LUCKY 8 - MOM'S RETREAT

OWNER/CONTRACTOR

NICK OSADCHUK 23850 TOBIANO TRAIL ROUTT COUNTY, CO 80477 970-846-5592

DESIGNER

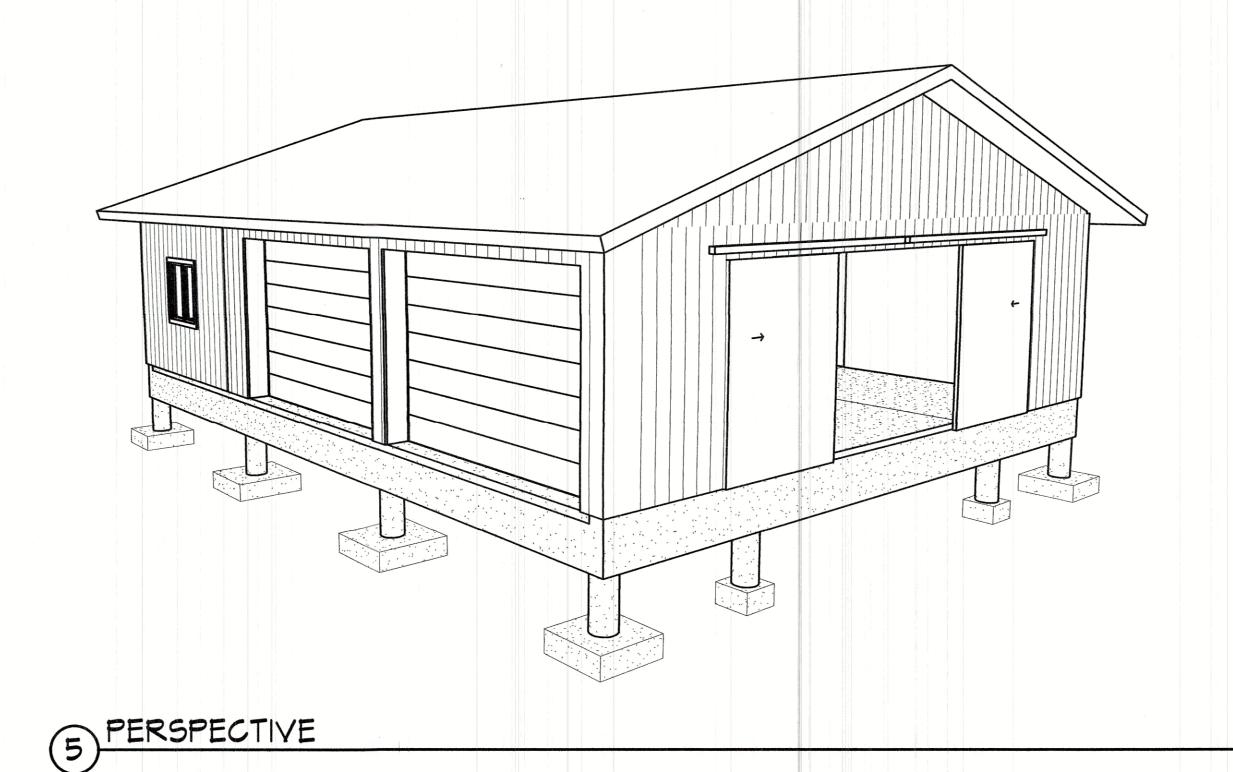
JAKE'S DRAFTING SERVICE, INC. 426 OAK ST. STEAMBOAT SPRINGS, CO 80487 970-879-7929 MMM.JAKESDRAFTING.COM

GEOTECHNICAL ENGINEER

NMCC, INC. BRIAN LEN, PE 2580 COPPER RIDGE DRIVE STEAMBOAT SPRINGS, CO 80487 970-879-7888 MMM.NMCCUSA.COM

STRUCTURAL ENGINEER

MICHAEL EHRLICH STRUCTURAL-ENGINEERING, INC. MIKE EHRLICH, PE 3260 APRES SKI WAY STEAMBOAT SPRINGS, CO 80487 970-879-3866 FRACTAL@CMN.NET



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LIST OF ABBREVIATIONS ELECTRICAL LEGEND

