

STANDARD NOTES

1. THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES 2. CONCRETE WASTE & WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE & PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE 3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION

AND SEDIMENT CONTROL DURING CONSTRUCTION & ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPS). 4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAMS & OBTAINING ALL REQUIRED PERMITS.

5. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE

6. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD & CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES. 7. ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE

STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP. 8. SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED: (1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 30 DAYS

(2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON. 9. INLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS WHERE DRAINAGE AREA IS NOT VEGETATED. 10. BMPS SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS, BMPS SHALL BE INSPECTED WEEKLY & AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPS WHEN THE SEDIMENT LEVEL

REACHES 1/2 THE HEIGHT OF THE BMP. 11. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES. 12. FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. 13. SURVEY INFORMATION PROVIDED BY ROUTT COUNTY GIS & MODIFIED BY JAKES DRAFTING SERVICE, INC. FOR USE AS A SITE PLAN

-ALL DISTRUBED AREAS TO BE REVEGETATED

-GRADE AWAY FROM ADDITION 5' @ 2% SLOPE

-ALL CUT/ FILL SLOPES ARE 2:1 MAX UNLESS OTHERWISE NOTED

-SEDIMENT CONTROL DEVICES (WATTLES OR SILT FENCE) TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY

-THERE ARE NO WATER BODIES, RIVERS, STREAMS LAKES, RESERVOIRS OR PONDS WITHIN 50' OF THE PROPOSED STRUCTURE

ZONED:

LEGAL DESCRIPTION:

50' FRONTAGE, 50' SIDE & REAR

PARCEL ID#: 937034002

27875 US HIGHWAY 40

THAT PT OF LOT 5 LYING S. OF HWY 40 & N. OF THE S



MANUFACTURERS INSTRUCTIONS

TABLE R301.2(1) CLIMATIC & GEOGRAPHIC DESIGN CRITERIA GROUND WIND DESIGN SEISMIC DAMAGE FROM WINTER ICE FLOOD AIR MEAN SNOW SPEED TOPO DESIGN WEATH-FROST DESIGN BARRIERHAZARD FREEZ ANNUAL LOAD (MPH) EFFECT CATEG ERING DEPTHTERMITE TEMP REQ'D FIRM N/A 90 NO B SEVERE 48" NONE -15" YES 4FEB05 2239 40-45 F

LIVE LOADS USED IN DESIGN GARAGE FLOOR..... MAXIMUM SOIL BEARING PRESSURE EQUIVALENT FLUID PRESSURE (EFP.

REFER TO SOILS REPORT #09-489 BY NORTHWEST COLORADO CONSULTANTS, INC., FOR ADDITIONAL REQUIREMENTS, ALL RECOMMENDATIONS REFERENCED IN THE SOILS REPORT SHALL BE ADHERED TO, UNLESS OTHERWISE NOTED (UON). AS NOTED IN THE SOILS REPORT. EXPANSIVE SOILS WERE ENCOUNTERED AT THIS SITE. THE OWNER IS AMARE OF THE RISKS ASSOCIATED WITH SMELLING SOILS AND HAS APPROVED THE USE OF THE

'ALTERNATE FOUNDATION RECOMMENDATION" IN THE DESIGN OF THIS FOUNDATION. ALL CONSTRUCTION SHALL CONFORM TO THE 2009 INTERNATIONAL RESIDENTIAL CODE

CLUDING APPENDIX E) AND STANDARDS AS ADOPTED BY THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT AND THE FOLLOWING 2014 NATIONAL ELECTRICAL CODE (NEC) 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) LOCAL UTILITY REGULATIONS

APPLICABLE PROTECTIVE COVENANTS OF THE SUBDIVISION

1. GENERAL REQUIREMENTS

ALL WORK EXECUTED IN ANY PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTY SHALL BE COMPLETED ACCORDING TO THE SPECIFICATIONS AND REQUIREMENTS OF THAT GOVERNING BODY.

THIS BUILDING WILL BE UNCONDITIONED EXCEPT FOR BATHROOM. SUB SLAB INSULATION & TUBING IS FOR FUTURE USE UNDER SEPARATE PERMIT EXPOSED NON METALLIC SHEATHED ELECTRIC WIRE (NM MAY REQUIRE PROTECTION FROM PHYSICAL DAMAGE. SEE SECTIONS E 3802.3, 3802.3.1 \$ 3802.3.2 THESE SPECIFICATIONS ARE GENERIC IN NATURE, SOME SECTIONS OR DIVISIONS MAY NOT BE APPLICABLE SEE SPECIAL CONDITIONS FOR ADDITIONAL INFORMATION.

EVERY ATTEMPT HAS BEEN TAKEN TO AVOID OR ELIMINATE ERRORS DURING THE PREPARATION OF THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS WITH ACTUAL FIELD CONDITIONS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE INTERFACE BETWEEN ALL TRADES AND SUBCONTRACTORS, SO AS TO PRESENT A COMPLETE AND FINISHED PRODUCT

ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES, AS AMENDED, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THEIR

THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR JOB SITE SAFETY. JOB SITE SAFETY AND PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION SHALL BE CONTRACTORS

ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION. CONTRACTORS LIABILITY PERSONAL INJURY AND COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. SENERAL CONTRACTOR TO CARRY "BUILDERS RISK" INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE COMPLETED STRUCTURE.

TAX, AND INSPECTION FEES. SPECIAL INSPECTORS WHEN REQUIRED, SHALL BE EMPLOYED BY THE DWNER, ENGINEER RESPONSIBLE FOR THE DESIGN OR AN AGENT OF THE OWNER, BUT NOT BY THE CONTRACTOR OR ANY OTHER PERSON RESPONSIBLE FOR THE WORK. ALL MATERIALS, EQUIPMENT AND MORKMANSHIP SHALL BE SUBJECT TO A ONE YEAR WARRANTY.

BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION

THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS, USE TAX, SALES

PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY, (IRC R319.1) GENERAL CONTRACTOR IS TO PROVIDE THE OWNER WITH A BOUND COPY OF ALL INSPECTION REPORTS, BUILDING DEPARTMENT CORRESPONDENCE; EQUIPMENT MANUALS, DATED WARRANTIES AND INSTALLATION & MAINTENANCE INSTRUCTIONS; CERTIFICATE OF OCCUPANCY, AND LIEN WAIVERS OR RELEASES FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO FINAL PAYMENT THE GENERAL CONTRACTOR SHALL FAMILIARIZE THE OWNER WITH THE OPERATION OF ALL

EQUIPMENT AND APPLIANCES AND CLEARLY LABEL ALL SAFETY VALVES AND CONTROLS FOR THE MAJOR HOUSE SYSTEMS. MATERIAL SIZES NOTED ON THE PLANS ARE THE MINIMUM ACCEPTABLE. THE USE OF LARGER SIZE OR STRONGER MATERIALS IS ACCEPTABLE FOR EASE OF CONSTRUCTION OR AESTHETICS. VERIFY THE USE OF ALL SUBSTITUTED MATERIALS WITH THE ENGINEER OF RECORD AND JAKE'S DRAFTING

CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL SITE WORK SHOWN OR SPECIFIED IN THESE DOCUMENTS

STRIP SITE OF EXISTING TOPSOIL AND STOCKPILE FOR RE-USE IN LANDSCAPING. REFER TO SITE

FIELD LOCATE ALL UTILITY LINES PRIOR TO ANY CONSTRUCTION ACTIVITY.

PLAN FOR EXTENT OF STRIPPING AND PROPOSED STOCKPILE LOCATION. CONCRETE FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 4" MHERE MASONRY VENEER IS USED AND 6" ELSEMHERE.

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES MITHIN THE FIRST 10 FEET (IRC R40 1.3).

ALL UTILITY LINES SHALL BE EXTENDED FROM THE BUILDING TO THE UTILITY CONNECTION AS

REQUIRED. CO-ORDINATE WITH THE APPROPRIATE UTILITY COMPANY AND BURIED CABLE LOCATION ELECTRIC - FROM METER BOX TO TRANSFORMER, CO-ORDINATE WITH YAMPA VALLEY ELECTRIC ASSOCIATION, 970,879,1160.

SEWER - MAINTAIN 5' MINIMUM COVER \$ 2% MIN SLOPE. FROM 5 FEET OUTSIDE THE FOUNDATION TO SEPTIC TANK TO LEACH FIELD, SEE DESIGN BY OTHERS. WATER - MAINTAIN T'MINIMUM COVER FROM 5 FEET OUTSIDE THE FOUNDATION TO 2,500 GALLON BURIED STORAGE TANK TO WELL HEAD, SEE DESIGN BY OTHERS.

CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO

COMPLETE ALL CONCRETE SHOWN OR NOTED IN THESE DOCUMENTS.

AS NOTED IN THE SOILS REPORT, EXPANSIVE SOILS WERE ENCOUNTERED AT THIS SITE. REFER TO

THE SOILS REPORT FOR SPECIAL PRECAUTIONS. ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615-73 AND SHALL BE GRADE 40 MINIMUM OR AS SHOWN ON THE PLANS. ALL REINFORCEMENT SHALL BE

COLD BENT UNLESS OTHERWISE PERMITTED BY THE BUILDING OFFICIAL. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT, CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3" CONCRETE EXPOSED TO EARTH OR WEATHER = 1-1/2"

CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS, WALLS, JOISTS = 3/4" BEAMS, COLUMNS = 1-1/2" DEPTH OF FOOTING ABOVE BOTTOM REINFORCEMENT SHALL BE 6" MINIMUM.

OR SATURATED SOIL AND SHALL BE PROTECTED FROM FREEZING FOR 7 DAYS.

RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING. ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE II A PORTLAND CEMENT, FIVE-SACK MIX, WITH 5% MINIMUM TO 7% MAXIMUM ENTRAINED AIR AND 3/4" MAXIMUM STONE AGGREGATE SIZE. CONCRETE SHALL DEVELOP 2 500 PSI COMPRESSIVE STRENGTH IN 28 DAYS FOR BASEMENT SLABS, 3,000 PSI FOR WALLS AND 3,500 PSI FOR PATIOS, STEPS, GARAGE SLAB AND WEATHER EXPOSED CONCRETE. MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN CHAPTER 3 OF ACI 318 OR ACI 332. CONCRETE SHALL BE PLACED WITH A 4" MAXIMUM SLUM, SHALL NOT BE PLACED ON FROZEN, MUDDY

ONCRETE (OTHER THAN HIGH-EARLY-STRENGTH) SHALL BE MAINTAINED ABOVE 50 DEGREES FAHRENHEIT AND IN A MOIST CONDITION FOR AT LEAST THE FIRST SEVEN DAYS AFTER PLACEMENT HIGH-EARLY STRENGTH CONCRETE SHALL BE MAINTAINED ABOVE 50 DEGREES FAHRENHEIT AND IN A MOIST CONDITION FOR AT LEAST THE FIRST THREE DAYS, FROZEN MATERIALS OR MATERIALS CONTAINING ICE SHALL NOT BE USED. DURING HOT WEATHER, PROPER ATTENTION SHALL BE GIVEN TO INGREDIENTS, PRODUCTION METHODS, HANDLING, PLACING, PROTECTION AND CURING TO PREVENT EXCESSIVE CONCRETE TEMPERATURES OR WATER EVAPORATION THAT MAY IMPAIR REQUIRED STRENGTH OR SERVICE ABILITY OF THE MEMBER OR STRUCTURE.

NO ADMIXTURES SHALL BE USED WITHOUT APPROVAL BY THE FOUNDATION ENGINEER. WHEN CALCIUM CHLORIDE IS USED AS AN ADMIXTURE, NO GALVANIZED STEEL SHALL BE PLACED INTO CONCRETE AS REINFORCEMENT, INSERTS OR DUCT OR PIPE PENETRATIONS.

DURING COLD WEATHER, PROVIDE TEMPORARY HEAT AS REQUIRED TO PREVENT "FROST DAMAGE" ONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING PLACEMENT AND BE THOROUGHLY

MORKED AROUND REINFORGEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FORMS.

FLOOR SLABS SHALL BE POURED IN WHOLE OR IN CHECKER PATTERN, AVOIDING RE-ENTRANT CORNERS, WITH CONSTRUCTION JOINTS LOCATED UNDER PARTITIONS WHERE PRACTICAL AND WITH NO DIMENSION EXCEEDING THE RECOMMENDATION IN THE SOIL REPORT OR 12 FEET (WHICH EVER IS THE LESSER), AND AS SHOWN ON THE PLANS.

CONCRETE FINISH SHALL BE STEEL TROWELED FOR INTERIOR FLOOR SLABS AND BROOM FINISH FOR EXTERIOR WALKS, VERIFY WITH OWNER LOCATION AREA AND EXTENTS OF OPTIONAL 3/8" EXPOSED AGGREGATE SURFACE. 6X6 - 10X10 - (2.9 X 2.9) WOVEN WIRE FABRIC (WWF) IS RECOMMENDED FOR INSLAB RADIANT HEAT AND ALL EXTERIOR SLABS. FIBROUS MESH REINFORCEMENT IS ACCEPTABLE FOR INTERIOR SLABS ONLY, WITHOUT APPROVAL OF THE

4. MASONRY - NO WORK THIS SECTION

5. METALS

LL STRUCTURAL STEEL AND MISCELLANEOUS EMBEDDED ITEMS SHALL CONFORM TO ASTM A36. ALL BOLTS (INCLUDING ANCHOR BOLTS) SHALL CONFORM TO ASTM A307 PIPE COLUMNS SHALL CONFORM TO ASTM A53, GRADE B.

TUBE SHAPES SHALL CONFORM TO ASTM 500, GRADE B, 46 KSI YIELD. MISCELLANEOUS CLIPS, ANCHORS AND CONNECTORS SHALL BE SIMPSON "STRONG TIE" OR ICBO APPROVED EQUAL, UNLESS OTHERWISE NOTED, REFER TO SIMPSON CATALOG FOR APPROPRIATE NAILING WHEN NOT SPECIFIED ON PLANS. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH

ANCHOR BOLTS SHALL BE 1/2" DIAMETER WITH 7" MINIMUM EMBEDMENT AND SUFFICIENT EXPOSED LENGTH FOR CONNECTION OF PLATE OR SILLS PLUS FULL NUT PENETRATION WITH WASHER. ANCHOR BOLTS SHALL BE PLACED AT 4' OC (UON) AND BETWEEN 4"- 12" OF PLATE ENDS AND CORNERS. PROVIDE (2) ANCHOR BOLTS (MIN) PER PLATE OR SILL. (IRC R403.1.6)

ENGINEER. (R502.8.2)

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO FRAME UP, SHEATH AND TRIM OUT BUILDING AS SHOWN OR SPECIFIED IN THESE DOCUMENTS.

ALL 2 FRAMING LUMBER SHALL BE STRESS RATED, S-DRY DOUGLAS FIR OR LARCH (DF-L) S45, #2 ENERGY CONSERVATION CODE (IECC). THIS PROJECT SHALL COMPLY WITH SECTIONS 401, 402.4 OR BETTER, ALL SOLID TIMBER BEAMS AND POSTS SHALL BE S-DRY DOUGLAS FIR OR LARCH (DF-PROVISIONS) AND EITHER:

GLUE LAMINATED BEAMS (GL) SHALL BE AITC STRESS RATED TO COMBINATION SYMBOL 24F-V4 FOR SIMPLE SPANS AND 24F-V8 FOR MULTI SPANS AND CANTILEVERS, ARCHITECTURAL APPEARANCE GRADE. THE PORTIONS OF GLU-LAMINATED TIMBERS EXPOSED TO MEATHER AND NOT PROPERLY PROTECTED BY A ROOF, EVE OR SIMILAR COVERING SHALL BE PRESSURE TREATED WITH PRESERVATIVE (IRC R3 17.1.5)

PREFABRICATED WOOD MEMBERS SHALL BE OF THE TYPE NOTED ON THE PLANS AND SHALL BE MICRO-LAM (LVL), TIMBERSTRAND (LSL), PARALLAM (PSL), OR TJI AS MANUFACTURED BY TRUS-JOIST MACMILLAN OR APPROVED EQUAL, I-JOISTS AND LAMINATED LUMBER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.

