

# An Interior Remodel for MOUNTAIN VILLAGE MONTESSORI CHARTER SCHOOL

COLORADO STATE HWY. 40 AND BRANDON BLVD. HERITAGE PARK SUBDIV.

RCRBD  
RECORD  
SET

## PROJECT NOTES

1. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
  2. TEMPORARY SPACE HEATING SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE IN A SAFE, SENSIBLE MANNER WITH PERIODIC CHECKS TO ALL SYSTEMS.
  3. CONTRACTORS SHALL CARRY BUILDERS RISK, WORKMAN'S COMPENSATION, CONTRACTOR'S LIABILITY, PERSONAL INJURY, COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE FRAMED STRUCTURE AND COMPLETED WORK IN PROGRESS.
  4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN OF THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES A PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
  5. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH FEDERAL AND STATE SAFETY REGULATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
  6. DO NOT DIG - VERIFY LOCATION OF ALL UTILITIES BEFORE DIGGING.
  7. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS INTO TYPES, SECTIONS, ARTICLES AND THE ARRANGEMENT OF THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK AMONG SUB-CONTRACTORS, OR IN ESTABLISHING THE WORK TO BE PERFORMED BY ANY TRADE.
  8. CONTRACTOR TO INVESTIGATE EXISTING CONDITIONS PRIOR TO PERFORMING ANY REMOVALS. PROVIDE TEMPORARY SUPPORT OF EXISTING STRUCTURE AS REQUIRED.\*
  9. CONTRACTOR TO COORDINATE AS REQUIRED FOR REMODEL AND ADDITIONS. CUT, PATCH AND REPAIR AS REQUIRED FOR REMODEL AND ADDITIONS.
  10. ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.
- \*NO STRUCTURAL WORK ANTICIPATED.

## CODE ANALYSIS

### LEGAL DESCRIPTION

HERITAGE PARK SUBDIVISION  
PARCEL F

### PROJECT DESCRIPTION

The project is a Tenant Remodel that impacts approximately 3300 square feet of existing classroom space inside the existing Christian Heritage School building. Existing interior classroom partitions will be removed and new interior partitions constructed to better suit the classroom layout required by the new tenant. The remodel will work within the constraints of the existing mechanical, electrical and plumbing in order to minimize work of this nature. Three in-classroom bathrooms are proposed as part of the remodel.

### CODE COMPLIANCE

2009 International Building Code  
2009 International Existing Building Code  
2009 International Code Council A117.1 (ANSI)

### LAND USE ZONING

MDR

### OCCUPANCY TYPE

E

### FIRE SEPARATIONS

All existing fire separations will remain in place, as originally constructed. Remodel work is non-rated. Patching of the 1hr rated hallway wall will be consistent with the existing fire rated construction.

### CONSTRUCTION TYPE

EXISTING BUILDING

-Hallway adjacent to classrooms: Type VA (1 HR),  
Sprinklered

-Existing classrooms: Type VB, Sprinklered

TENANT FINISH

-New classroom interior partitions: Type VB, Sprinklered

### BUILDING STATISTICS

Remodel Square Footage Breakdown (Gross SF)

Classroom: .....	3003 s.f.
Storage: .....	142 s.f.
Restrooms (in classroom): .....	150 s.f.
Total Square Footage: .....	3,295 s.f.

No new construction will take place as part of this project, only remodel work. No change will take place to the footprint of the existing building. The existing Christian Heritage School Building square footage is approximately 41,632 SF.

### OCCUPANT LOAD

The scope of this project will not change the occupancy of this building. As noted, the remodel work includes changes to the location of classroom interior partitions. There will be no change in occupancy type or loading.

### TOILET FACILITIES

Existing toilet facilities are provided as required by occupancy. No additional toilet facilities are required by the proposed scope of work.

The tenant has opted to include in-classroom bathrooms as part of the remodel. These bathrooms will comply with Chapters 3 and 6 of ICC A117.1-2009.

## DISCIPLINE

### CLIENT

Mountain Village Montessori Charter School  
(MVMCS)  
c/o Kristen Rockford  
Phone: 970.819-9275  
Email: kristen.rockford@mvmcs.org

### GENERAL CONTRACTOR

Mountain Village Montessori Charter School  
(MVMCS)  
c/o Dan Leblanc, Owner's Representative  
Phone: 970.439-8606

### ARCHITECT

Steamboat Architectural Associates (SAA)  
345 Lincoln Avenue, Suite 200  
P.O. Box 772910  
Steamboat Springs, Colorado 80477  
Phone: 970.879.0819  
Fax: 970.879.3406  
Email: SAA@steamboatarchitectural.com  
Contact: William J. Rangitsch

### BUILDING AUTHORITY

Routt County Building Dept.  
136 6th Street  
Steamboat Springs, Colorado 80487  
Phone: 970.870.5566  
Fax: 970.870.5489  
Email: tallen@co.routt.co.us  
Contact: Ted Allen

