

2. THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
3. CONCRETE WASTE / INASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE.
4. MATERIALS FROM THE SITE PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER SITE'S WATERS.
5. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION CONTROL MEASURES TO PREVENT EROSION AND SLOTTING OF CONSTRUCTION ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPs).
6. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS REGARDING EROSION CONTROL.
7. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED.
8. CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT MID, W/ A CONSTRUCTION DEBRIS TRUCK THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATERWAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
9. ACCESS TO ALL EXISTING AND PROPOSED ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED BMP.
10. ALL PROTECTION SHAFTS SHALL BE MAINTAINED AND AREAS ARE TO BE REVEGETATED:
 - (1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 30 DAYS.
 - (2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GRADING SEASON.
11. ALL PROTECTION SHAFTS SHALL BE MAINTAINED AND AREAS ARE TO BE REVEGETATED: DRAINAGE AREA IS NOT VEGETATED
12. BMPs SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CHANGES TO THE CONSTRUCTION PROJECT.
13. AFTER EACH RAINFALL EVENT, INSPECTED WEEKLY 1 AFTER EVERY PRECIPITATION EVENT, ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPs WHEN THE SEDIMENT LEVEL REACHES 5" THE HEIGHT OF THE BMP.
14. ALL SEDIMENT ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES.
15. FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
16. SURVEY INFORMATION PROVIDED BY ROUTT COUNTY GIS & MODIFIED BY JAMES DRAFFA

ALL WORK EXECUTED IN ANY PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTY SHALL BE COMPLETED ACCORDING TO THE SPECIFICATIONS AND REQUIREMENTS OF THAT GOVERNING BODY.

0. SPECIAL NOTICE

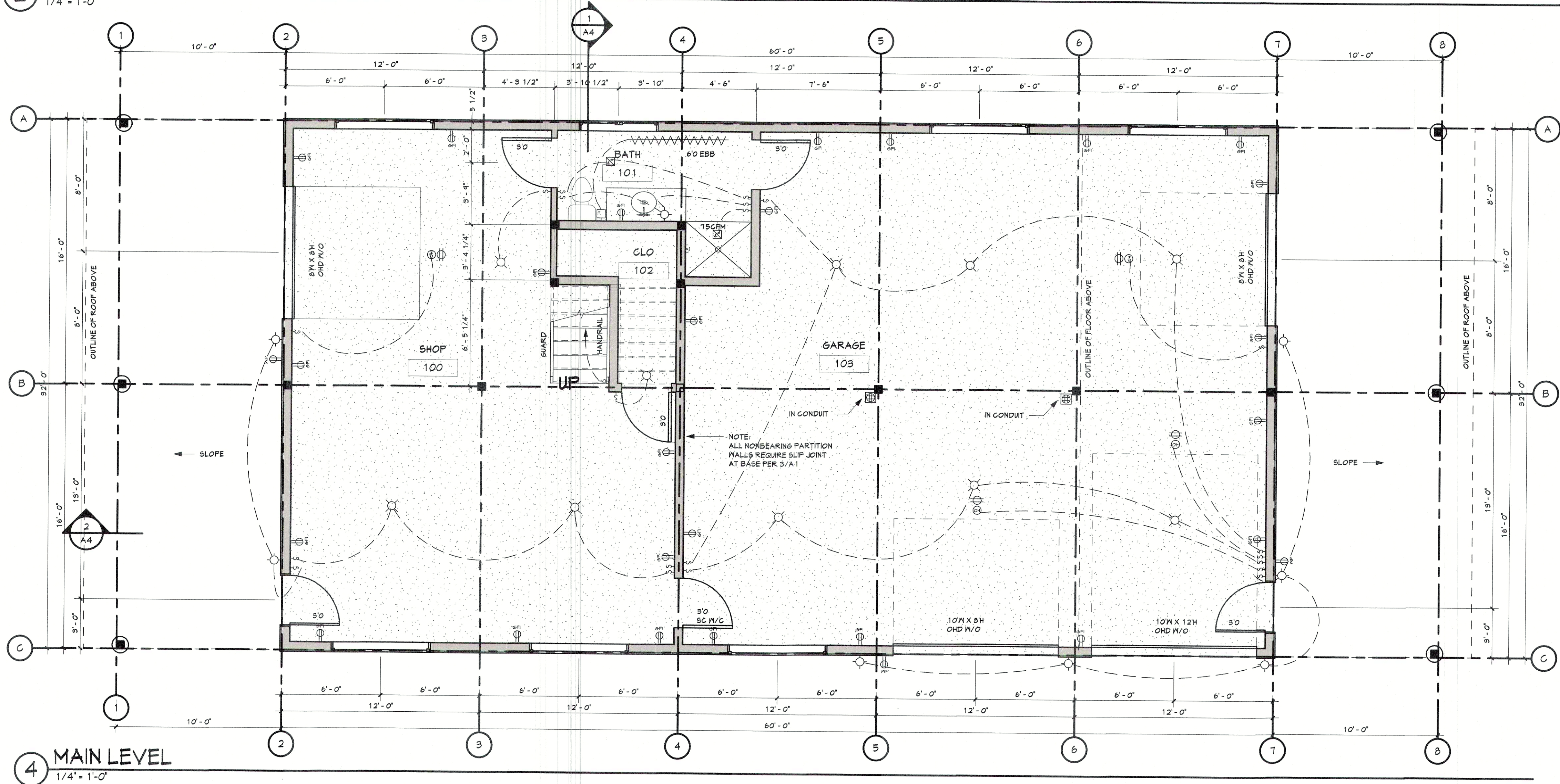
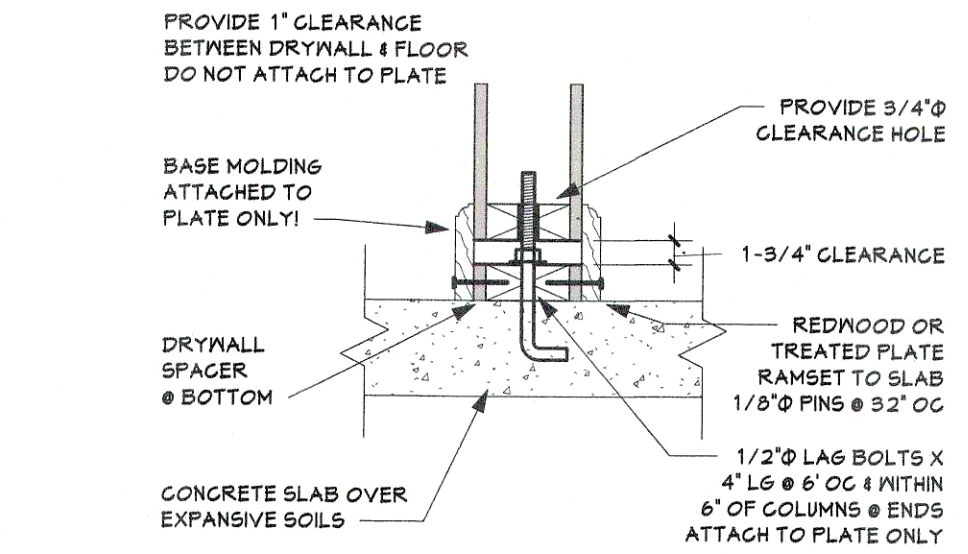
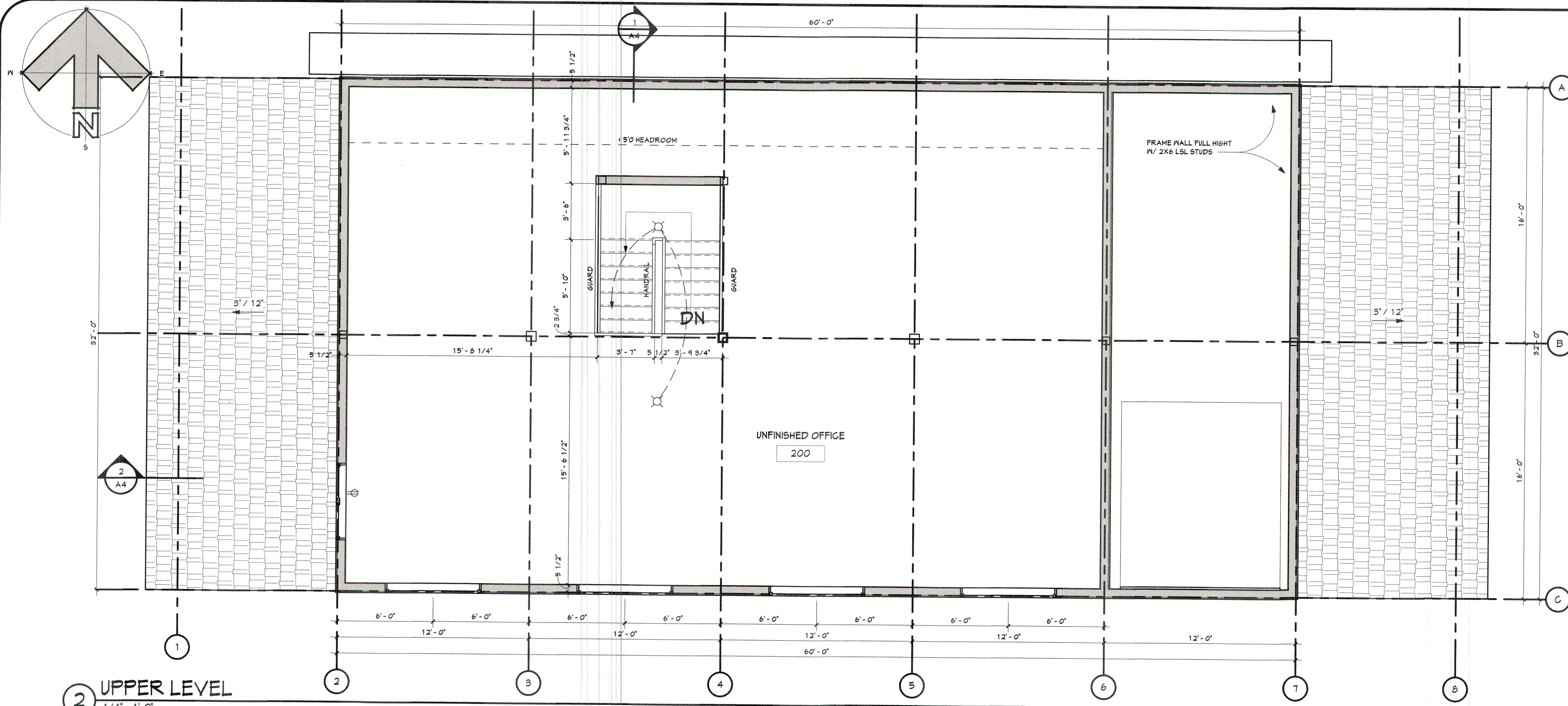
MISCELLANEOUS CLIPS, ANCHORS AND CONNECTORS SHALL BE SIMPSON "STRONG TIE" OR ICSO APPROVED EQUAL, UNLESS OTHERWISE NOTED. REFER TO SIMPSON CATALOG FOR APPROPRIATE