	ADDREVIATIONS		
VK/A	ALSO KNOWN AS	METER [METER W/ DISCONNECT
	AND	200A 42C	SERVICE PANEL, SIZE AS
)	AT	Φ	110 VAC DUPLEX RECEP
OR APPROX	APPROXIMATELY	•	110 VAC DUPLEX RECEP BOTTOM HALF SMITCHED
>	DIAMETER	GFI	110 VAC DUPLEX RECEP
Во	ENGINEERED BY OTHERS	π MP	GROUND FAULT INTERRUF
:oc	FAGE OF CONCRETE	ф	110 VAC DUPLEX RECEP GFIC PROTECTED, WEATH
:05	FACE OF STUD OR FRAMING	REF	110 VAC DUPLEX RECEP REFRIGERATOR OR DED
7	FOOT / FEET	₩ ARC	110 VAG DUPLEX REGEF
FE	FINISH FLOOR ELEVATION	Φ	ARG-FAULT PROTECTED
	HEIGHT	₫ħ.	220 VAC RECEPTACLE, AMPERAGE NOTED
4	INCH (ES)	•	
.VL	LAMINATED-VENEER LUMBER		PLUG MOULD
1AX	MAXIMUM	\$	SMITCH
4IN	MINIMUM	\$ ³	3 MAY SMITCH
ITS	NOT TO SCALE	\$ ⁴	4 MAY SMITCH
	NUMBER	\$ ^D	DIMMER SMITCH
06	ON CENTER	\$ ^M	SMITCH, MOMENTARY
	PARALLEL	\$MP	SMITCH, MATER PROOF
OR PERP	PERPENDICULAR	\$ ^T	SMITCH, TIMED
ORLB	POUNDS	М	VENT TO OUTSIDE, W/ DA
PSF	POUNDS PER SQUARE FOOT	R	LIGHT/ EXHAUST FAN UNIT
PSI	POUNDS PER SQUARE INCH		FLUORESCENT FIXTURE
T OR CCA	PRESSURE TREATED		RECESSED FIXTURE
REBAR	REINFORGING STEEL	\sim	SURFACE MOUNT FIXTURE
REQ'D	REQUIRED	\mathcal{L}_{α}	DECORATIVE
R.N.R.	REGOMMENDED NOT REQUIRED	4	MALL MOUNT FIXTURE, DECORATIVE
OR SQ FT	SQUARE FOOT / FEET		RECESSED FIXTURE, WAL
46	TONGUE AND GROOVE	<u> </u>	TRACK LIGHT
*B	TOP AND BOTTOM	(5)	SMOKE DETECTOR
YP	TYPICAL	©	CARBON MONOXIDE DET
ION	UNLESS OTHERWISE NOTED	\triangle	TELEPHONE JACK
1	MIDTH	TV	TELEVISION JACK
V /	MITH	ММ	MULTI MEDIA JACK
MM	WELDED MIRE MESH	T	THERMOSTAT

MECHANICAL LEGEND

WATER HEATER OR

EXHAUST FAN, CFM NOTED,

FLUE PIPE, SIZE NOTED

AIR DELIVERY DUCT, SIZE AS

AIR DELIVERY VERTICAL RISER SIZE AS NOTED

AIR RETURN VERTIAGL RISER, SIZE AS NOTED

BOILER BOILER

PLUMBING LEGEND

M	MATER METER
6	GAS METER
\bowtie	SHUT OFF VALVE
•	HOSE BIB, FROST PROOF
н⊗О⊗с	MASHER VALVE & DRAIN BOX
\bigcirc	CENTRAL VACUUM



OVERHEAD DOOR OPERATOR

PHOTO CELL W/ MOTION DETECTOR

SERVICE PANEL, SIZE AS NOTED

110 VAC DUPLEX RECEPTAGLE

110 VAC DUPLEX RECEPTACLE,

110 VAC DUPLEX RECEPTACLE,

GFIC PROTECTED, WEATHERPROOF

110 VAC DUPLEX RECEPTAGLE,

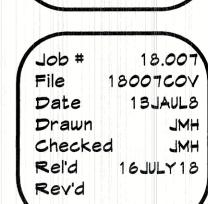
110 VAC DUPLEX RECEPTACLE, ARC-FAULT PROTECTED

EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, W/ DAMPER

RECESSED FIXTURE, WALL WAS

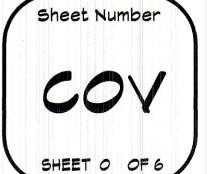
CARBON MONOXIDE DETECTOR

M	WATER METER			
6	GAS METER			
	SHUT OFF VALVE			
•	HOSE BIB, FROST PROOF			
н⊗О⊗с	MASHER VALVE & DRAIN BOX			
(\mathbf{v})	CENTRAL VACUUM			

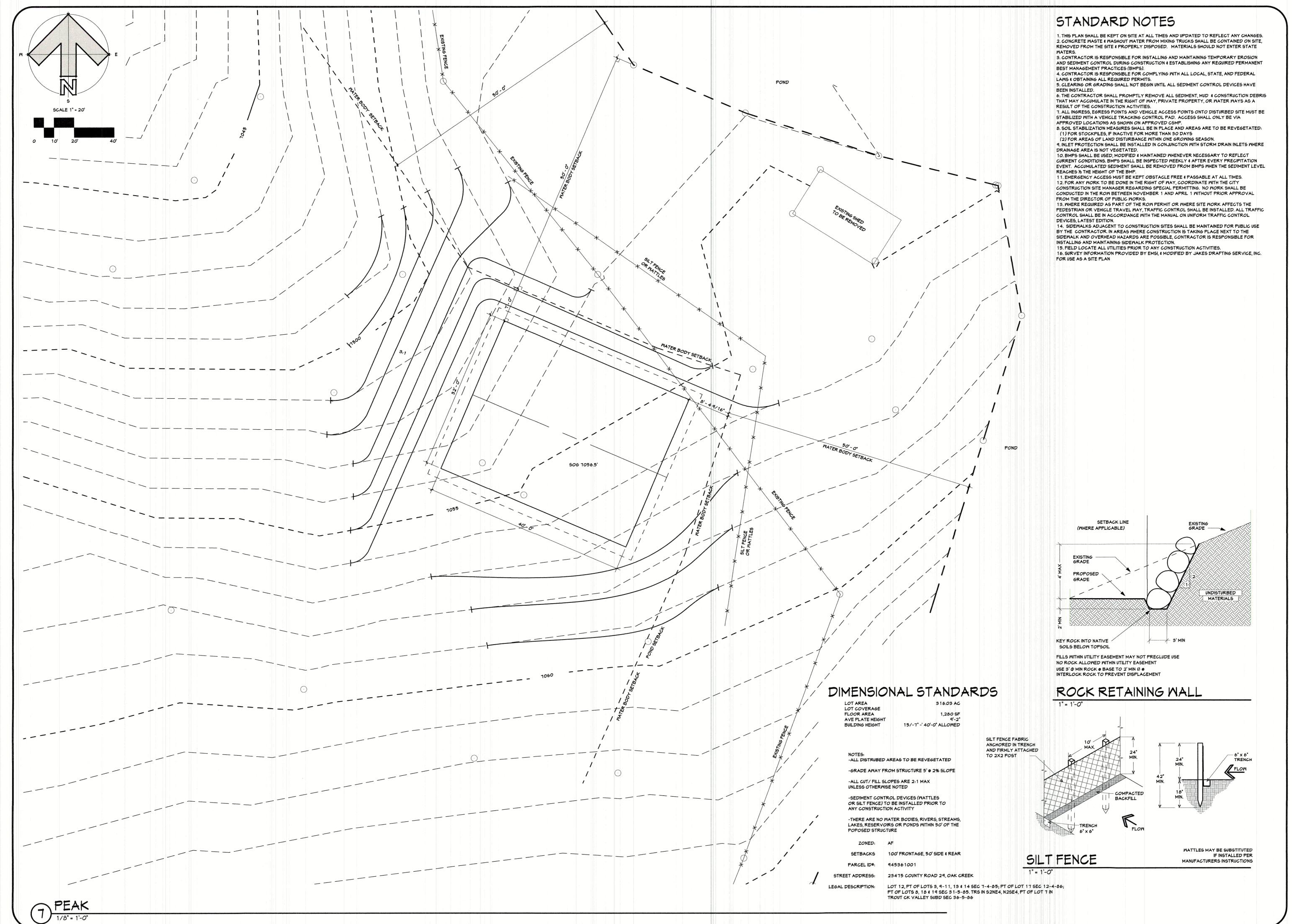


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F.O. BOX 114121 426 OAK STREET 4BOAT SPRINGS, COLORADO 910.819.1929 FAX 910.819.8109 AKES@SPRINGSIPS.COM