### HEALTH DEPARTMENT

Routt County Department of Environmental Health  
136 6th Street  
Steamboat Springs, CO 80477  
Phone: 970-870-5588  
Fax: 970-870-5404  
Email: hsavalox@co.routt.co.us  
Contact: Heather Savalox

## SHEET INDEX

### ARCHITECTURAL DRAWINGS

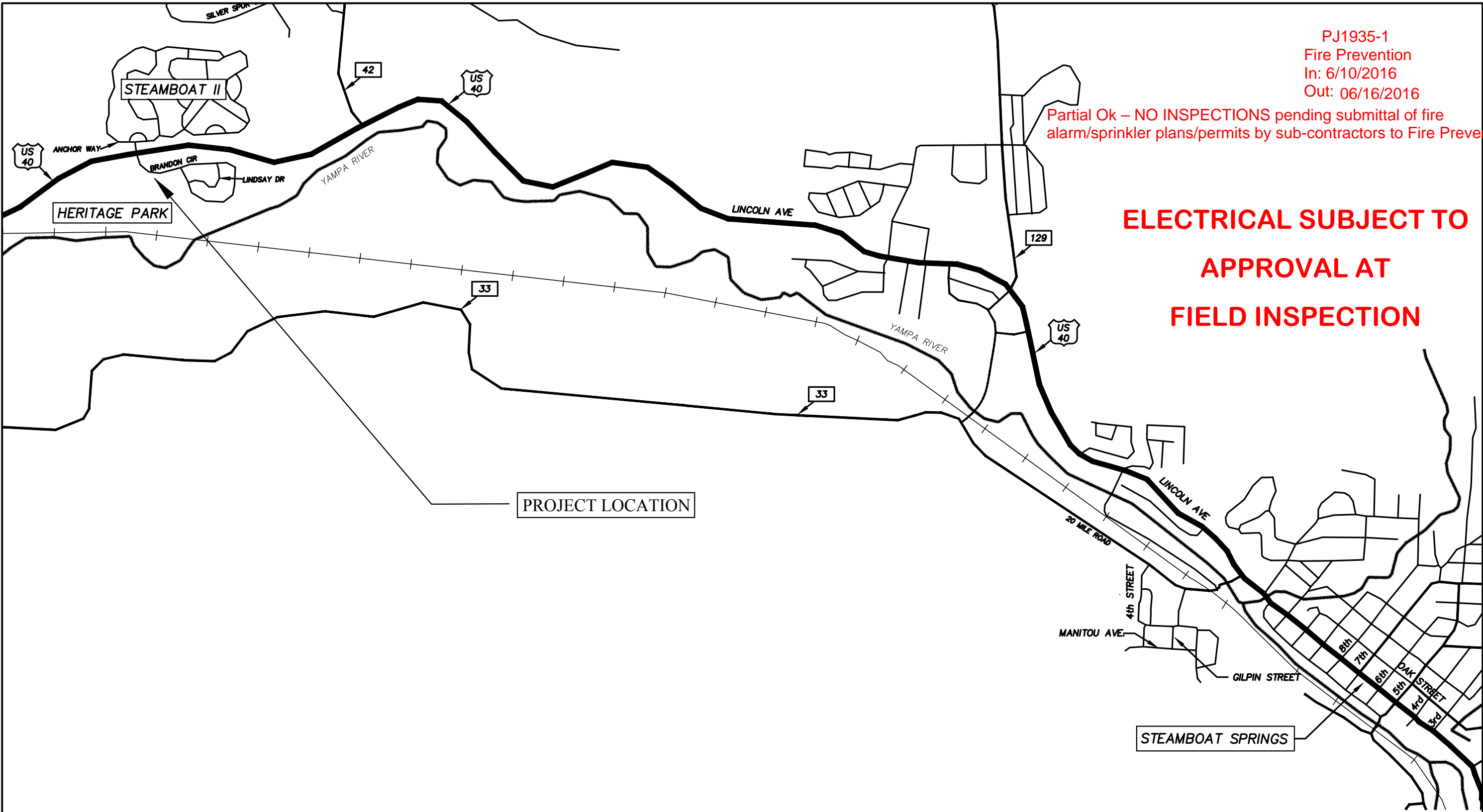
A0.0	Cover Sheet
A2.0	Existing Conditions & Demolition plan
A2.1	Proposed Floor Plan
A2.2	Reflected Ceiling Plan