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ENGINEERED DRAWINGS

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SHEET 1 OF 8



CONSTRUCTION TYPE:	VB
OCCUPANCY:	RS, U1
BUILDING AREAS	
LOWER LEVEL FINISHED:	SQ FT
MAIN LEVEL FINISHED:	864 SQ FT
UPPER LEVEL FINISHED:	SQ FT
UNFINISHED AREA:	1536 SQ FT
BASEMENT:	SQ FT
TOTAL:	2400 SQ FT
GARAGE:	1152 SQ FT
CARPORT:	140 SQ FT
DECKS:	SQ FT
PORCHES:	SQ FT

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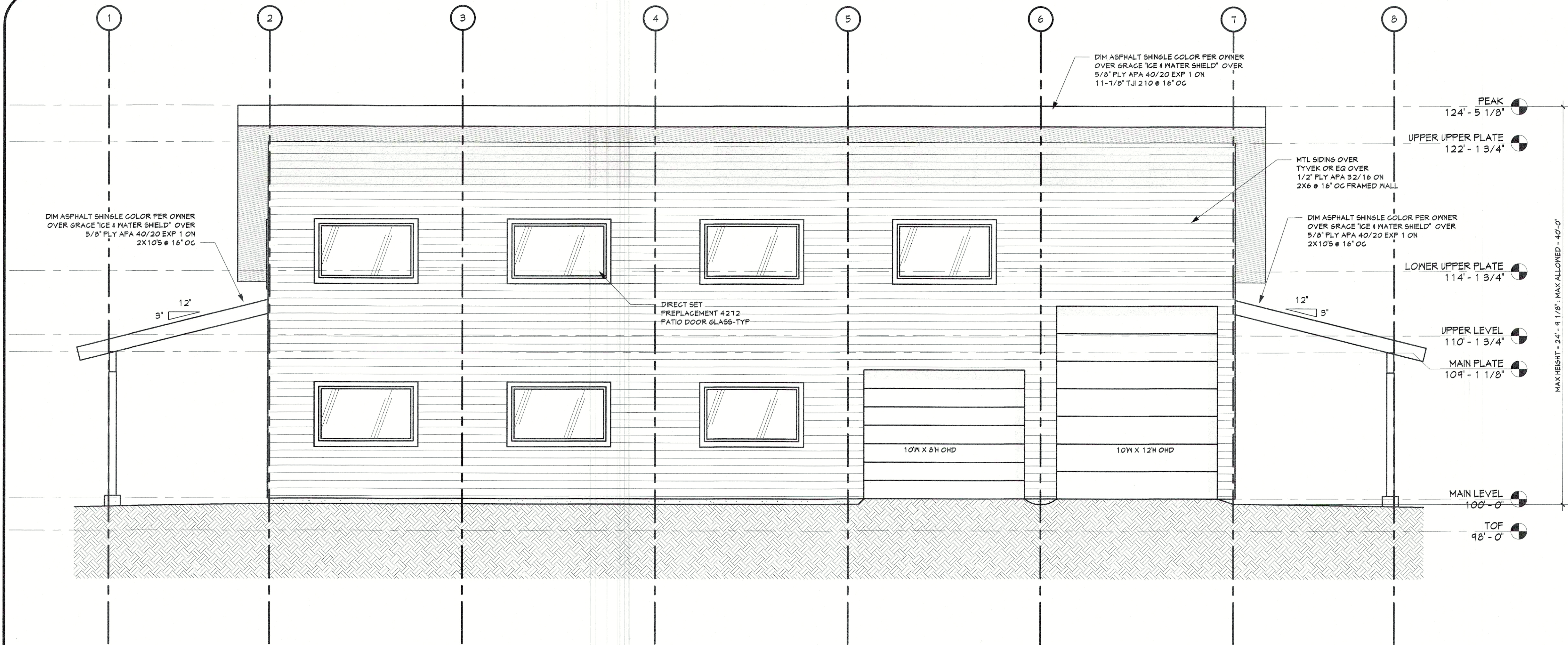
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MICHAEL BURNESS
00669
4-26-17
PROFESSIONAL ENGINEER
"STRUCTURE ONLY"