CUTS. NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED PROFESSIONAL

PLYWOOD SHEATHING SHALL BE STRUCTURAL 1. C-D. EXT-APA FOR ALL USES. MEETING THE MINIMUM APA RATING OR THICKNESS NOTED ON THE PLANS. ROOF AND FLOOR SHEATHING SHALL BE PLACED WITH THE 8'-0" DIMENSION PERPENDICULAR TO THE FRAMING, STAGGER END JOINTS. PLYWOOD FLOOR SHALL BE TONGUE AND GROOVED, AND GLUED AND NAILED AT SUPPORTS, WALL SHEATHING MAY BE PLACED VERTICAL OR HORIZONTALLY WITH ALL HORIZONTAL JOINTS BLOCKE AND EDGE NAILED. NAIL ROOF SHEATHING WITH 8D (PENNY) NAILS AT 6" OC AT THE EDGES AND 12" OC IN THE FIELD. NAIL FLOOR SHEATHING WITH 10D RING SHANKS AT 6" OC AT THE EDGES AND 12" OC IN THE FIELD. HIGH FOOT TRAFFIC AREAS SHALL BE SCREWED AT 6" OC. NAIL WALL SHEATHING

PROVIDE 1X4 CROSS BRIDGING OR 2X_BLOCKING AT NOT OVER 8' ON CENTER FOR ALL SOLID MOOD JOISTS, UNLESS BOTH EDGES OF THE MEMBER ARE HELD IN LINE. PROVIDE SOLID BLOCKING BETWEEN JOISTS AT ALL SUPPORTS, BEAMS OR BEARING WALLS. PROVIDE SOLID BLOCKING AT 24" OC UNDER ALL PARTITIONS RUNNING PARALLEL TO JOISTS AND AT CENTERLINE OF WALLS RUNNING PERPENDICULAR TO JOISTS. SOLID BLOCKING IN ROOF SYSTEMS SHALL NOT INTERFERE WITH COLI

WITH 8D (PENNY) NAILS AT 6" OC AT THE EDGES AND 12" OC IN THE FIELD.

MOOD COLUMNS SHALL BE APPROVED MOOD OF NATURAL DECAY RESISTANCE OR APPROVED PRESSURE PRESERVATIVE TREATED WOOD.

EXCEPTION: COLUMNS EXPOSED TO WEATHER OR IN BASEMENTS OR CRAWL SPACES WHEN SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING 1" ABOVE A CONCRETE FLOOR AND 6" ABOVE EXPOSED EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER. (IRC R3 17.1.4)

SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER SHALL BE PRESSURE-PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH AMPAUL OR FOUNDATION

FASTENERS IN PRESSURE PRESERVATIVE & FIRE RETARDANT TREATED WOOD ABOVE GRADE SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (IRC R3 17.3.1)

EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.

OPENINGS IN FLOOR, CEILING AND ROOF FRAMING SHALL BE FRAMED WITH A HEADER AND TRIMMER JOISTS AND SHALL BE DOUBLED OR OF EQUIVALENT CROSS SECTION WHEN THE SPAN OF THE HEADER EXCEEDS 4'. THE ENDS OF HEADER JOISTS MORE THAN 6' LONG SHALL BE SUPPORTED BY FRAMING ANCHORS OR JOIST HANGERS, UNLESS BEARING ON A BEAM, PARTITION OR WALL. (IRC

EACH END OF A HEADER SHALL HAVE A MINIMUM BEARING LENGTH OF 1-1/2" FOR THE FULL WIDTH OF THE HEADER, LYL HEADERS SHALL HAVE A MINIMUM BEARING LENGTH OF 3" FOR THE FULL WIDTH OF THE HEADER, PROVIDE DOUBLED "KING STUDS" AT ALL OPENINGS OVER 10' WIDE.

MINIMUM NAILING SHALL BE AS SPECIFIED IN TABLE R602.3(1, T. THERMAL AND MOISTURE PROTECTION

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL INSULATION, VAPOR BARRIERS & RETARDERS, FLASHINGS, WATERPROOFING AND ROOF COVERING AS DETAILED OR SPECIFIED IN THESE DOCUMENTS A CLASS I OR II VAPOR RETARDERS ARE REQUIRED ON INTERIOR SIDE OF FRAMED WALLS. (IRC

EXCEPTION: BASEMENT OR BELOW GRADE PORTION OF ANY WALL.

THE WALL AND CEILING ASSEMBLIES ARE INTENDED TO DRY TO THE INTERIOR. DO NOT INSTALL VAPOR BARRIERS SUCH AS POLYETHYLENE (VISQUENE), FOIL FACED BATT INSULATION OR REFLECTIVE RADIANT BARRIER FOIL INSULATION IN EXTERIOR WALLS AND CEILINGS, KRAFT PAPER FACED BATT INSULATION IS AN ACCEPTABLE VAPOR PERMEABLE RETARDER WHEN SEAMS ARE O AND TAPED. CERTAINTEED "MEMBRAIN" IS RECOMMENDED AS A "SMART" VAPOR PERMEABLE RETARDER WHEN APPLIED OVER UNFACED BATT INSULATION AND PER MANUFACTURER'S RECOMMENDATIONS

FIBER-CEMENT, FIBER MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER REINFORCED GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS' RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND WALL PANELS IN SHOWER AREAS. WATER RESISTANT GYPSUM BACKING BOARD MAY BE USED FOR CLASS I OR II VAPOR RETARDER. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH TABLE R 102.3.8.

INSULATION MATERIALS, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450. (IRC R302.10)

1. WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES PROVIDING THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE SURFACE OF THE FINISH. 2. CELLULOSE LOOSE-FILL INSULATION

EXTERIOR OPENINGS EXPOSED TO WEATHER SHALL BE FLASHED SO AS TO BE WATERPROOF.

APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A

NNER TO PREVENT ENTRY OF MATER INTO THE MALL CAVITY OR PENETRATION OF MATER TO THE BUILDING STRUCTURAL COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH IN THE FOLLOWING LOCATIONS: (R 703.8) 2. AT INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, WITH PROJECTING LIPS UNDER STUCCO COPING. B. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS.

4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM. 5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION 6. AT WALL AND ROOF INTERSECTIONS. PROVIDE GRACE "ICE AND WATER SHIELD" UNDERLAYMENT AT ALL EVES AND RAKES FROM DRIP EDGE TO 2' MINIMUM INSIDE OF THE EXTERIOR WALL LINE, EXCEPT WHEN USING DIRECT APPLIED

METAL ROOFING, FOR DIRECT APPLIED METAL ROOFING USE GRACE "ULTRA" UNDERLAYMENT. (IRC 905.2.7.1) IT IS RECOMMENDED THAT THE ENTIRE ROOF BE COVERED. PROVIDE BASE AND CAP, SIDEMALL AND OTHER FLASHINGS AT ALL ROOF AND VERTICAL

SURFACE INTERSECTIONS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (IRC 905.2.8) ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW PER IRC

SECTION R&O6.1, OPENINGS SHALL BE COVERED WITH 1/8" CORROSION RESISTANT MESH. (IRC

WHERE EVE VENTS ARE INSTALLED, INSULATION OR BLOCKING SHALL NOT BLOCK THE AIR FLOW. A MINIMUM OF 1" SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE SPACE BEING VENTILATED EXCEPT THAT A REDUCTION TO 1/300 IS PERMITTED WHEN A CLASS I OR II VAPOR

WINDOW OR DOOR. (R612.1)

11. EQUIPMENT - NO WORK THIS SECTION

CONTRACTOR SHALL SUPPLY AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED, SCHEDULED AND/OR SPECIFIED IN THESE DOCUMENTS. WINDOWS AND DOORS TO MATCH EXISTING OR APPROVED EQUAL. GLAZING TO BE 3/4" INSULATING SLASS WITH INSUL LOW-E 366 COATING. UNIT U VALUE TO BE 0.35 MAXIMUM. ALL OPERABLE UNITS TO BE PROVIDED WITH SCREENS, CLAD COLOR TO MATCH EXISTING, WINDOWS AND DOORS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH THE FENESTRATION MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, WHICH SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH

WHERE THE OPENING OF AN OPERABLE MINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING SHALL BE 24" MINIMUM ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. (R612.2) ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5."

THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (IRC 3 1 0.1.2) THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (IRC 310.1.3)

SEE IRC SECTION R308.4 FOR HAZARDOUS LOCATIONS WHERE SAFETY GLAZING IS REQUIRED.

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO FINISH ROOMS AND BUILDING EXTERIOR AS DETAILED, SCHEDULED AND / OR SPECIFIED IN THESE DOCUMENTS. ALL CONSTRUCTION ADHESIVES AND CAULK SHOULD BE LOW YOC (<70 G/L) SIDING TO BE METAL, COLOR TO PER OWNER TRIM TO MATCH EXISTING. ALL FINISHES SHALL BE

INSTALLED PER MANUFACTURER'S INSTRUCTIONS. VERIFY WITH THE OWNER, EXACT FINISHES NOT NOTED OR SPECIFIED HEREIN. 10. SPECIALTIES - NO WORK THIS SECTION

12. DEFENSIBLE SPACE - NO WORK THIS SECTION

13. ENERGY EFFICIENCY

THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT HAS ADOPTED THE 2009 INTERNATIONAL 402.5 AND 403.1, 403.2.2, 403.2.3 and 403.3 THROUGH 403.9 (REFERRED TO AS THE MANDATORY

1. SECTIONS 402.1 THROUGH 402.3, 403.2.1 AND 404.1 (PRESCRIPTIVE); OR 2. SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH (PERFORMANCE). THE DESIGNER MAY CHOOSE EITHER SECTION 402.1.2, 402.1.3 OR 402.1.4.