## SUBMISSION

For Permit  
2016-06-06

## VICINITY MAP

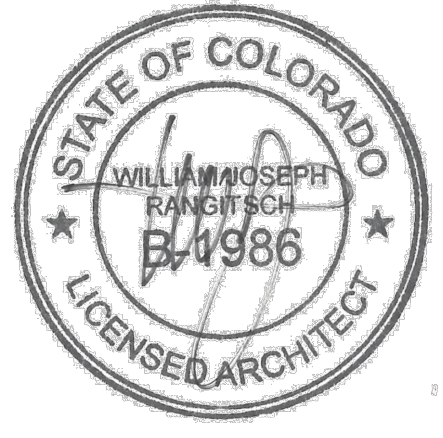
GIS/Addressing OK  
EK 20160614



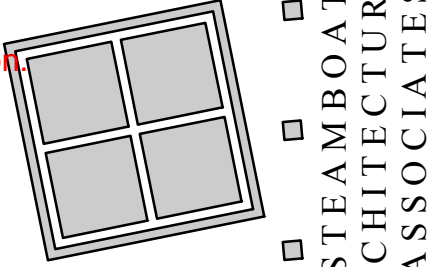
THESE DRAWINGS  
DO NOT INCLUDE  
THE COMPONENTS  
NECESSARY FOR  
CONSTRUCTION  
SAFETY.

© Copyright 2013 SAA, P.C.

PROJECT NOTES  
DISCIPLINE  
SHEET INDEX  
CODE ANALYSIS  
VICINITY MAP  
SUBMISSION STATUS



William J. Rangitsch  
970.879.0819  
p.o. box 772910 345 lincoln ave ste. 200  
steamboat springs, co. 80477



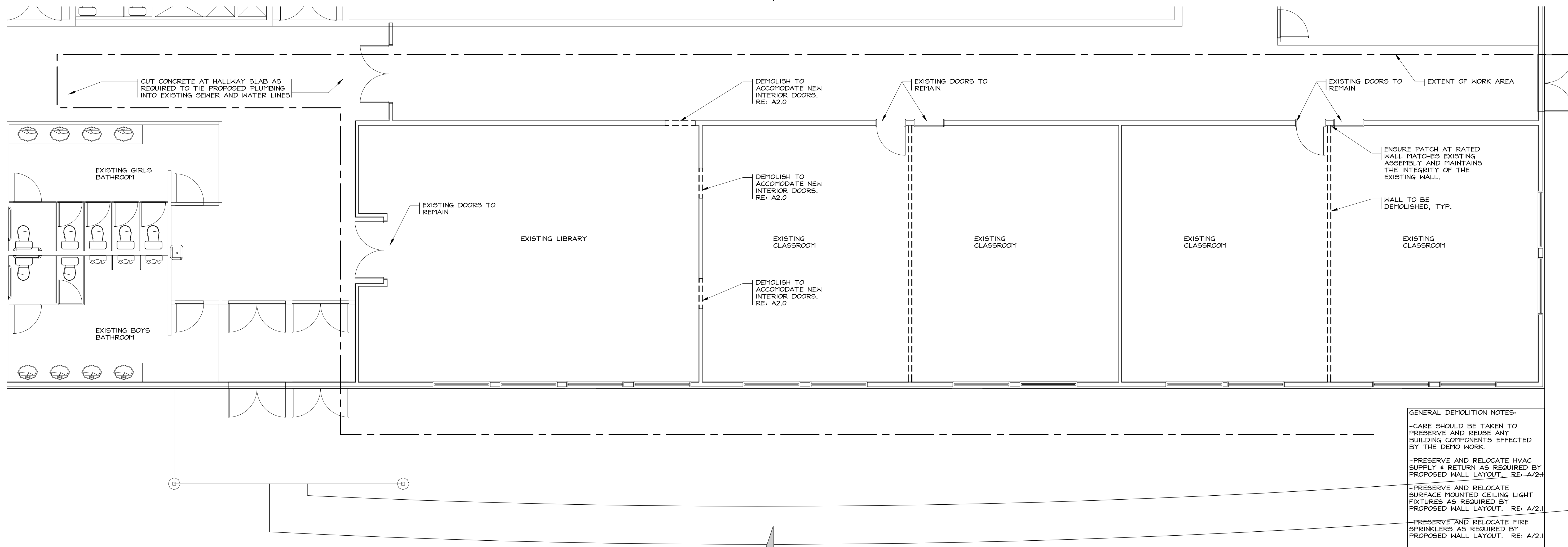
AN INTERIOR REMODEL for  
**MOUNTAIN VILLAGE  
MONTESSORI  
CHARTER SCHOOL**  
COLO. STATE HWY. 40 AND BRANDON BLVD.  
HERITAGE PARK SUBDIVISION