FLOOR PLANS
RITA DONHAM/ JAMES BURGESS
27875 US HIGHWAY 40
ROUETT COUNTY CO 80477
OWNER/ CONTRACTOR 307-231-1326

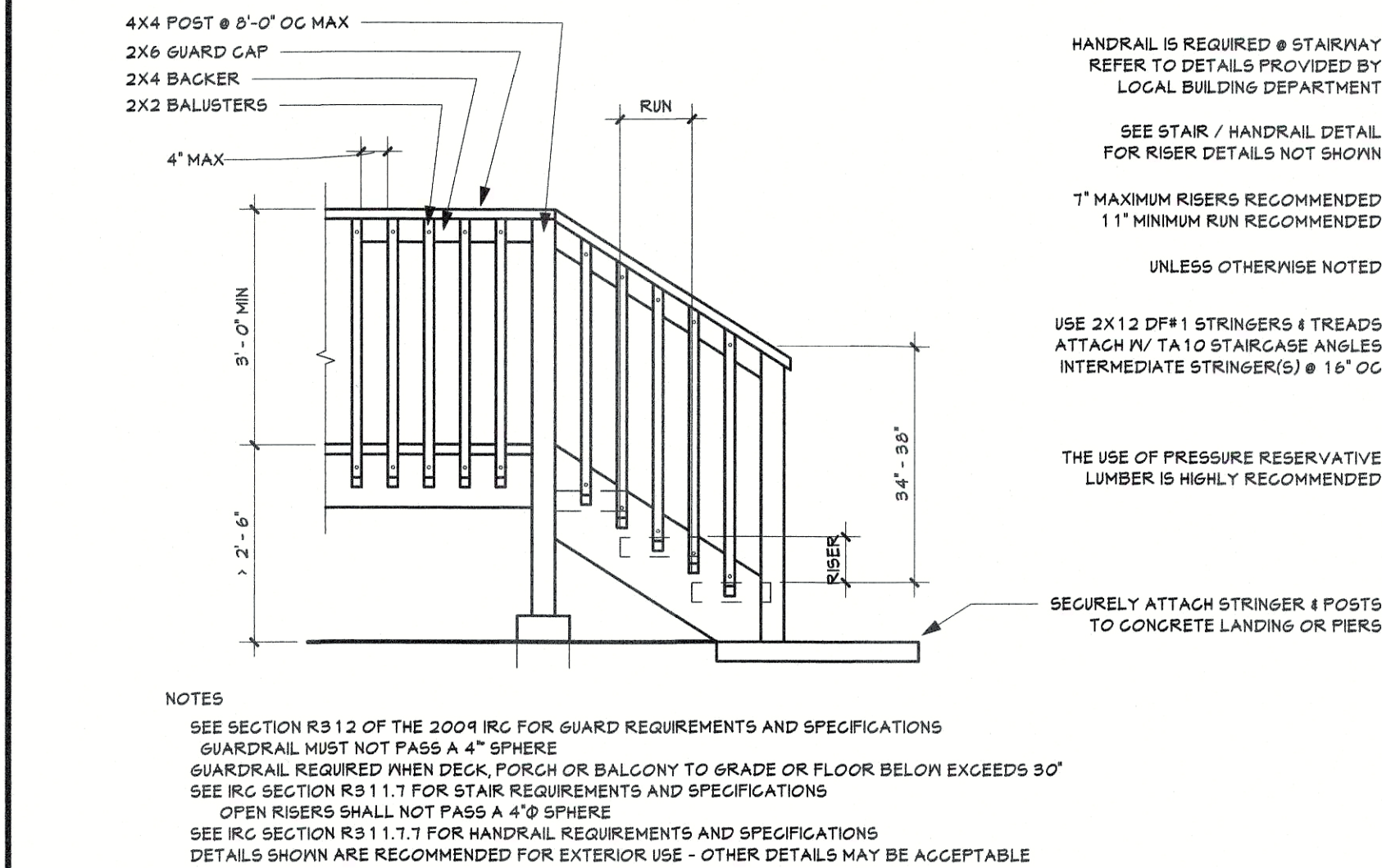
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File 17.013
Date 21APR17
Drawn KAB
Checked JMB
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Rev'd