TABLES 402.1.1 \$ 402.1.3 FOR CLIMATIC ZONE 7 FENESTRATION BKYLIGHT CEILINGS RAMED MASS FLOORS BASEMENT SLAB CRAML SPACE WALLS DEPTH WALLS FACTOR FACTOR R-49 R-21 R-19/21 R-38 R-15/R-19 R-10, 4 R-10/R-13 0.60 0.026 0.057 0.057 0.028 0.050

THERE ARE NO REQUIREMENTS FOR SOLAR HEAT GLAZING COEFFICIENTS 3. R-VALUES SHOWN ARE MINIMUMS, U-FACTORS SHOWN ARE MAXIMUMS, THE FIRST R-VALUE IS FOR CONTINUOUS INSULATION, THE SECOND R-VALUE IS FOR CAVITY

NSULATION, EITHER SYSTEM MEETS THE REQUIREMENT 1 R-5 SHALL BE ADDED TO THE SLAB EDGE R-VALUE FOR HEATED SLABS a. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM TO MEET THE PRESCRIPTIVE REQUIREMENTS THE BUILDING THERMAL ENVELOPE SHALL MEET THE

REQUIREMENTS OF TABLE 402.1.1. FOR CEILINGS WITHOUT ATTIC SPACES, WHERE SECTION 402.1.1 MOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW

SUFFICIENT SPACE FOR THE REQUIRED INSULATION. THE MINIMUM INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30 BUT SHALL BE LIMITED TO 500 SF OF CEILING AREA MAXIMUM (IECC REPLACEMENT FENESTRATION SHALL MEET THE APPLICABLE REQUIREMENTS FOR U-FACTOR IN

TABLE 402.1.1. (IEGG 402.3.6) THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN

AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL: JOINTS, SEAMS, PENETRATIONS; SITE BUILT WINDOWS, DOORS AND SKYLIGHTS; OPENINGS BETWEEN INDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING; UTILITY PENETRATIONS; DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE; KNEE WALLS; WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES; BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS; COMMON WALLS BETWEEN DWELLING UNITS; ATTIC ACCESS

OPENINGS; RIM JOIST JUNCTION AND OTHER SOURCES OF AIR INFILTRATION. (IECC 402.4.1)

VISUAL INSPECTION METHOD 402.4.2.2 - BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION SHALL BE CONSIDERED ACCEPTABLE WHEN ALL ITEMS LISTED IN TABLE 402.4.2 ARE FIELD VERIFIED VISUAL INSPECTIONS WILL BE PERFORMED BY THE RORBD. REQUEST INSPECTION FOR EACH COMPONENT OF TABLE 402.4.2 WHILE THE COMPONENT IS STILL VISIBLE & AVAILABLE

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT AND SMINGING DOORS NOT MORE THAN 0.5 CFM PER

MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES FOR BELOW 55 DEGREES F SHALL BE INSULATED TO R-3 MINIMUM. (IECC 403.3)

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL ALL PERIMETER STORM DRAINAGE, FLOOR DRAINS, PLUMBING, RELATED FIXTURES, GAS PIPING AND RADON GAS VENT PIPING.

LL WORK SHALL COMPLY WITH IRC PART VI - FUEL GAS, CHAPTER 24 AND PART VII - PLUMBING, CHAPTERS 25 THRU 33, STATE AND LOCAL CODES AND ORDINANCES. WATER HEATERS SHALL BE LOCATED PER IRC CHAPTER 20. AND SHALL BE INSTALLED IN ACCORDANCE WITH IRC CHAPTERS 25 \$ 28. NATER SUPPLY AND DISTRIBUTION SHALL COMPLY WITH IRC CHAPTER 29.

SANITARY DRAINAGE SHALL COMPLY WITH IRC CHAPTER 30.

WHEN SPECIFIED, SHALL BE DUAL FLUSH OR < 1.3 GPF

14. MECHANICAL - NO WORK THIS SECTION

VENTING SHALL COMPLY WITH IRC CHAPTER 31 FIXTURE TRAPS SHALL COMPLY WITH IRC CHAPTER 32. THE MAXIMUM WATER CONSUMPTION FLOW RATES AND QUANTITIES FOR ALL PLUMBING FIXTURES AND FIXTURE FITTINGS SHALL BE IN ACCORDANCE WITH TABLE P2903.2. HIGH EFFICIENCY TOILETS,

NO WATER CLOSET SHALL BE SET CLOSER THAN 15" FROM ITS CENTER TO ANY SIDEWALL OF OBSTRUCTION. THE CLEAR SPACE IN FRONT OF THE WATER CLOSET SHALL BE NOT LESS THAN 21 (IRC R307.1 & P2705.1), PROVIDE ELONGATED BOWLS UNLESS OTHERWISE NOTED.

SHOWER COMPARTMENTS SHALL HAVE AT LEAST 900 SQUARE INCHES OF INTERIOR CROSS SECTIONAL AREA AND SHALL NOT BE LESS THAN 30" IN MINIMUM DIMENSION. (IRC P2708) SHOWER FLOORS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE EXTENDING TO A HEIGHT OF 6'-0" MINIMUM ABOVE THE FLOOR. (IRC R307.2)

PROVIDE CAST-N-PLACE CAST IRON FLOOR DRAINS WITH INTEGRAL SAND TRAP. PIPED @ 1% MINIMUM SLOPE TO DAYLIGHT IN THE GARAGE. DAYLIGHTED END SHALL BE SCREENED AND PROTECTED WITH ROCK RIPRAP. IF EXPANSIVE SOILS ARE PRESENT, DO NOT CONNECT FLOOR CEILINGS WHERE FRAMING SPACING DOES NOT EXCEED 12" OC FOR 1/2" THICK OR 16" OC FOR 5/6" DRAIN OUTFALL TO FOUNDATION PERIMETER DRAIN UNTIL 10 FEET AWAY FROM THE FOUNDATION.
THICK GYPSUM WALL BOARD, WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL ALL WIRING ND RELATED FIXTURES. ALL WORK SHALL COMPLY WITH IRC PART VIII - ELECTRICAL, CHAPTERS 33 THRU 41, THE 2011 NEC, STATE AND LOCAL GODES AND ORDINANCES.

MOUNT METER GOCKET AT 5'-6" AROVE FINIGHED GRADE PER DETAIL SHEETS DG-4-3A AND DG-4-6, PROVIDED BY YVEA. THE YVEA "REDLINED" METER SOCKET LOCATION SHALL TAKE PRECEDENCE OVER METER LOCATION NOTED ON THE PLANS. PROVIDE 50 AMP, 12 CIRCUIT SUB-PANEL WITH DISCONNECT, SERVICED FROM THE EXISTING HOUSE

AT THE LOCATION NOTED ON THE PLANS. SERVICE PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS CLOTHES CLOSETS OR IN BATHROOMS. (IECC E3705.7) SERVICE CONDUCTORS AND EQUIPMENT TO BE SIZED PER IRC CHAPTER 36. ALL 125 VOLT, SINGLE PHASE RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNFINISHED BASEMENTS, KITCHEN COUNTERTOP SURFACES AND WITHIN 6' OF LAUNDRY, UTILITY OR BAR SINKS, (EXCEPT DEDICATED USES) SHALL BE GROUND-FAULT CIRCUIT

INTERRUPTER PROTECTED FOR PERSONNEL (IRC E3902.1-7) RECEPTACLES IN GARAGES TO BE MOUNTED 42" MINIMUM ABOVE FINISHED FLOOR. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: (IRC R3 14.1) . IN EACH SLEEPING ROOM. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.

3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAML SPACES AND UNINHABITABLE ATTICS. WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED THE DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP.

ANY DISCREPANCY IN DIMENSIONS AND/OR DRAWINGS AND/OR GRAPHIC REPRESENTATION AND/OR FIELD MEASUREMENTS SHALL BE BROUGHT TO THE ATTENTION OF JAKE'S DRAFTING SERVICE, INC. PRIOR TO THE COMMENCEMENT OF ANY WORK.

NY DEVIATION FROM THESE PLANS IS EXPRESSLY FORBIDDEN WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY JAKE'S DRAFTING SERVICE, INC., AS THE DESIGNER; THE OWNER; THE ENGINEER AND THE GENERAL CONTRACTOR. THESE SPECIFICATIONS ARE GENERAL IN NATURE SOME DIVISIONS OR SECTIONS MAY NOT BE APPLICABLE.