**A0.0**

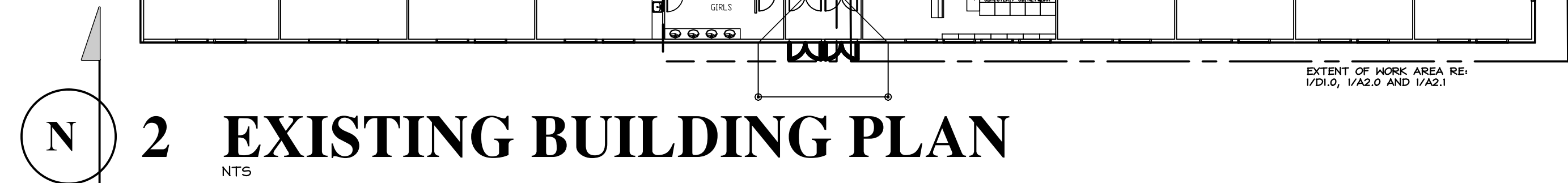
06 JUNE 16

16-03






# N 1 CLASSROOM DEMOLITION PLAN 3/16" = 1'-0" REMODEL - 3296 SF



## 2 EXISTING BUILDING PLAN

<p>GENERAL DEMOLITION NOTES:</p> <ul style="list-style-type: none"> <li>-CARE SHOULD BE TAKEN TO PRESERVE AND REUSE ANY BUILDING COMPONENTS EFFECTED BY THE DEMO WORK.</li> <li>-PRESERVE AND RELOCATE HVAC SUPPLY &amp; RETURN AS REQUIRED BY PROPOSED WALL LAYOUT. RE: A-2/4</li> <li>-PRESERVE AND RELOCATE SURFACE MOUNTED CEILING LIGHT FIXTURES AS REQUIRED BY PROPOSED WALL LAYOUT. RE: A-2/1</li> <li>-PRESERVE AND RELOCATE FIRE SINKERS AS REQUIRED BY PROPOSED WALL LAYOUT. RE: A-2/1</li> <li>-PATCH AND REPAIR MATERIAL TRANSITIONS AS REQUIRED BY RE/MODEL WORK.</li> </ul>
---

WALL OR ELEMENT TO BE DEMOLISHED 


EXISTING WALL TO REMAIN 

RCRBD  
RECORD  
SET

06 JUNE 16

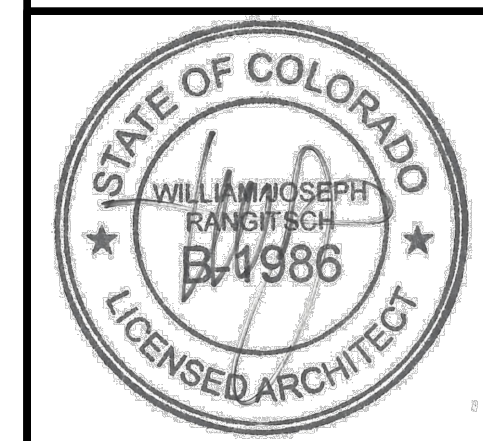
## AN INTERIOR REMODEL for

**MOUNTAIN VILLAGE  
MONTESSORI  
CHARTER SCHOOL**  
1010 S. STATE HWY. 40 AND BRANDON BLVD  
HERITAGE PARK SUBDIVISION



STEAMBOAT  
ARCHITECTURAL  
ASSOCIATES

**William J. Rangitsch**  
**970.879.0819**  
 p.o. box 772910 345 lincoln ave ste. 200  
 steamboat springs, co. 80477



EXISTING BUILDING PLAN  
CLASSROOM DEMO PLAN

THESE DRAWINGS  
DO NOT INCLUDE  
THE COMPONENTS  
NECESSARY FOR  
CONSTRUCTION  
SAFETY.