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A1
SHEET 2 OF 8

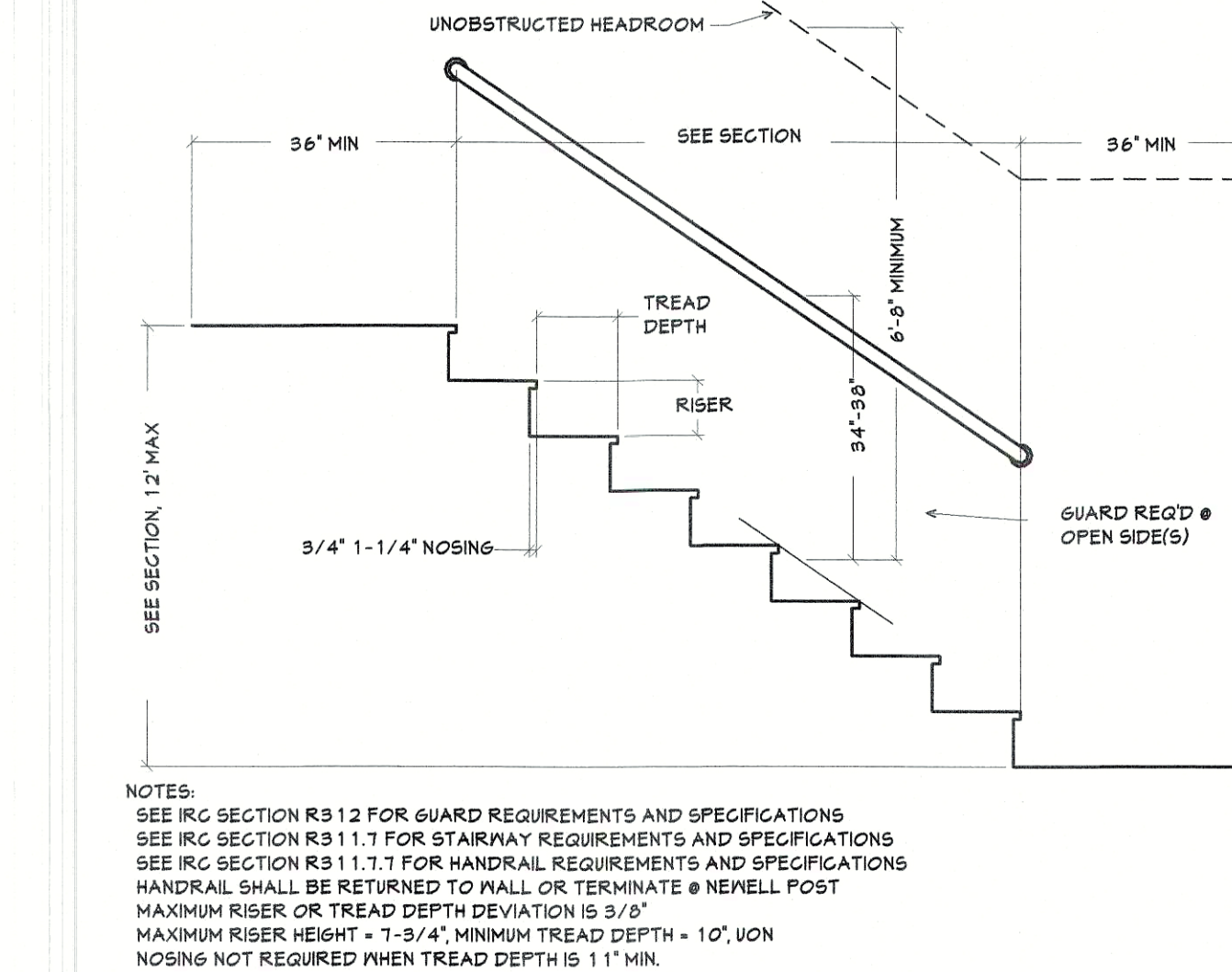
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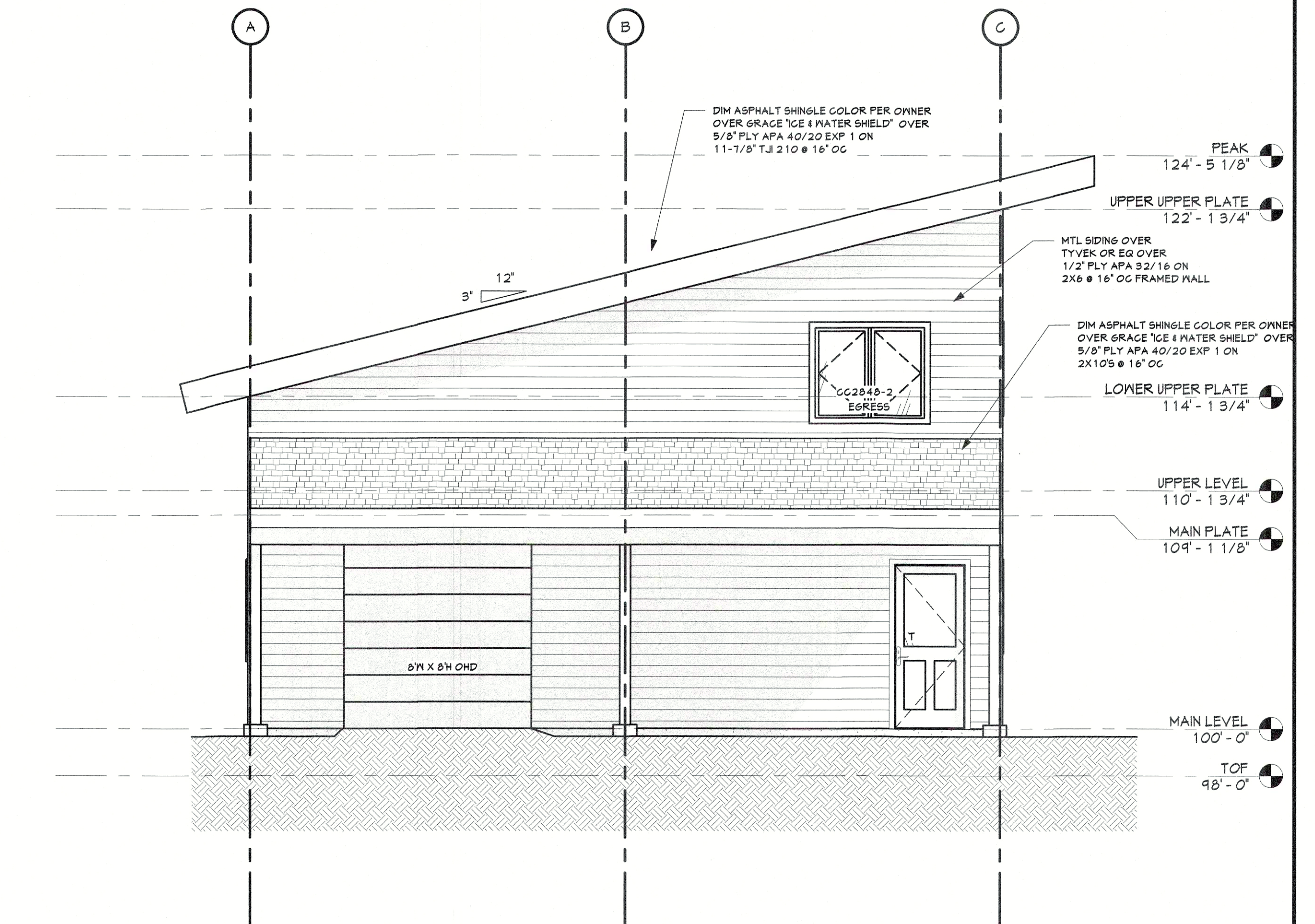
1 SOUTH
1/4" = 1'-0"



3 GUARD/ STAIR DETAIL
1/2" = 1'-0"



4 STAIR DETAIL
1/2" = 1'-0"



2 WEST
1/4" = 1'-0"

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ELEVATIONS
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OWNER/ CONTRACTOR 307-231-1326