"STRUCTURE ONLY"

CY 8 - MOMS' RETREAT O TOBIANO TRAIL COUNTY COLORADO

Job # 18.007
File 18007C10
Date 13JUL18
Drawn JMH
Checked JMH
Rel'd 16JULY18
Rev'd

Sheet Number

C2

SHEET 2 OF 6

DESIGN VALUES ASSUMED FROM SOILS REPORT #08-8111 BY NORTHWEST COLORADO CONSULTANTS, INC., FOR THE ORIGINAL HOUSE. SOILS REPORT IS NOT AVAILABLE FOR THIS SITE. DESIGN VALUES HAVE BEEN ASSUMED AND ARE TO BE FIELD VERIFIED BY "OPEN HOLE"

REGULATORY REQUIREMENTS

ALL CONSTRUCTION SHALL CONFORM TO THE 2015 INTERNATIONAL RESIDENTIAL CODE (INCLUDING APPENDIX E) AND STANDARDS AS ADOPTED AND/OR AMENDED BY THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT AND THE FOLLOWING: 2017 NATIONAL ELECTRICAL CODE (NEC) (2018 IRC SPECIFICATIONS ARE NOTED)

2018 INTERNATIONAL RESIDENTIAL CODE APPENDIX Q - TINY HOMES 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) 2012 ICC - 400

LOCAL UTILITY REGULATIONS ALL COUNTY CODES AND ORDINANCES

ALL WORK EXECUTED IN ANY PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTY SHALL BE COMPLETED ACCORDING TO THE SPECIFICATIONS AND REQUIREMENTS OF THAT GOVERNING

O. SPECIAL NOTICE

THESE SPECIFICATIONS ARE GENERIC IN NATURE, SOME SECTIONS OR DIVISIONS MAY NOT BE APPLICABLE. SEE SPECIAL CONDITIONS FOR ADDITIONAL INFORMATION.

THIS STRUCTURE WILL BE "OFF GRID". ELECTRICAL LIGHTING AND POWER, IF PROVIDED, WILL BE PROVIDED BY SOLAR OR GENERATOR, SEE DTAILED PLANS BY OTHER

EVERY ATTEMPT HAS BEEN TAKEN TO AVOID OR ELIMINATE ERRORS DURING THE PREPARATION OF THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS WITH ACTUAL FIELD CONDITIONS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE INTERFACE BETWEEN ALL TRADES AND SUBCONTRACTORS, SO AS TO PRESENT A COMPLETE

ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES, AS AMENDED, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF

THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR JOB SITE SAFETY. JOB SITE SAFETY AND PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION SHALL BE CONTRACTORS

ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION, CONTRACTORS LIABILITY, PERSONAL INJURY AND COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. GENERAL CONTRACTOR TO CARRY "BUILDERS RISK" INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE COMPLETED STRUCTURE.

THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS, USE TAX, SALES TAX, AND INSPECTION FEES. SPECIAL INSPECTORS WHEN REQUIRED, SHALL BE EMPLOYED BY THE OWNER, ENGINEER RESPONSIBLE FOR THE DESIGN OR AN AGENT OF THE OWNER, BUT NOT BY THE CONTRACTOR OR ANY OTHER PERSON RESPONSIBLE FOR THE WORK.

ALL MATERIALS, EQUIPMENT AND WORKMANSHIP SHALL BE SUBJECT TO A ONE YEAR

BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST MITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS, NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE, WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED. (IRC R3 19.1)

GENERAL CONTRACTOR IS TO PROVIDE THE OWNER WITH A BOUND COPY OF ALL INSPECTION REPORTS, BUILDING DEPARTMENT CORRESPONDENCE; EQUIPMENT MANUALS, DATED WARRANTIES AND INSTALLATION & MAINTENANCE INSTRUCTIONS: CERTIFICATE OF OCCUPANCY AND LIEN WAIVERS OR RELEASES FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO FINAL PAYMENT. THE GENERAL CONTRACTOR SHALL FAMILIARIZE THE OWNER WITH THE OPERATION OF ALL EQUIPMENT AND APPLIANCES AND CLEARLY LABEL ALL SAFETY VALVES AND CONTROLS FOR THE MAJOR HOUSE SYSTEMS.