THE CONTRACTOR WARRANTS TO JAKE'S DRAFTING SERVICE, INC. THAT HE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OWN COMPETENCE. THE CONTRACTOR OR OWNER HAS RESTRICTED JAKE'S DRAFTING SERVICE, INC.'S SCOPE OF PROFESSIONAL SERVICES. IN RELIANCE ON THE CONTRACTOR'S WARRANTY AND AT THE EXPRESS REQUEST OF THE CONTRACTOR OR OWNER, JAKE'S DRAFTING SERVICE, INC. HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDER'S PLANS." IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE ARE NEEDED BY THE CONTRACTOR OR OWNER, FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE SHALL IMMEDIATELY NOTIFY JAKE'S DRAFTING SERVICE, INC. FAILURE TO GIVE A SIMPLE NOTICE SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR THE

RELEASE OF THESE PLANS ANTICIPATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND JAKE'S DRAFTING SERVICE, INC. ALTHOUGH JAKE'S DRAFTING SERVICE, INC. AND ITS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IN WRITING TO JAKE'S DRAFTING SERVICE, INC. IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY WORK, FAILURE TO COOPERATE BY SIMPLE NOTICE TO JAKE'S DRAFTING SERVICE, INC. SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF JAKE'S DRAFTING SERVICE, INC. ARE UNAUTHORIZED, AND SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

IF JAKE'S DRAFTING SERVICE, INC., AS CLAIMANT OR A DEFENDING PARTY, IS AT ANY TIME A PARTY O LITIGATION INVOLVING ANY CLAIM RELATED TO WORK CONTAINED IN THESE DRAWINGS, AND SHOULD CLAIMANT NOT PREVAIL SUBSTANTIALLY AGAINST DEFENDING PARTY IN SUCH LITIGATION ALL LITIGATION EXPENSES, WITNESS FEES, COURT COSTS, AND ATTORNEY'S FEES INCURRED BY THE DEFENDING PARTY IN DEFENDING AGAINST SUCH A CLAIM, SHALL BE PAID BY THE CLAIMANT.

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY JAKE'S DRAFTING SERVICE, INC., (AS THE DESIGNER.) FOR THIS PROJECT ARE "INSTRUMENTS OF SERVICE", FOR USE SOLELY WITH RESPECT TO THIS PROJECT. JAKE'S DRAFTING SERVICE, INC., (AS THE DESIGNER.) SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT, SUBMISSION OF THESE PLANS AND SPECIFICATIONS, IN PART OR IN WHOLE, BY THE CLIENT OR HIS AGENT FOR BUILDING PERMIT APPLICATION SHALL BE DEEMED AS EVIDENCE OF ACCEPTANCE FOR FINAL PAYMENT OF

THESE PLANS ARE FOR USE ONLY BY THE CLIENT AND ONLY AT THE SITE IDENTIFIED IN THE TITLE

ANY DUPLICATION REPRODUCTION OR OTHER USE NOT SPECIFICALLY PERMITTED HEREIN OF THE PLANS, IN PART OR IN WHOLE, IS STRICTLY PROHIBITED UNDER COPYRIGHT LAW. ENGINEERED DRAWINGS

THE ENGINEERED DESIGN DRAWINGS ARE FOR STRUCTURAL ENGINEERING OF THE HOUSE AND PERMANENT FOUNDATION ONLY, DETACHED RETAINING WALLS ARE NOT PART OF THE ENGINEERED STRUCTURAL DRAWINGS AND ARE BY OTHERS. SLOPE STABILITY, EXCAVATION, SHORING, DRAINAGE SOILS ISSUES & CONSTRUCTION METHODS ARE NOT INCLUDED AND SHOULD BE ADDRESSED BY AN ENGINEER OR SPECIALIST OF THAT FIELD OF WORK, PROJECT ENGINEERING IS EXCLUDED.

ALL SOILS ISSUES SHOULD BE BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER. THE OWNER OR HIS REPRESENTATIVE ARE RESPONSIBLE FOR FOLLOWING THE SOILS REPORT, CONTACTING THE SOILS ENGINEER AND FOLLOWING THEIR RECOMMENDATIONS AND TO HAVE READ THE SOILS REPORT AND RECOGNIZE THE RISKS AND LIMITATIONS STATED THEREIN.

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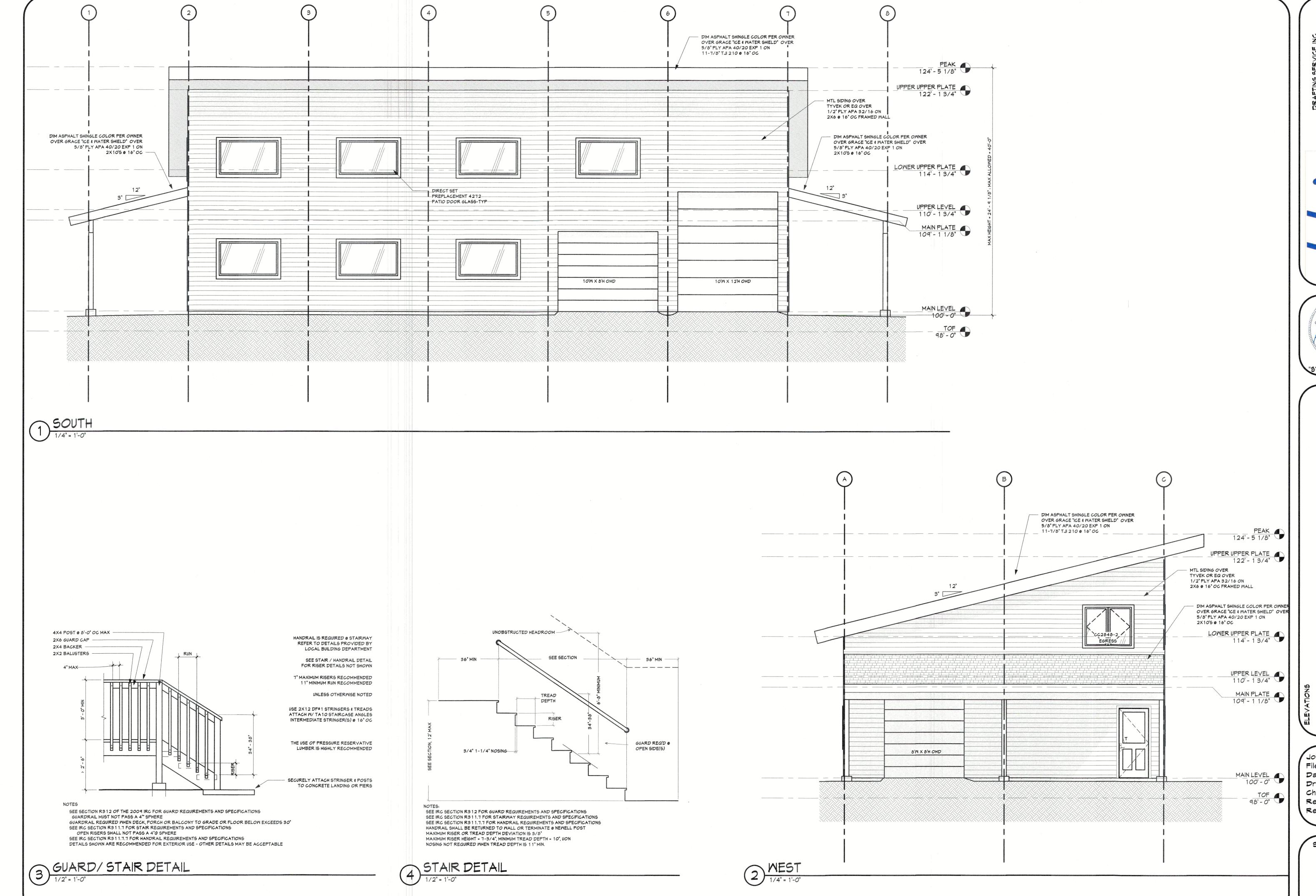
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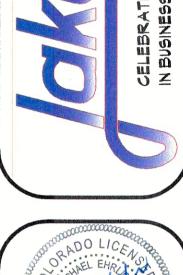
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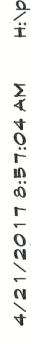