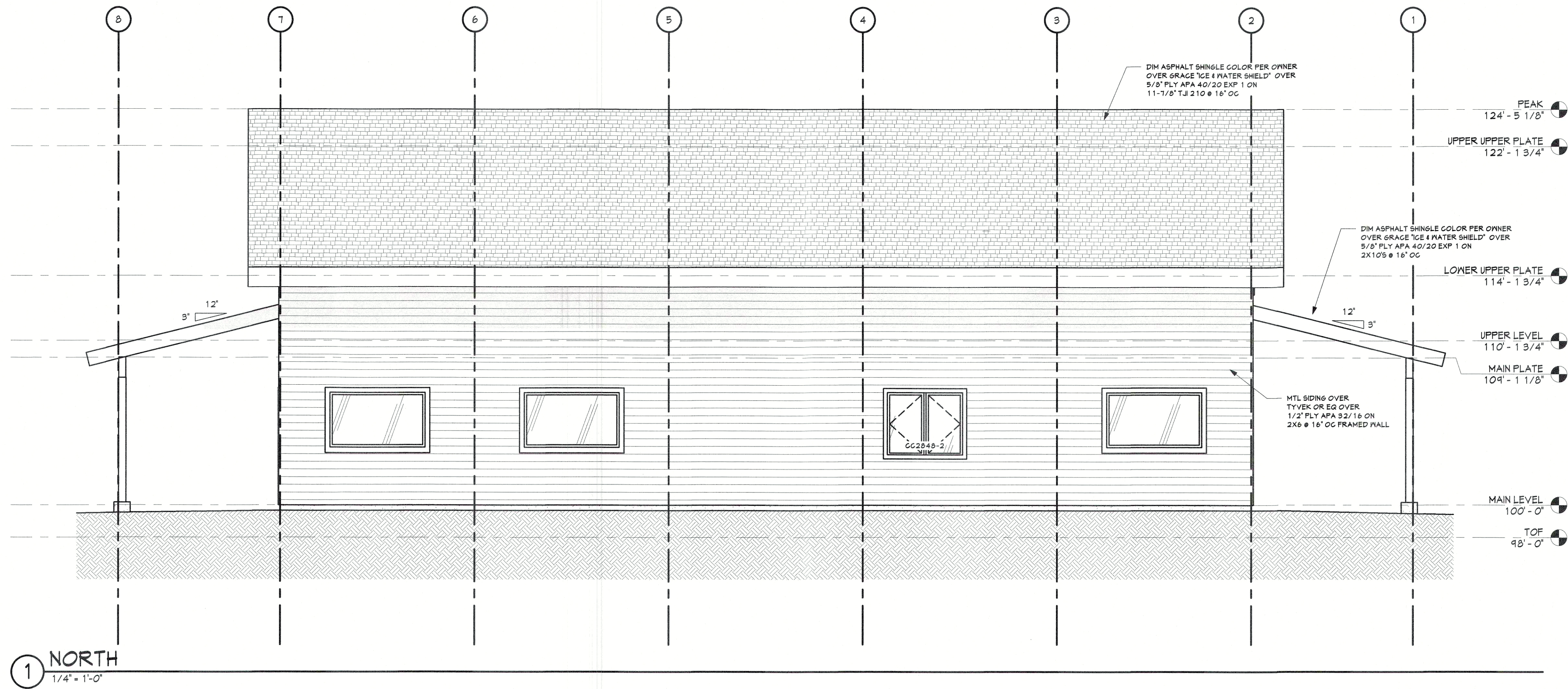
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SHEET 5 OF 5

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ELECTRICAL LEGEND

METER	METER IV DISCONNECT
1200A 42C	SERVICE PANEL, SIZE AS NOTED
110 VAG DUPLEX RECEPTACLE	110 VAG DUPLEX RECEPTACLE
110 VAG DUPLEX RECEPTACLE, BOTTOM HALF SWITCHED	110 VAG DUPLEX RECEPTACLE, BOTTOM HALF SWITCHED
110 VAG DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER	110 VAG DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER
110 VAG DUPLEX RECEPTACLE, 6P/3C PROTECTED, WEATHERPROOF	110 VAG DUPLEX RECEPTACLE, 6P/3C PROTECTED, WEATHERPROOF
110 VAG DUPLEX RECEPTACLE, REFRIGERATOR OR DEDICATED	110 VAG DUPLEX RECEPTACLE, REFRIGERATOR OR DEDICATED
110 VAG DUPLEX RECEPTACLE, ARC-FAULT PROTECTED	110 VAG DUPLEX RECEPTACLE, ARC-FAULT PROTECTED
220 VAG RECEPTACLE, AMPERAGE NOTED	220 VAG RECEPTACLE, AMPERAGE NOTED
FLUSH MOUNT	FLUSH MOUNT
SWITCH	SWITCH
3 WAY SWITCH	3 WAY SWITCH
4 WAY SWITCH	4 WAY SWITCH
DIMMER SWITCH	DIMMER SWITCH
SWITCH, MOMENTARY	SWITCH, MOMENTARY
SWITCH, WATER PROOF	SWITCH, WATER PROOF
SWITCH, TIMED	SWITCH, TIMED
EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV DAMPER	EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV DAMPER
LIGHT/ EXHAUST FAN UNIT	LIGHT/ EXHAUST FAN UNIT
FLUORESCENT FIXTURE	FLUORESCENT FIXTURE
RECESSED FIXTURE	RECESSED FIXTURE
SURFACE MOUNT FIXTURE, DECORATIVE	SURFACE MOUNT FIXTURE, DECORATIVE
WALL MOUNT FIXTURE, DECORATIVE	WALL MOUNT FIXTURE, DECORATIVE
RECESSED FIXTURE, WALL MASH	RECESSED FIXTURE, WALL MASH
TRACK LIGHT	TRACK LIGHT
SMOKE DETECTOR	SMOKE DETECTOR
CARBON MONOXIDE DETECTOR	CARBON MONOXIDE DETECTOR
TELEPHONE JACK	TELEPHONE JACK
TELEVISION JACK	TELEVISION JACK
MULTI MEDIA JACK	MULTI MEDIA JACK
THERMOSTAT	THERMOSTAT
OVERHEAD DOOR OPERATOR	OVERHEAD DOOR OPERATOR
PHOTO CELL IV MOTION DETECTOR	PHOTO CELL IV MOTION DETECTOR