MATERIAL SIZES NOTED ON THE PLANS ARE THE MINIMUM ACCEPTABLE. THE USE OF LARGER SIZE, OR STRONGER MATERIALS IS ACCEPTABLE FOR EASE OF CONSTRUCTION OR AESTHETICS. VERIFY THE USE OF ALL SUBSTITUTED MATERIALS WITH THE ENGINEER OF RECORD AND JAKE'S DRAFTING SERVICE, INC.

CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL SITE WORK SHOWN OR SPECIFIED IN THESE DOCUMENTS.

FIELD LOCATE ALL UTILITY LINES PRIOR TO ANY CONSTRUCTION ACTIVITY.

STRIP SITE OF EXISTING TOPSOIL AND STOCKPILE FOR RE-USE IN LANDSCAPING. REFER TO SITE PLAN FOR EXTENT OF STRIPPING AND PROPOSED STOCKPILE LOCATION.

THE SLOPE OF CUT OR FILL SURFACES SHALL BE NO STEEPER THAN 2:1 (50% SLOPE). UON

ALL FOOTINGS ARE TO BE PLACED ON FIRM, UNDISTURBED NATURAL SOIL. TOPSOIL, LOOSE NATURAL SOILS, ALL EXISTING FILL MATERIALS MITHIN THE FOUNDATION EXCAYATIONS SHALL BE REMOVED AND THE FOOTINGS EXTENDED DOWN TO MORE COMPETENT EXISTING SOILS. NOTIFY THE SOIL ENGINEER WHEN EXCAVATION IS COMPLETED SO THAT CONDITIONS MAY BE INSPECTED PRIOR TO PLACEMENT OF ANY FILL OR CONCRETE.

WASHED ROCK OR EARTHEN FILL USED TO SUPPORT THE FOUNDATIONS OF ANY BUILDING SHALL BE PLACED IN ACCORDANCE WITH THE SOIL INVESTIGATION REPORT AND ACCEPTED ENGINEERING PRACTICE. A REPORT OF SATISFACTORY PLACEMENT OF FILL, PREPARED BY A QUALIFIED SOIL ENGINEER, SHALL BE REQUIRED. THIS REPORT SHOULD BE PROVIDED TO THE BUILDING INSPECTOR AT THE TIME OF FOOTING INSPECTION.

ALL FOOTING BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS, BY THE CONTRACTOR, AND WITH THE APPROVAL OF THE ENGINEER AND THE OWNER.

CONCRETE AND MASONRY FOUNDATION WALLS SHALL EXTEND ABOVE THE FINISHED GRADE ADJACENT TO THE FOUNDATION AT ALL POINTS A MINIMUM OF 6" (IRC R404.1.6)

PROVIDE FOUNDATION PERIMETER DRAINAGE SYSTEM PER IRC SECTION R405 AND DETAILS

EXCEPTION: A DRAINAGE SYSTEM IS NOT REQUIRED WHEN THE FOUNDATION IS INSTALLED ON WELL DRAINED GROUND OR SAND-GRAVEL MIXTURE SOILS ACCORDING TO THE UNIFIED SOIL

CLASSIFICATION SYSTEM, GROUP 1 SOILS AS DETAILED IN TABLE R405.1.

LOTS SHALL BE GRADED TO DRAIN SURFACE MATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (IRC R401.3).

UTILITY SERVICES ARE NOT REQUIRED FOR THIS STRUCTURE.

CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL CONCRETE SHOWN OR NOTED IN THESE DOCUMENTS.

AS NOTED IN THE SOILS REPORT, EXPANSIVE SOILS WERE ENCOUNTERED AT THIS SITE. REFER TO THE SOILS REPORT FOR SPECIAL PRECAUTIONS AND CONSTRUCTION DETAILS.