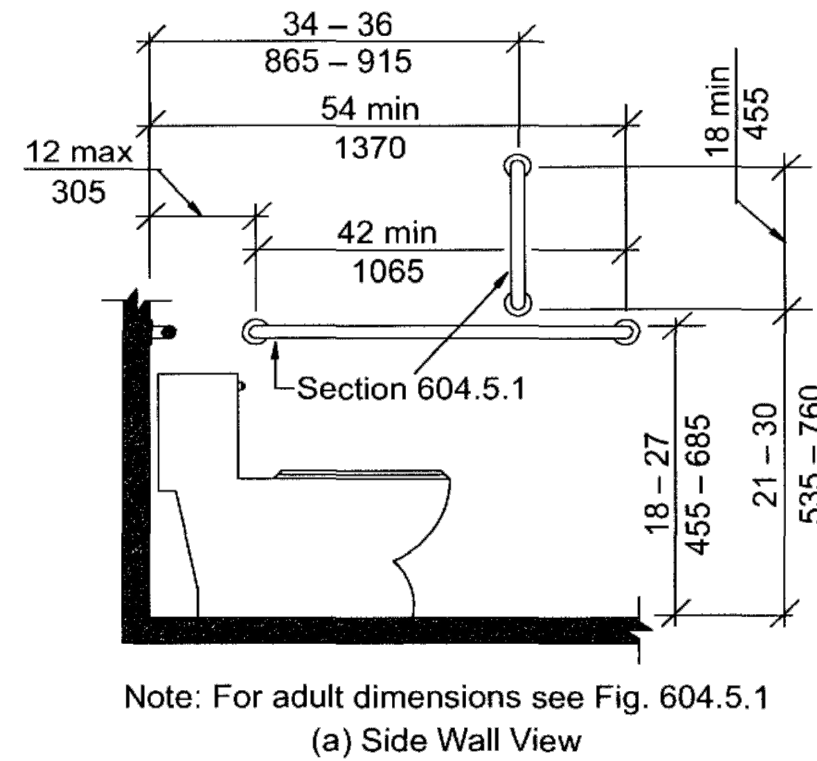
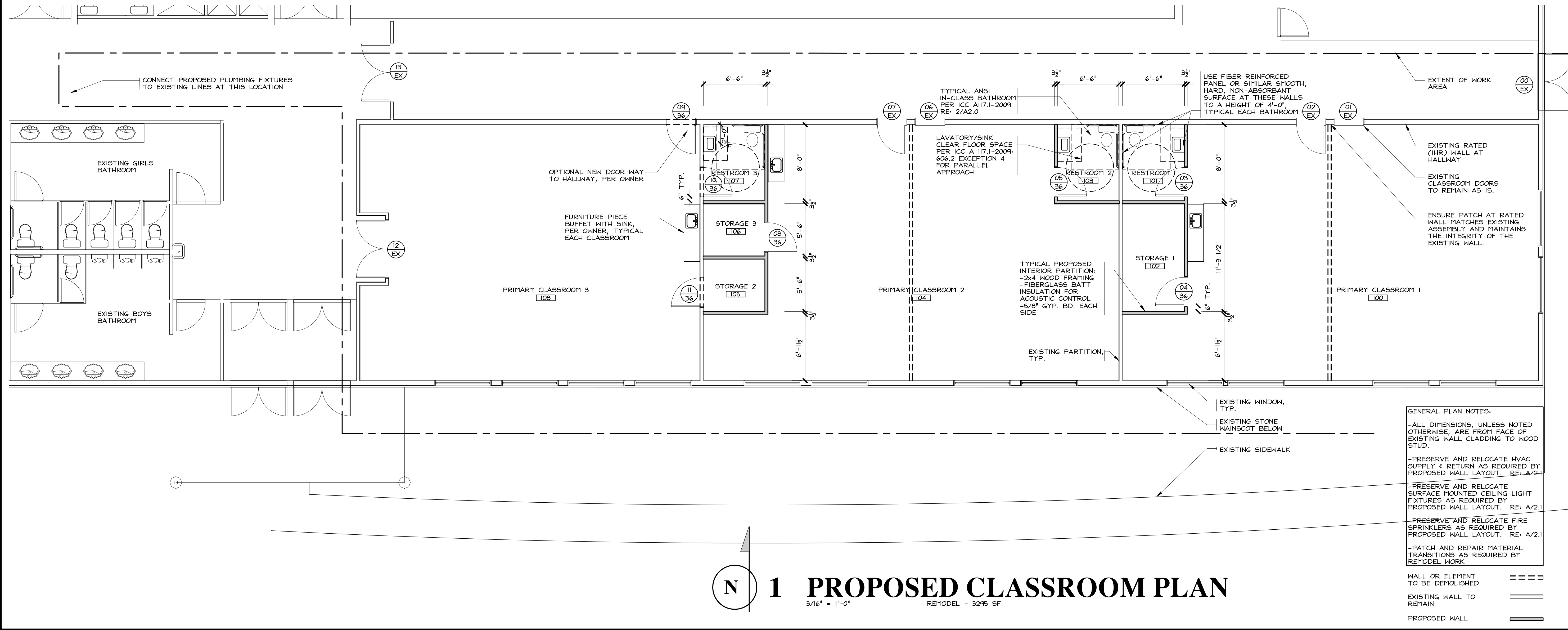