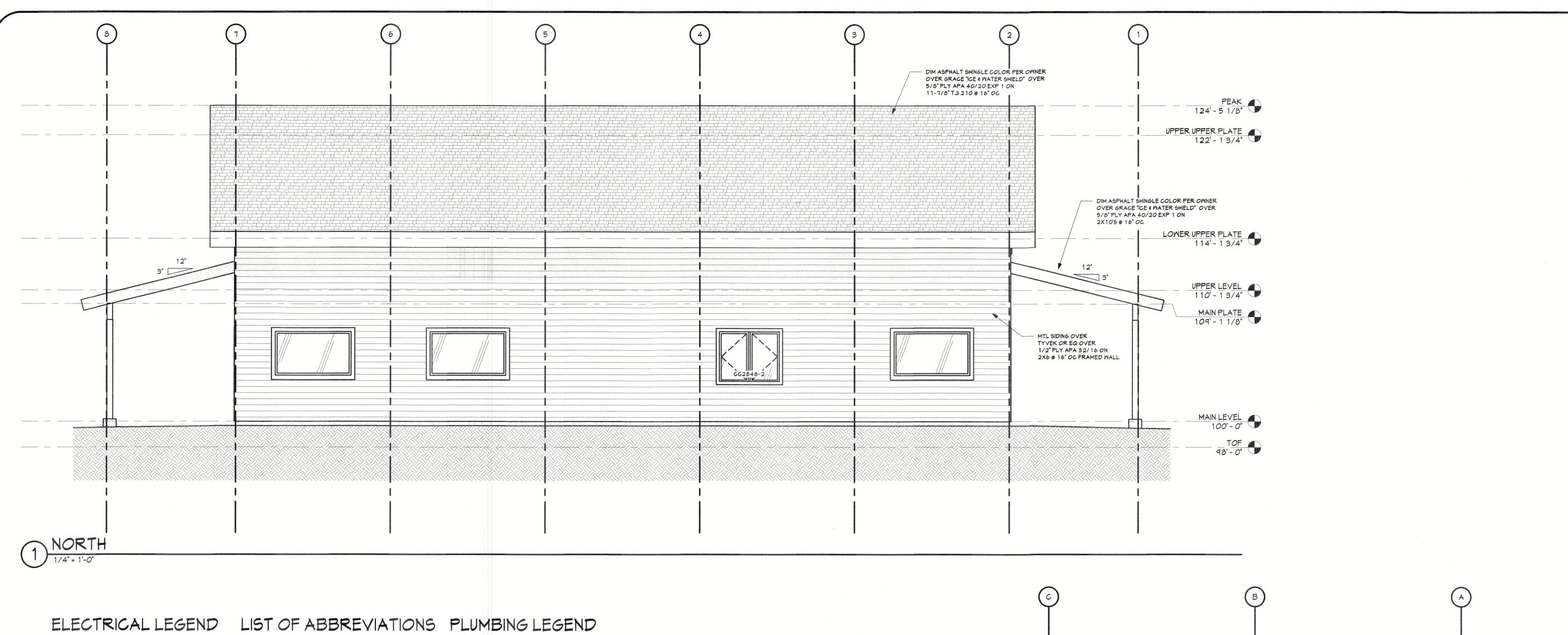


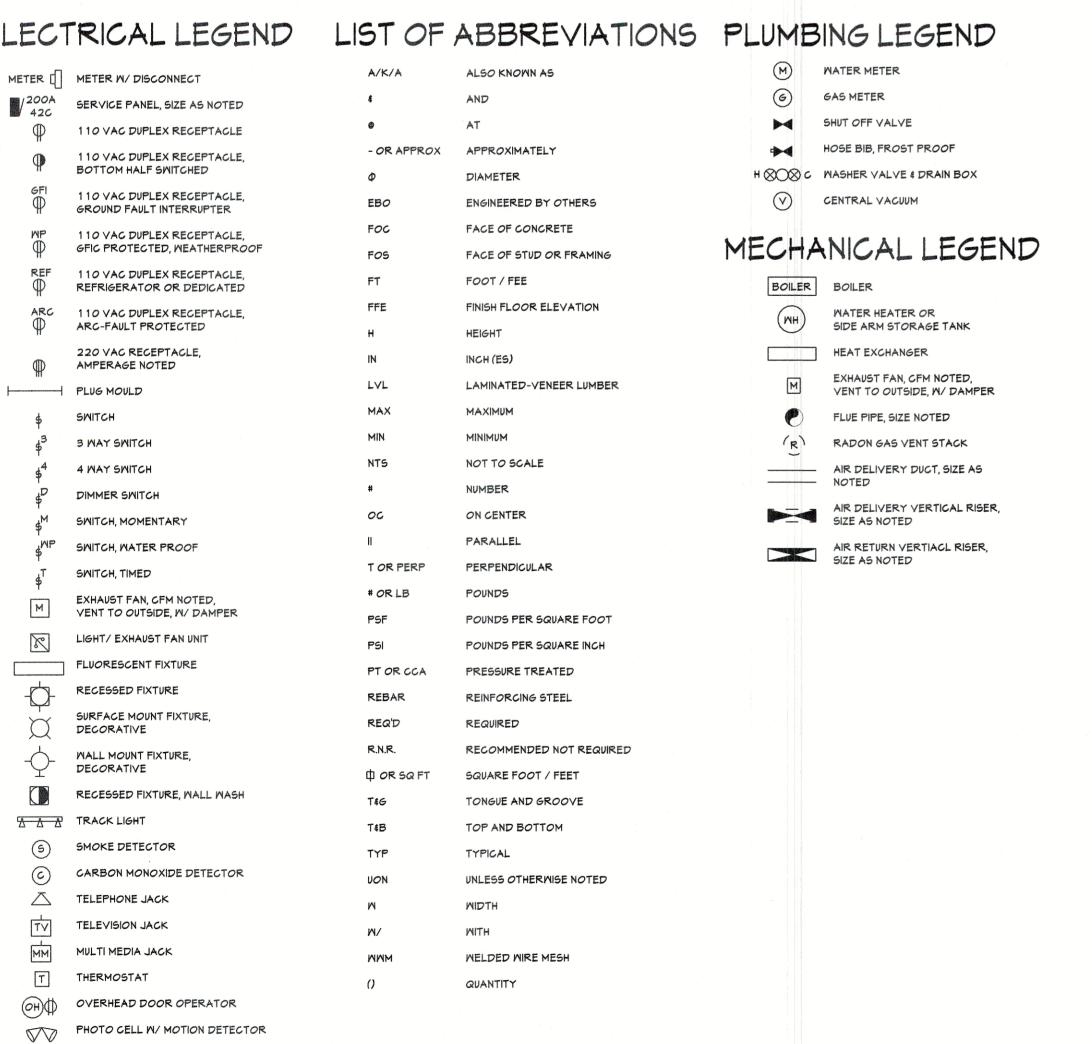


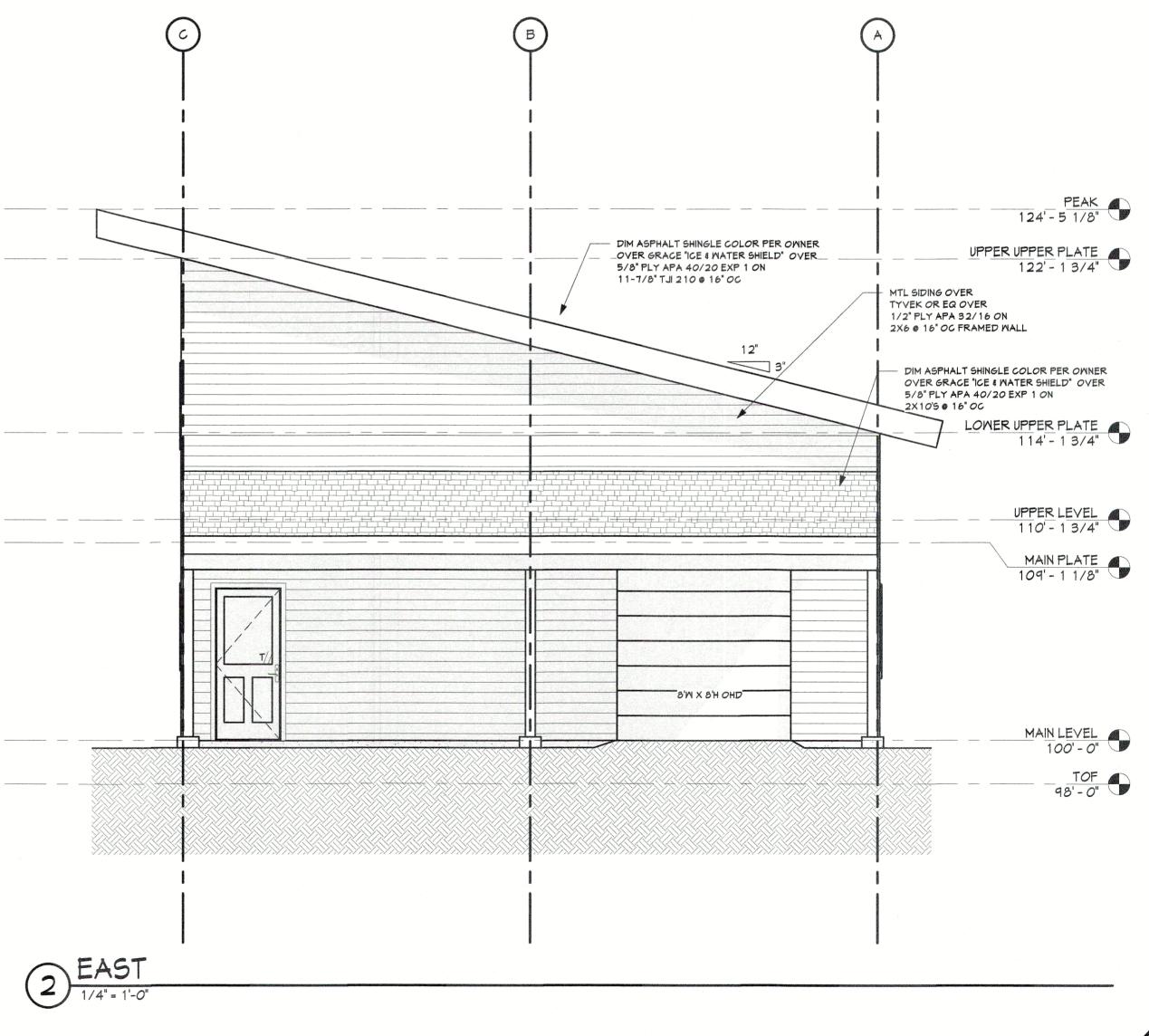
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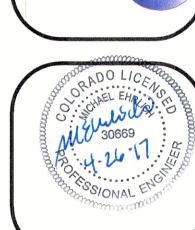