FORMS SHALL RESULT IN A FINAL STRUCTURE THAT CONFORMS TO SHAPES, LINES, AND DIMENSIONS OF THE MEMBERS AS REQUIRED BY THE DESIGN DRAWINGS, AND SPECIFICATIONS.

CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE NOTED ON PLANS.

ALL CONCRETE MORK AND REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE MITH ACI BUILDING CODE 3 18. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4" CHAMFER.

ALL REINFORGING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615 ND SHALL BE GRADE 40 MINIMUM OR AS SHOWN ON THE PLANS. ALL REINFORCEMENT SHALL BE COLD BENT UNLESS OTHERWISE PERMITTED BY THE BUILDING OFFICIAL.

PROVIDE CONCRETE ENCASED ELECTRODE (UFER GROUND) PER SECTION E3608.1.2. CO-ORDINATE EXACT REQUIREMENTS WITH ELECTRICAL CONTRACTOR.

WELDED WIRE FABRIC SHALL CONFORM TO ASTM 185 AND SHALL BE LAPPED (1) FULL MESH

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT, CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3" CONCRETE EXPOSED TO EARTH OR WEATHER = 1-1/2" CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND

SLABS WALLS JOISTS = 3/4" BEAMS, COLUMNS = 1-1/2" DEPTH OF FOOTING ABOVE BOTTOM REINFORCEMENT SHALL BE 6" MINIMUM.

NO SPLICES OF REINFORCEMENT SHALL BE MADE EXCEPT AS DETAILED OR AUTHORIZED BY THE ENGINEER. LAP SPLICES, WHERE PERMITTED, SHALL BE A MINIMUM OF (40) BAR DIAMETERS, UNLESS OTHERWISE NOTED. MAKE ALL BARS CONTINUOUS AROUND CORNERS. PLACE (2) #5 BARS WITH 2'-0" PROJECTION AROUND ALL OPENINGS IN CONCRETE WALLS, SLABS AND BEAMS.

CONTINUOUS TOP AND BOTTOM BARS IN WALLS SHALL BE SPLICED AS FOLLOWS: TOP BARS AT MIDSPAN, BOTTOM BARS AT SUPPORTS.

PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING AT POSITIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ACI 318 WHERE PROVIDED IN SLABS ON GROUND REINFORGEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO THE UPPER 1/3 OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT. (R506.2.4) ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE II A PORTLAND CEMENT, FIVE-SACK MIX, WITH 5% MINIMUM TO 7% MAXIMUM ENTRAINED AIR AND 3/4" MAXIMUM STONE AGGREGATE SIZE. CONCRETE SHALL DEVELOP 2,500 PSI COMPRESSIVE STRENGTH IN 28 DAYS FOR BASEMENT SLABS AND WALLS, 3,000 PSI FOR WALLS EXPOSED TO WEATHER AND

CONCRETE (OTHER THAN HIGH-EARLY-STRENGTH) SHALL BE MAINTAINED ABOVE 50 DEGREES FAHRENHEIT AND IN A MOIST CONDITION FOR AT LEAST THE FIRST SEVEN DAYS AFTER PLACEMENT. HIGH-EARLY STRENGTH CONCRETE SHALL BE MAINTAINED ABOVE 50 DEGREES FAHRENHEIT AND IN A MOIST CONDITION FOR AT LEAST THE FIRST THREE DAYS. FROZEN MATERIALS OR MATERIALS CONTAINING ICE SHALL NOT BE USED. DURING HOT MEATHER, PROPER ATTENTION SHALL BE GIVEN TO INGREDIENTS, PRODUCTION METHODS, HANDLING, PLACING, PROTECTION AND CURING TO PREVENT EXCESSIVE CONCRETE TEMPERATURES OR MATER EVAPORATION THAT MAY IMPAIR REQUIRED STRENGTH OR

3,500 PSI FOR PATIOS, STEPS, GARAGE SLAB AND WEATHER EXPOSED CONCRETE, MATERIALS

USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE

A 4" MAXIMUM SLUM, SHALL NOT BE PLACED ON FROZEN, MUDDY OR SATURATED SOIL AND

SHALL BE PROTECTED FROM FREEZING FOR 7 DAYS.

SERVICE ABILITY OF THE MEMBER OR STRUCTURE.