FIG. 609.4.2  
POSITION OF CHILDREN'S GRAB BARS

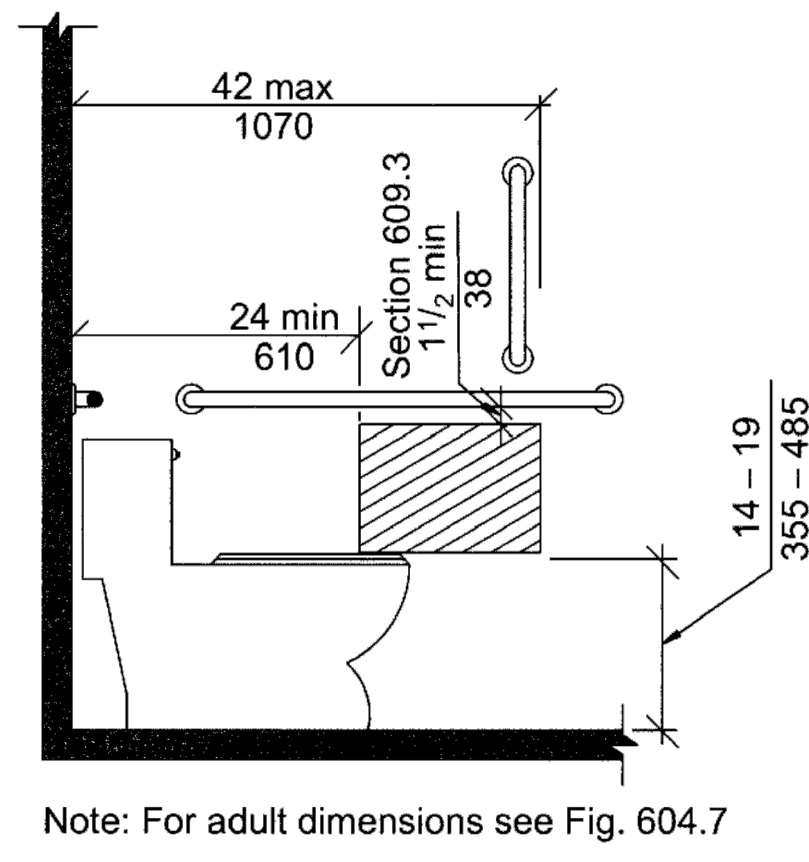
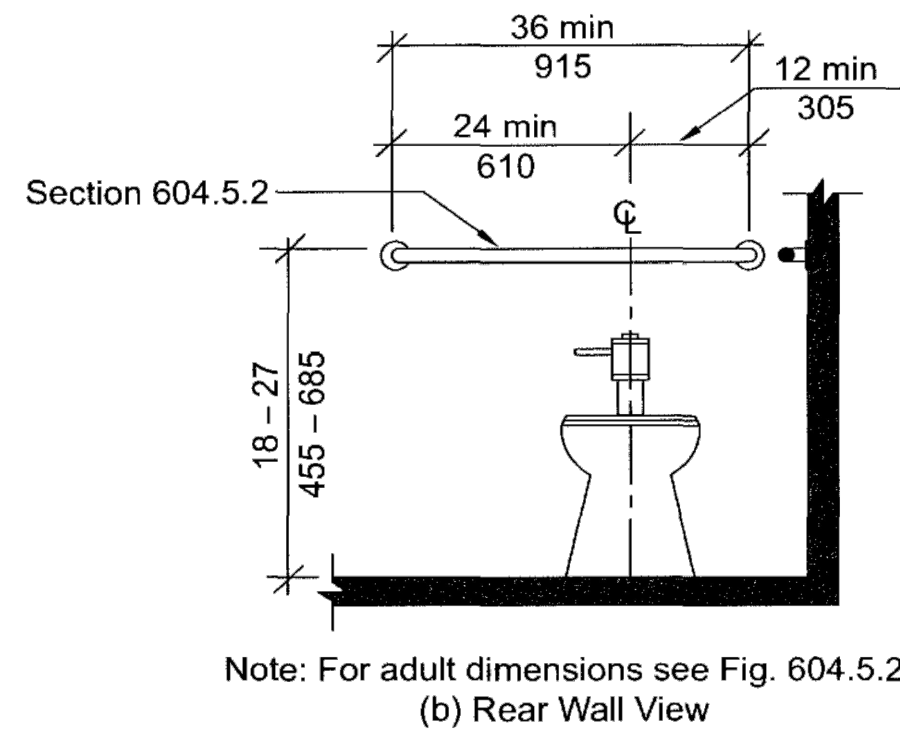