LIST OF ABBREVIATIONS

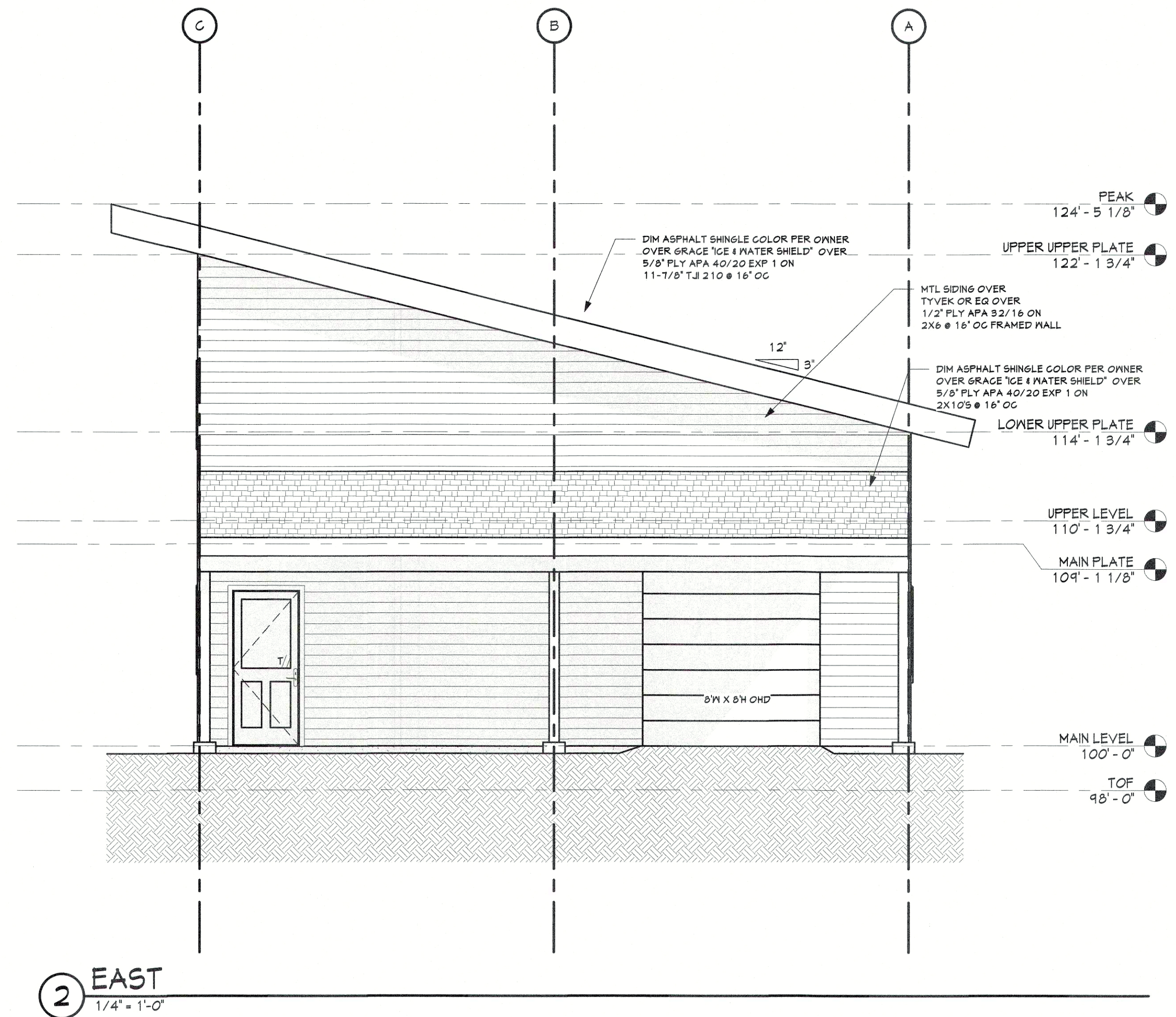
A/K/A	ALSO KNOWN AS
AND	AND
AT	AT
- OR APPROX	APPROXIMATELY
Ø	DIAMETER
EBO	ENGINEERED BY OTHERS
FOC	FACE OF CONCRETE
FOS	FACE OF STUD OR FRAMING
FT	FOOT / FEE
FFE	FINISH FLOOR ELEVATION
H	HEIGHT
IN	INCH (ES)
LVL	LAMINATED-VENEER LUMBER
MAX	MAXIMUM
MIN	MINIMUM
NTS	NOT TO SCALE
#	NUMBER
OC	ON CENTER
	PARALLEL
T OR PERP	PERPENDICULAR
# OR LB	POUNDS
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PT OR CCA	PRESSURE TREATED
REBAR	REINFORCING STEEL
REQD	REQUIRED
R.N.R.	RECOMMENDED NOT REQUIRED
□ OR SQ FT	SQUARE FOOT / FEET
T&G	TONGUE AND GROOVE
T&B	TOP AND BOTTOM
TYP	TYPICAL
UN	UNLESS OTHERWISE NOTED
W	WIDTH
WTH	WITH
W/M	WELDED WIRE MESH
()	QUANTITY

PLUMBING LEGEND

WATER METER	WATER METER
GAS METER	GAS METER
SHUT OFF VALVE	SHUT OFF VALVE
HOSE BIB, FROST PROOF	HOSE BIB, FROST PROOF
WASHER VALVE & DRAIN BOX	WASHER VALVE & DRAIN BOX
CENTRAL VACUUM	CENTRAL VACUUM

MECHANICAL LEGEND

BOILER	BOILER
WATER HEATER OR SIDE ARM STORAGE TANK	WATER HEATER OR SIDE ARM STORAGE TANK
HEAT EXCHANGER	HEAT EXCHANGER
EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV DAMPER	EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV DAMPER
FLUE PIPE, SIZE NOTED	FLUE PIPE, SIZE NOTED
RADON GAS VENT STACK	RADON GAS VENT STACK
AIR DELIVERY DUCT, SIZE AS NOTED	AIR DELIVERY DUCT, SIZE AS NOTED
AIR DELIVERY VERTICAL RISER, SIZE AS NOTED	AIR DELIVERY VERTICAL RISER, SIZE AS NOTED
AIR RETURN VERTICAL RISER, SIZE AS NOTED	AIR RETURN VERTICAL RISER, SIZE AS NOTED