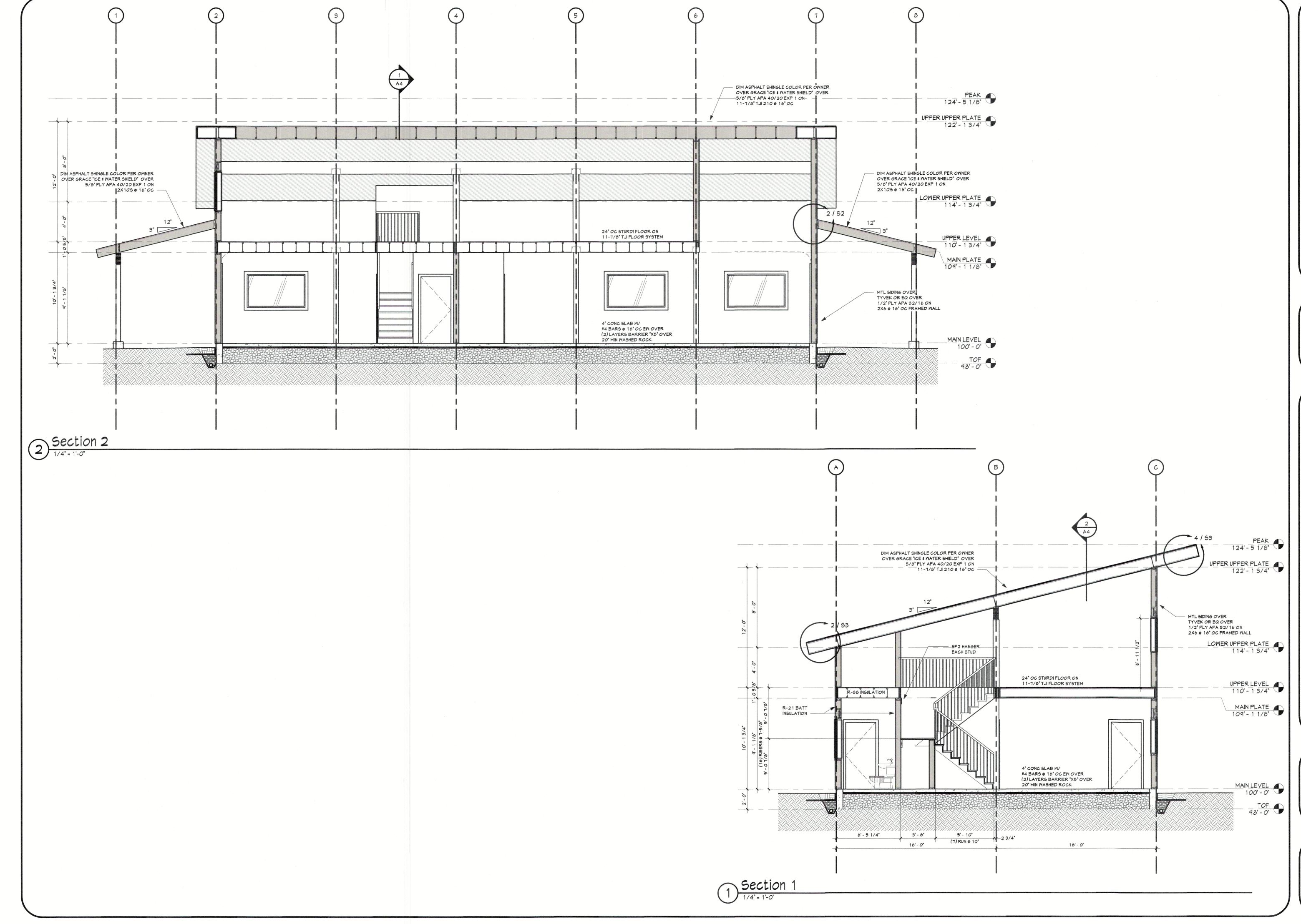
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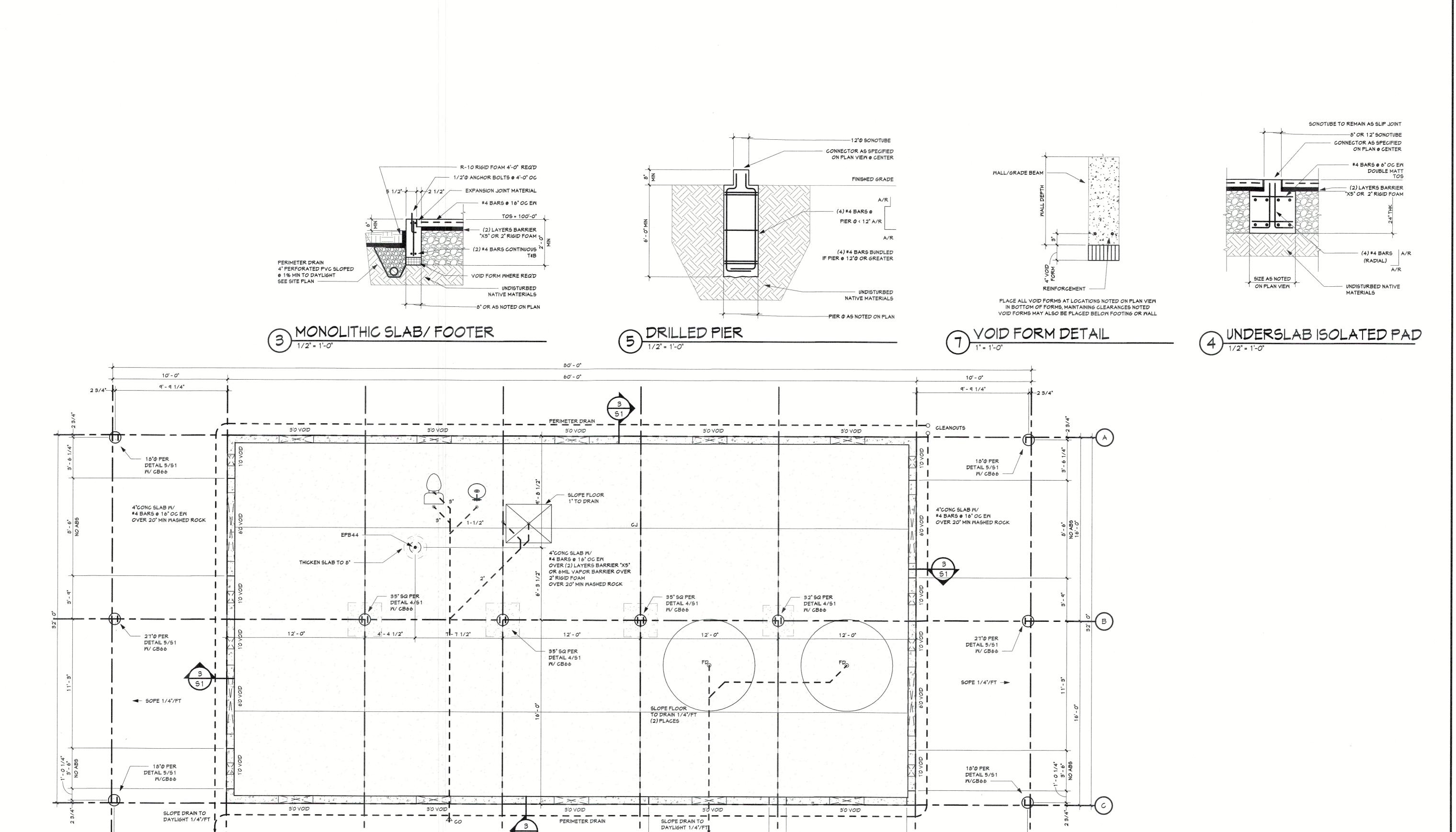