FIG. 604.11.7  
CHILDREN'S DISPENSER OUTLET LOCATION

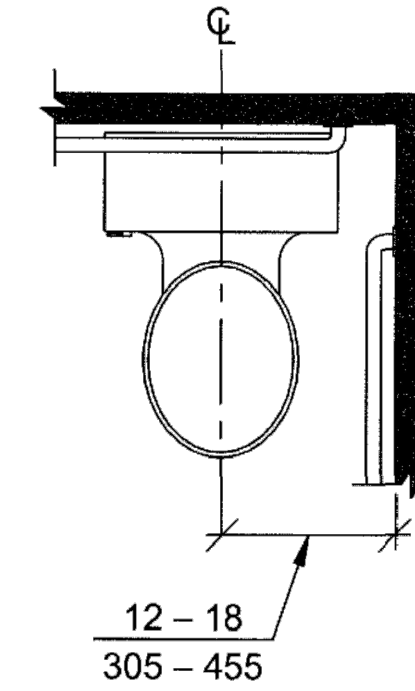


FIG. 604.11.2  
CHILDREN'S WATER CLOSET LOCATION

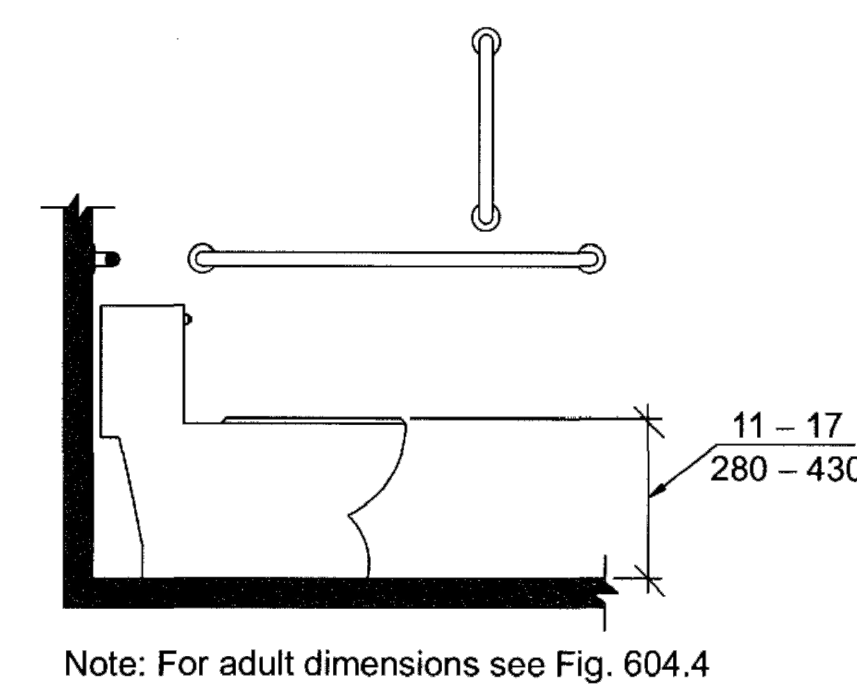


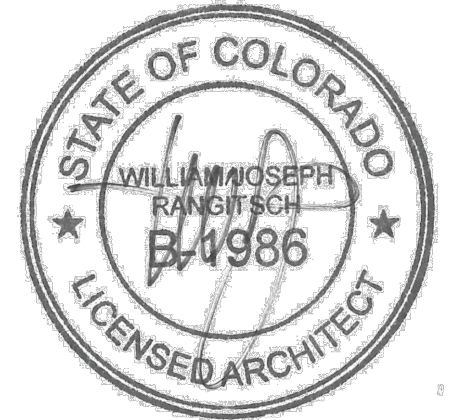
FIG. 604.11.4  
CHILDREN'S WATER CLOSET HEIGHT