ELEVATIONS
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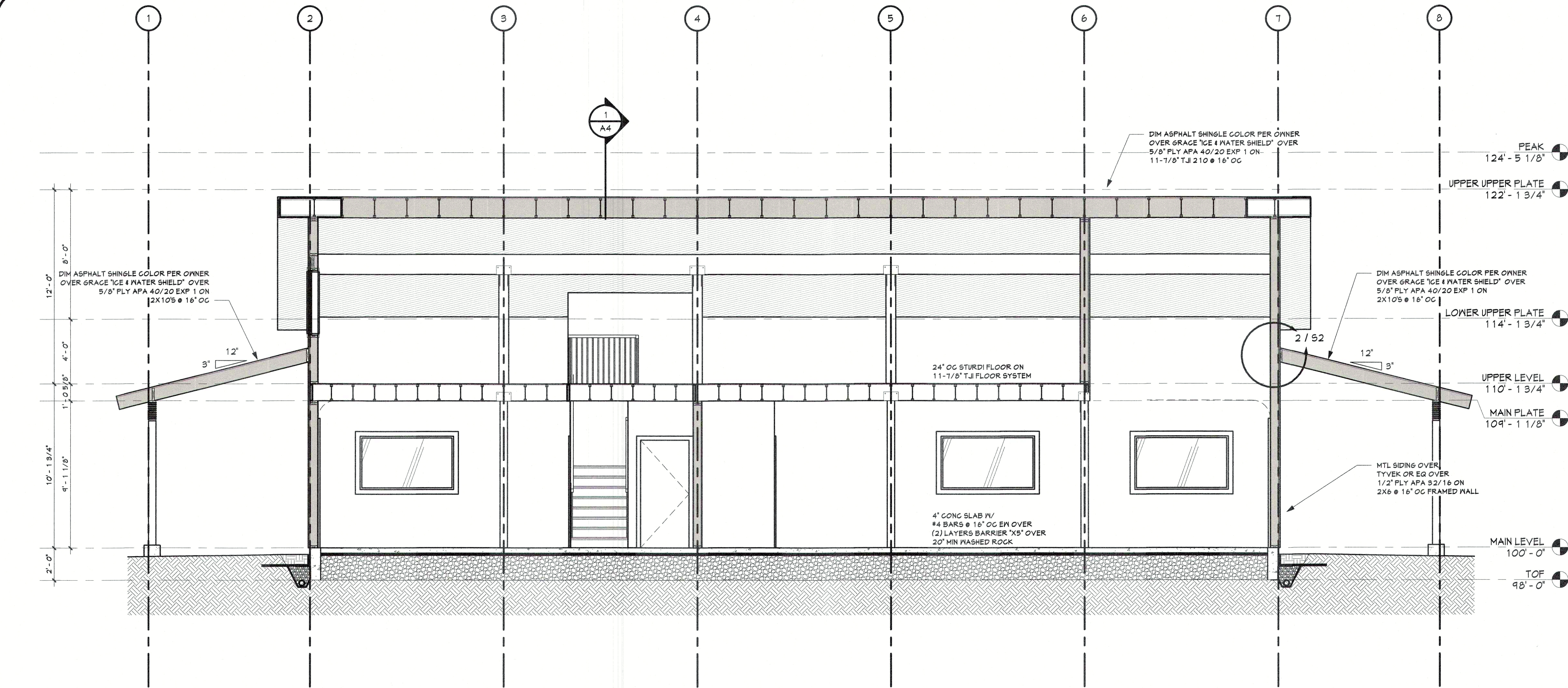
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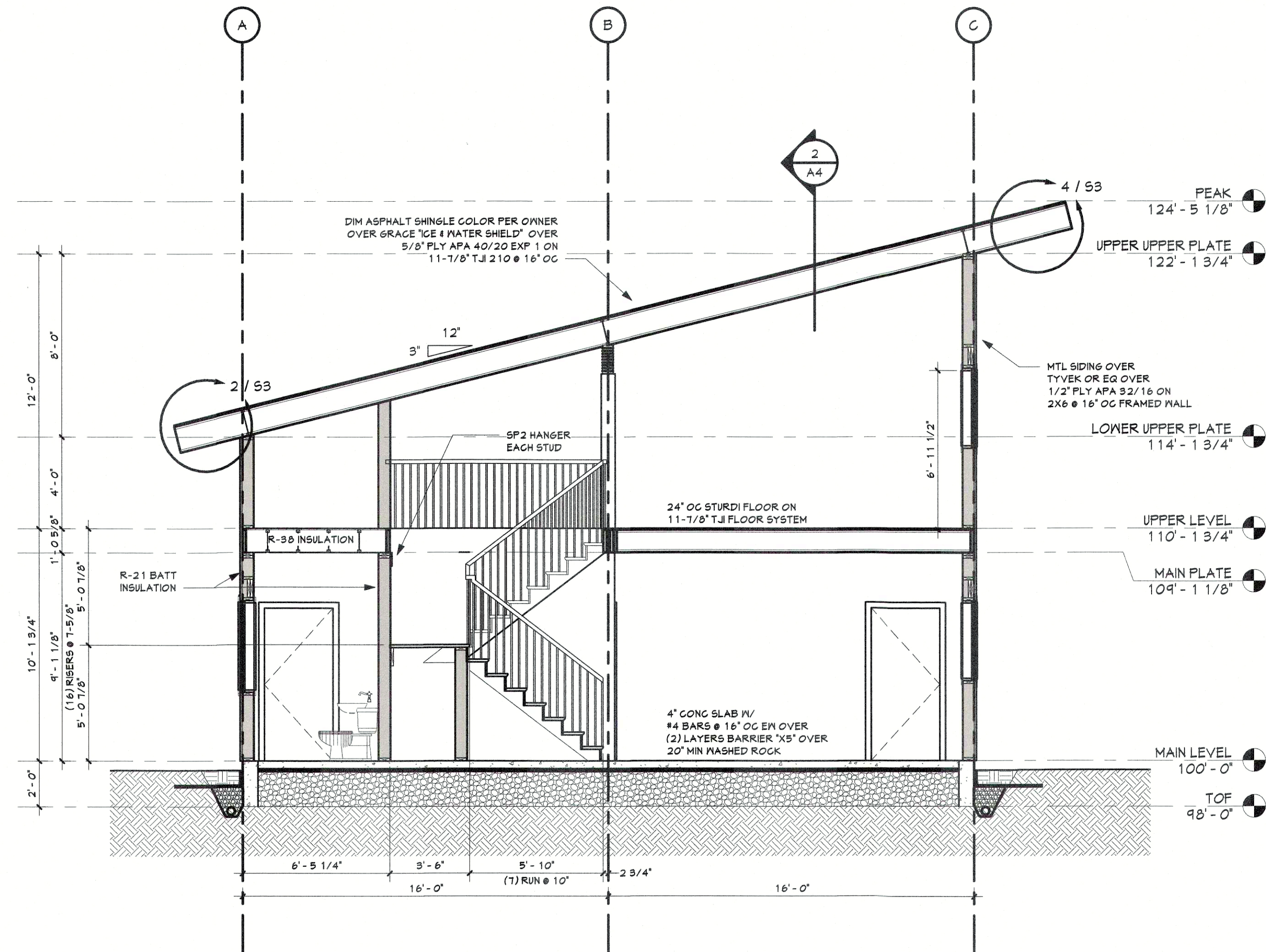
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2 Section 2
1/4" = 1'-0"



