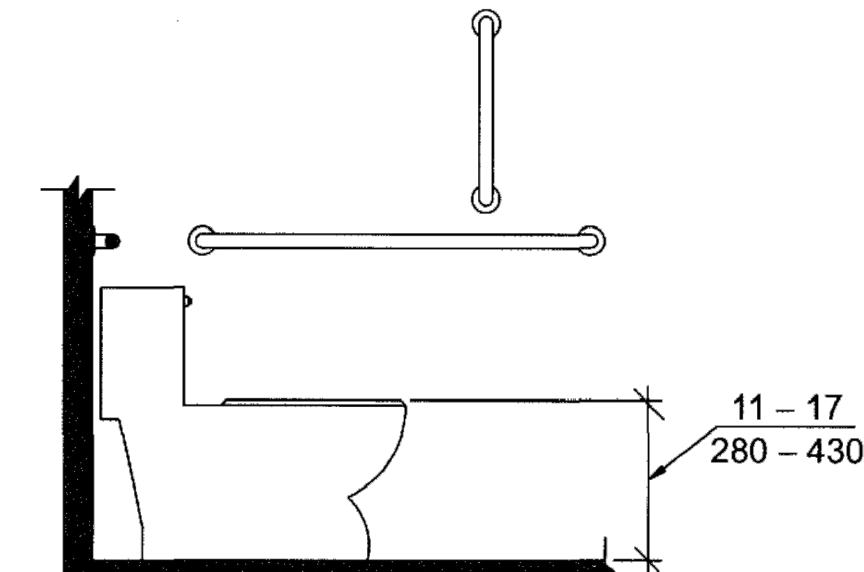


FIG. 604.11.2
CHILDREN'S WATER CLOSET LOCATION

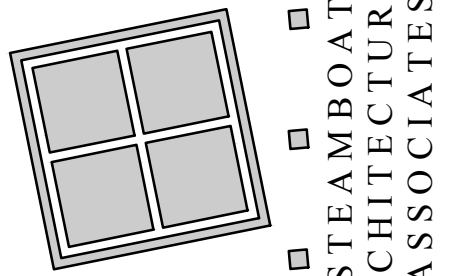


Note: For adult dimensions see Fig. 604.4
FIG. 604.11.4
CHILDREN'S WATER CLOSET HEIGHT

2 CHILD BATHROOM ACCESSIBILITY STANDARDS (ANSI)

NTS

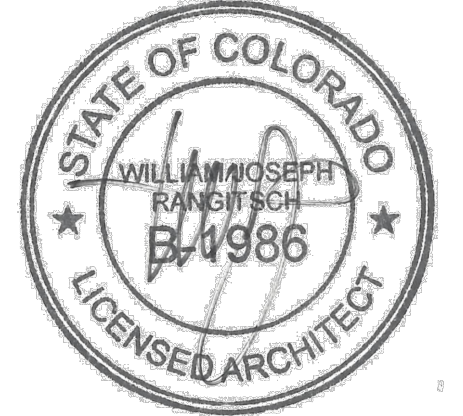
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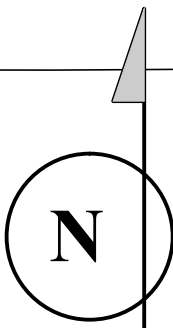
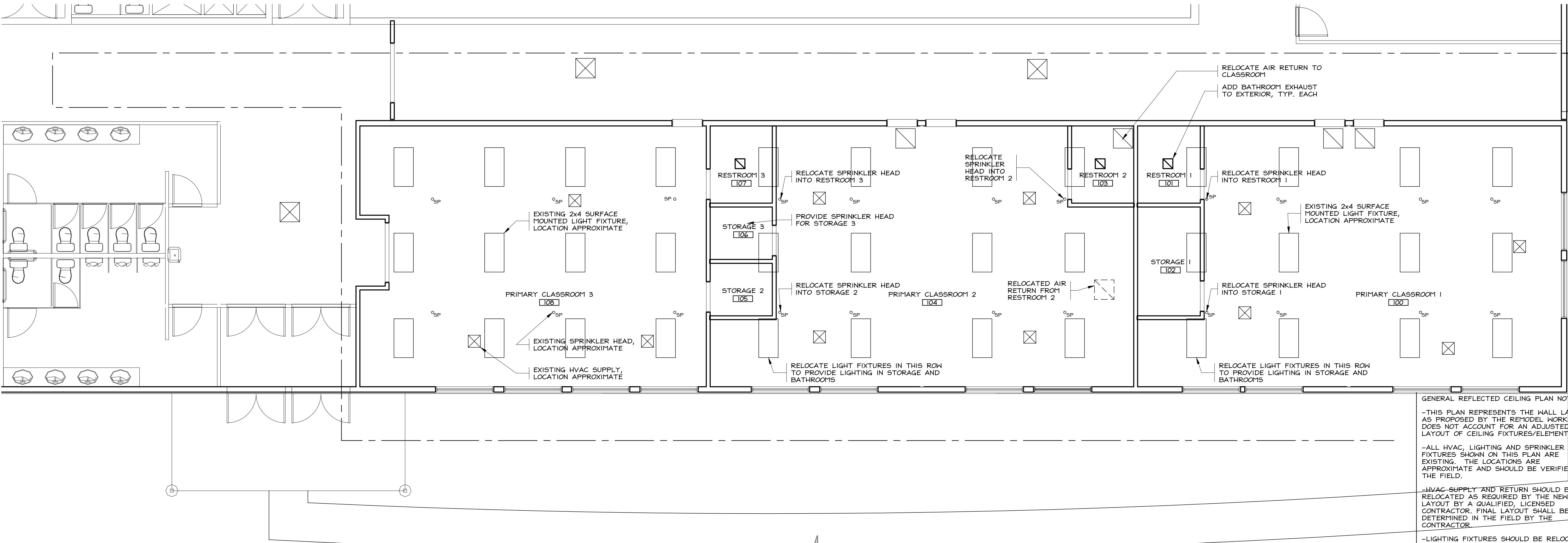
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06 JUNE 16
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PROPOSED CLASSROOM PLAN
ACCESSIBILITY STANDARDS