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10'-6"

NO ABS

10'-6"

NO ABS

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(3)

80'-0"

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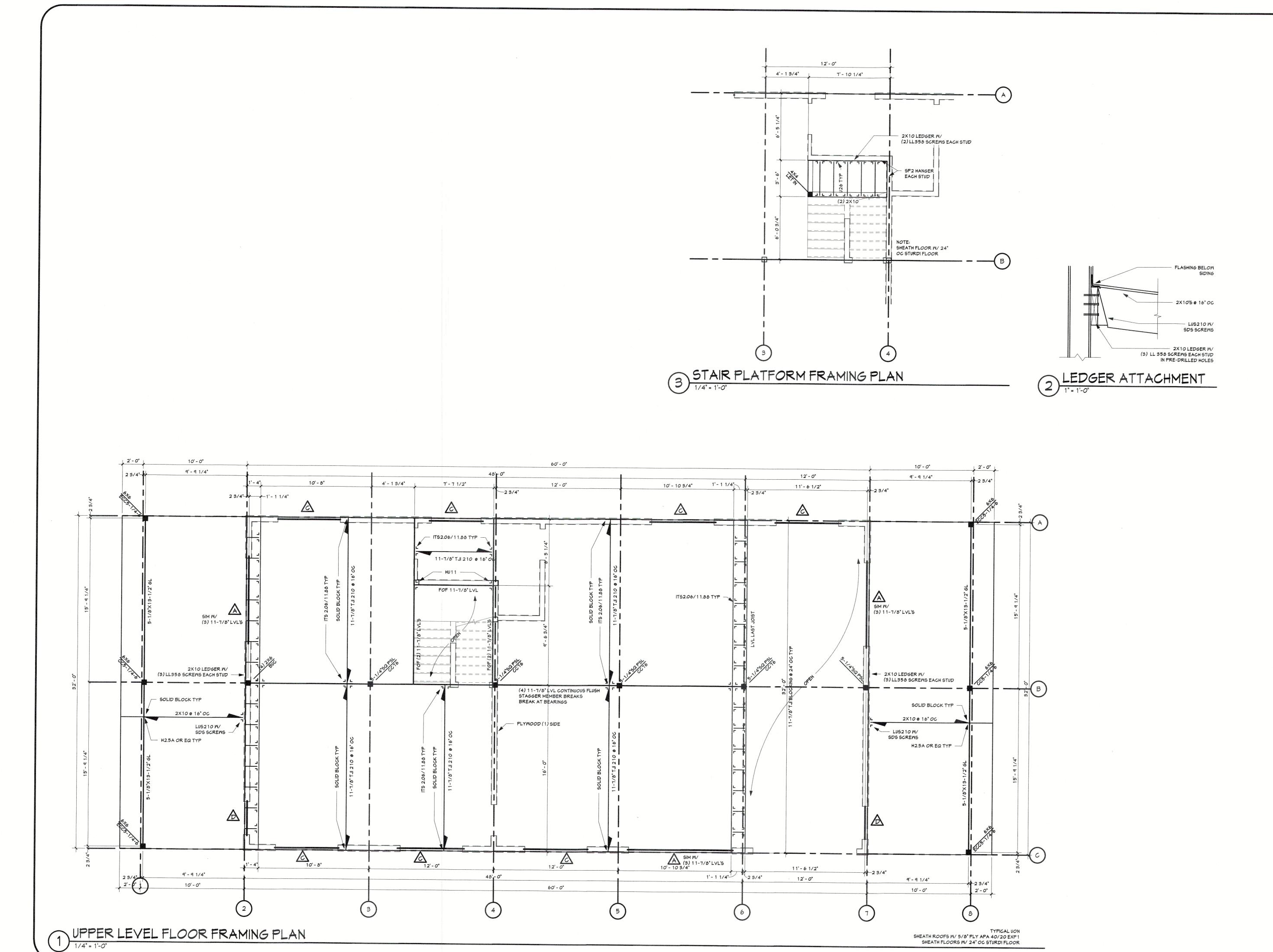


9' - 9 1/4"

GOORDINATE ALL SUB SLAB PENETRATIONS

-2 3/4"

9'-9 1/4"



DRAFTING SERVICE, INC.
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426 OAK STREET
EAMBOAT SPRINGS, COLORADO
910.819.1929
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AMES BURGESS

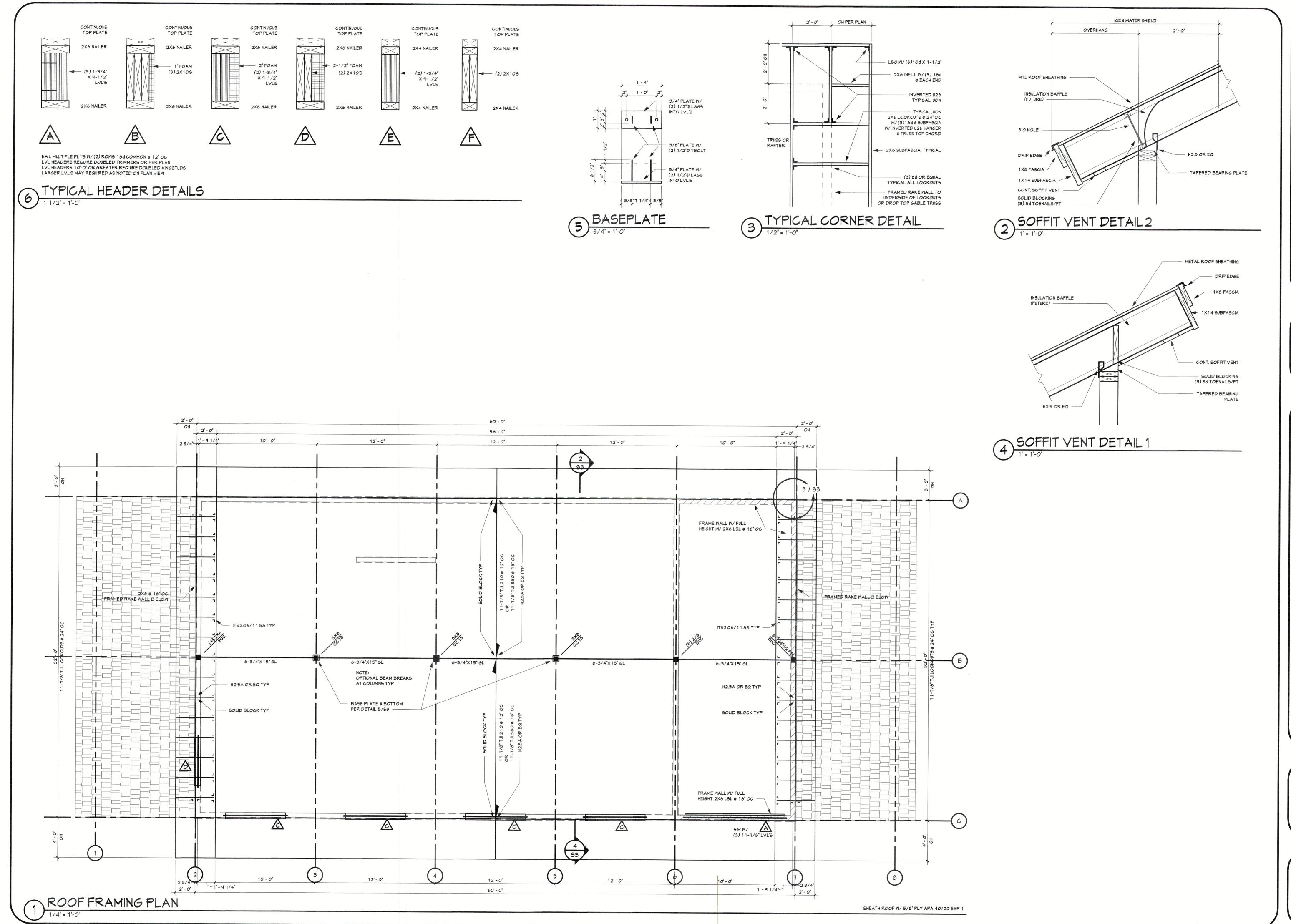
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M/ JAMES BURGESS

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