1 Section 1
1/4" = 1'-0"

TYPICAL SECTIONS
RITA DONHAM/ JAMES BURGESS

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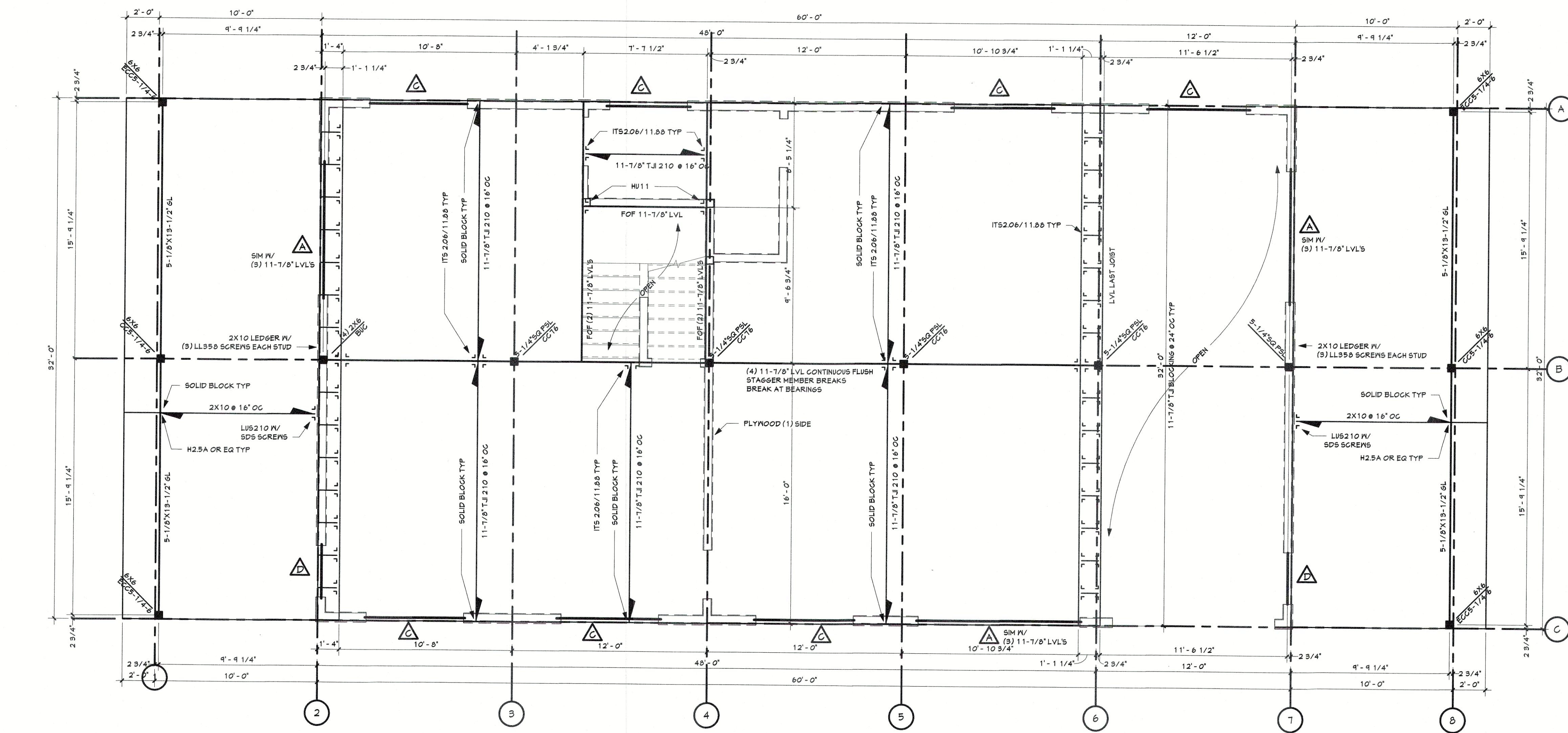
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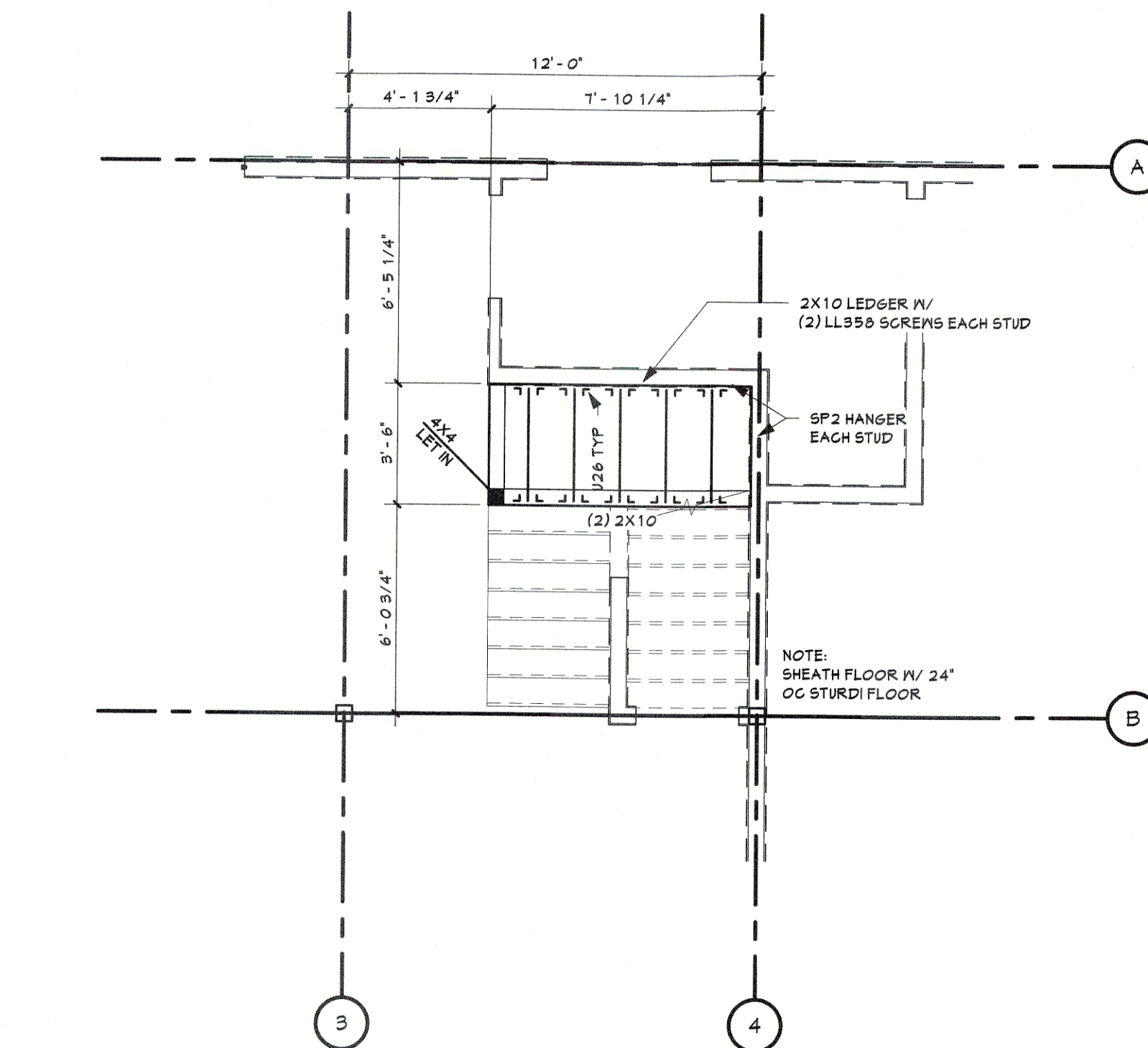


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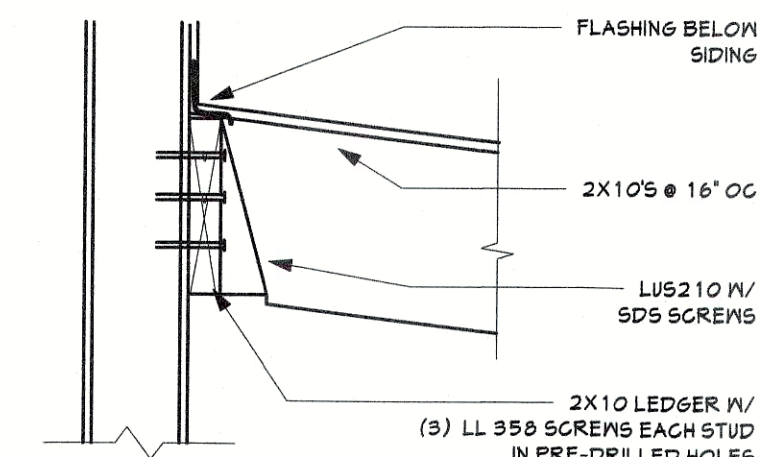
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1 UPPER LEVEL FLOOR FRAMING PLAN
1/4" = 1'-0"



3 STAIR PLATFORM FRAMING PLAN
1/4" = 1'-0"



2 LEDGER ATTACHMENT
1" = 1'-0"

TYPICAL W/O
SHEATH ROOFS W/ 5/8" PLY APA 40/20 EXF
SHEATH FLOORS W/ 24" OC STURDI FLOOR

FLOOR PLAN & DETAILS

RITA DONHAM/ JAMES BURGESS

27875 US HIGHWAY 40

ROUTT COUNTY CO 80477

OWNER/ CONTRACTOR 307-231-1326

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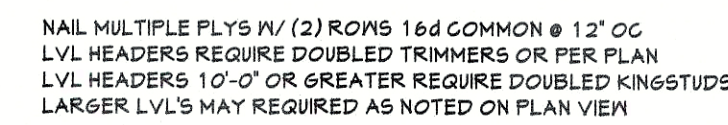
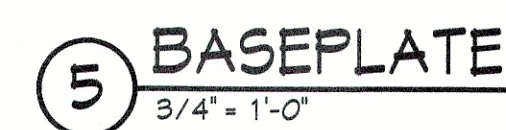
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SHEET 7 OF 8

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$$1 \frac{1}{2}^8 = 1^1 - 0^1$$


SHEATH ROOF W/ 5/8" PLY APA 40/20 EXP