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SAFETY.



1

REFLECTED CEILING PLAN

3/16" = 1'-0"

REMODEL - 3245 SF

GENERAL REFLECTED CEILING PLAN NOTES:
-THIS PLAN REPRESENTS THE WALL LAYOUT AS PROPOSED BY THE REMODEL WORK AND DOES NOT ACCOUNT FOR AN ADJUSTED LAYOUT OF CEILING FIXTURES/ELEMENTS.
-ALL HVAC, LIGHTING AND SPRINKLER FIXTURES SHOWN ON THIS PLAN ARE EXISTING. THE LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD.
-HVAC SUPPLY AND RETURN SHOULD BE RELOCATED AS REQUIRED BY THE NEW WALL LAYOUT BY A QUALIFIED, LICENSED CONTRACTOR. FINAL LAYOUT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
-LIGHTING FIXTURES SHOULD BE RELOCATED AS REQUIRED BY THE NEW WALL LAYOUT BY A QUALIFIED, LICENSED CONTRACTOR. FINAL LAYOUT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.
-FIRE SPRINKLER FIXTURES SHOULD BE RELOCATED AS REQUIRED BY THE NEW WALL LAYOUT BY A QUALIFIED, LICENSED CONTRACTOR. FINAL LAYOUT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR AND DOCUMENTED WITH DRAWINGS SUBMITTED UNDER A SEPARATE COVER. STEAMBOAT ARCHITECTURAL ASSOCIATES WILL NOT BE PROVIDING THESE DRAWINGS.

AN INTERIOR REMODEL for

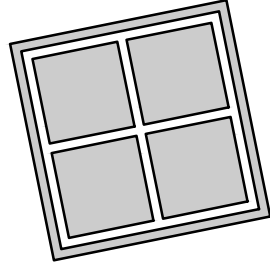
MOUNTAIN VILLAGE

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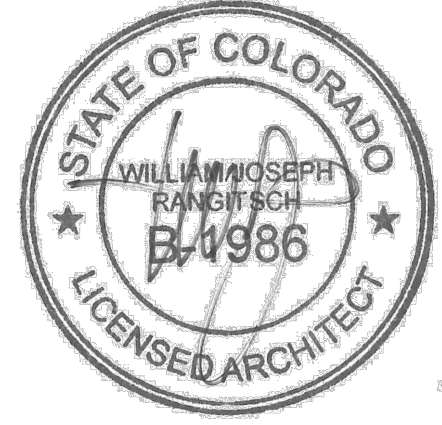
HERITAGE PARK SUBDIVISION



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REFLECTED CEILING PLAN

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