## 2 CHILD BATHROOM ACCESSIBILITY STANDARDS (ANSI)

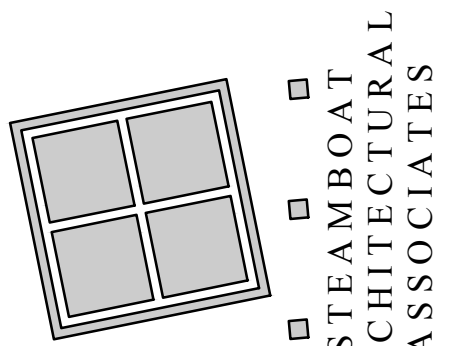
NTS

RCRBD  
RECORD  
SET

PROPOSED CLASSROOM PLAN  
ACCESSIBILITY STANDARDS

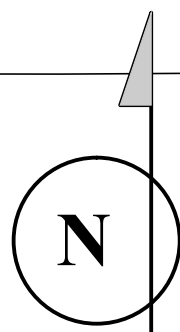
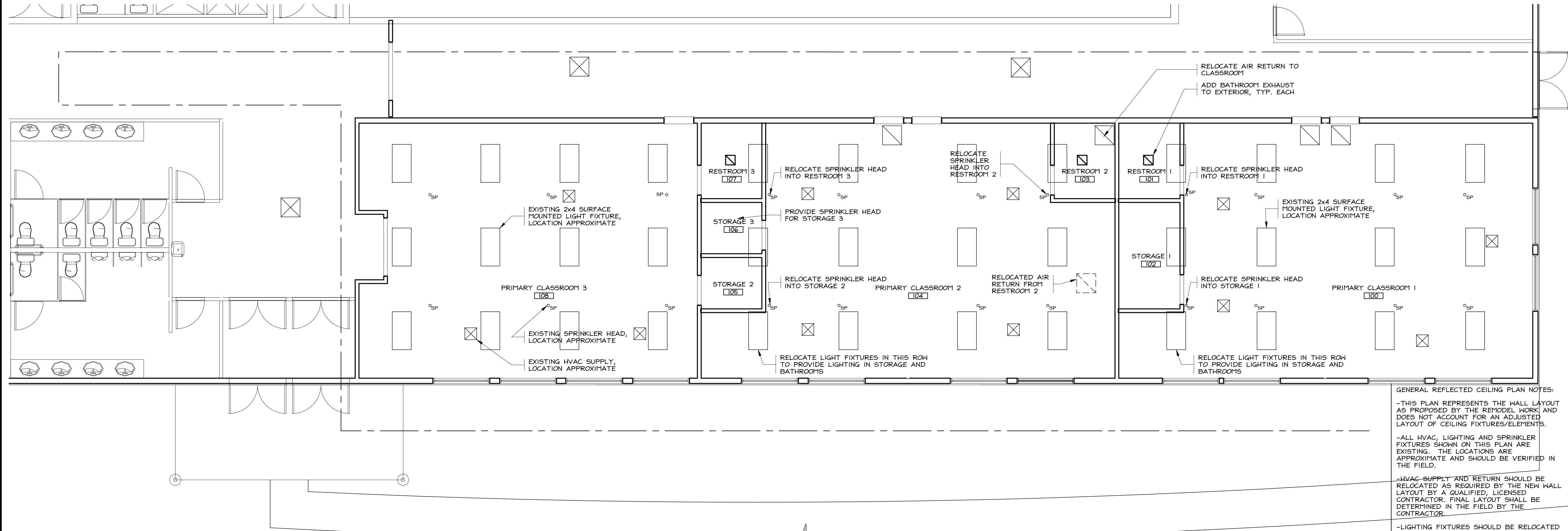


William J. Rangitsch  
970.879.0819  
p.o. box 772910 345 lincoln ave ste. 200  
steamboat springs, co. 80477



AN INTERIOR REMODEL for  
**MOUNTAIN VILLAGE  
MONTESSORI  
CHARTER SCHOOL**  
COLO. STATE HWY. 40 AND BRANDON BLVD.  
HERITAGE PARK SUBDIVISION

06 JUNE 16  
**A2.0**  
16-03



1

# REFLECTED CEILING PLAN

3/16" = 1'-0"

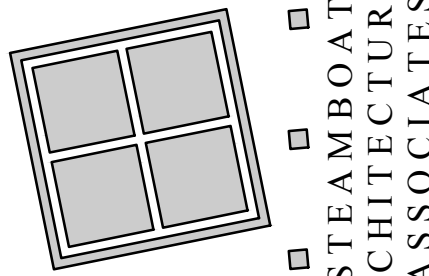
REMODEL - 3245 SF

ELECTRICAL SUBJECT TO  
APPROVAL AT  
FIELD INSPECTION

GENERAL REFLECTED CEILING PLAN NOTES:  
-THIS PLAN REPRESENTS THE WALL LAYOUT AS PROPOSED BY THE REMODEL WORK AND DOES NOT ACCOUNT FOR AN ADJUSTED LAYOUT OF CEILING FIXTURES/ELEMENTS.  
-ALL HVAC, LIGHTING AND SPRINKLER FIXTURES SHOWN ON THIS PLAN ARE EXISTING. THE LOCATIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD.  
-HVAC SUPPLY AND RETURN SHOULD BE RELOCATED AS REQUIRED BY THE NEW WALL LAYOUT BY A QUALIFIED, LICENSED CONTRACTOR. FINAL LAYOUT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.  
-LIGHTING FIXTURES SHOULD BE RELOCATED AS REQUIRED BY THE NEW WALL LAYOUT BY A QUALIFIED, LICENSED CONTRACTOR. FINAL LAYOUT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR.  
-FIRE SPRINKLER FIXTURES SHOULD BE RELOCATED AS REQUIRED BY THE NEW WALL LAYOUT BY A QUALIFIED, LICENSED CONTRACTOR. FINAL LAYOUT SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. STEAMBOAT ARCHITECTURAL ASSOCIATES WILL NOT BE PROVIDING THESE DRAWINGS.

RCRBD  
RECORD  
SET

AN INTERIOR REMODEL for  
**MOUNTAIN VILLAGE  
MONTESSORI  
CHARTER SCHOOL**  
COLO. STATE HWY. 40 AND BRANDON BLVD.  
HERITAGE PARK SUBDIVISION



**William J. Rangitsch**  
970.879.0819  
p.o. box 772910 345 lincoln ave ste. 200  
steamboat springs, co. 80477



REFLECTED CEILING PLAN

THESE DRAWINGS  
DO NOT INCLUDE  
THE COMPONENTS  
NECESSARY FOR  
CONSTRUCTION  
SAFETY.

© Copyright 2013 SAA, P.C.

06 JUNE 16

A2.1

16-03