STANDARDS LISTED IN CHAPTER 3 OF ACI 318 OR ACI 332. CONCRETE SHALL BE PLACED WITH

NO ADMIXTURES SHALL BE USED WITHOUT APPROVAL BY THE FOUNDATION ENGINEER, WHEN CALCIUM CHLORIDE IS USED AS AN ADMIXTURE, NO GALVANIZED STEEL SHALL BE PLACED INTO CONCRETE AS REINFORCEMENT, INSERTS OR DUCT OR PIPE PENETRATIONS.

DURING COLD WEATHER, PROVIDE TEMPORARY HEAT AS REQUIRED TO PREVENT "FROST DAMAGE" TO ALL FOOTINGS, WALLS, SLABS AND PIERS.

CONDUITS AND PIPES OF ALUMINUM SHALL NOT BE EMBEDDED IN STRUCTURAL CONCRETE UNLESS SUFFICIENTLY COATED TO PREVENT ALUMINUM-CONCRETE REACTION OR ELECTROLYTIC ACTION BETWEEN ALUMINUM AND STEEL.

CONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING PLACEMENT AND BE THOROUGHLY MORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FORMS.

SLABS, FOOTINGS AND WALLS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE. ANY STOP IN CONCRETE WORK MUST BE MADE AT A THIRD POINT OF SPAN WITH VERTICAL BULKHEADS. DOWELS AND SHEAR KEYS, UNLESS OTHERWISE SHOWN. ALL CONSTRUCTION JOINTS SHALL BE AS DETAILED OR REVIEWED BY THE ENGINEER.

FLOOR SLABS SHALL BE POURED IN WHOLE OR IN CHECKER PATTERN, AVOIDING RE-ENTRANT CORNERS, WITH CONSTRUCTION JOINTS LOCATED UNDER PARTITIONS WHERE PRACTICAL AND WITH NO DIMENSION EXCEEDING THE RECOMMENDATION IN THE SOIL REPORT OF 12 FEET, AND AS SHOWN ON THE PLANS.

CONCRETE FINISH SHALL BE STEEL TROWELED FOR INTERIOR FLOOR SLABS. VERIFY WITH OWNER LOCATION AREA AND EXTENTS OF OPTIONAL CONCRETE FINISHES.

4. MASONRY - NO WORK THIS SECTION

ALL STRUCTURAL STEEL AND MISCELLANEOUS EMBEDDED ITEMS SHALL CONFORM TO ASTM ALL BOLTS (INCLUDING ANCHOR BOLTS) SHALL CONFORM TO ASTM A307. PIPE COLUMNS SHALL CONFORM TO ASTM A53, GRADE B.

STRUCTURAL STEEL SHALL BE DETAILED AND FABRICATED IN ACCORDANCE WITH LATEST PROVISIONS OF AISC "MANUAL OF STEEL CONSTRUCTION".

TUBE SHAPES SHALL CONFORM TO ASTM 500, GRADE B, 46 KSI YIELD.

SURFACES (INSIDE & OUTSIDE) OF STEEL COLUMNS SHALL BE GIVEN A SHOP COAT OF RUST INHIBITIVE PAINT, EXCEPT FOR CORROSION RESISTANT STEEL (R407.2) STEEL LINTELS SHALL BE SHOP COATED WITH A RUST INHIBITIVE PAINT OR CORROSION RESISTANT COATING

MELDING OF STRUCTURAL STEEL SHALL BE IN ACCORDANCE WITH "STRUCTURAL WELDING CODE-STEEL", ANSI/AMS D1.1-90.

MINIMUM WELDS TO BE PER AISC AND/OR AWS, BUT NOT LESS THAN 3/16" CONTINUOUS FILLET UNLESS OTHERWISE NOTED. QUALITY CONTROL SHALL BE PER AWS, USE ETOXX ELECTRODES. ALL WELDING TO BE PERFORMED BY CERTIFIED WELDERS, IN AN APPROVED FABRICATOR'S

WHEN REQUIRED A QUALIFIED SPECIAL INSPECTOR SHALL OBSERVE ALL FIELD WELDING OF STRUCTURAL MEMBERS OR CONNECTIONS FOR CONFORMANCE WITH THE APPROVED STRUCTURAL DESIGN. THE SPECIAL INSPECTOR SHALL SUBMIT A SIGNED REPORT, STATING CONFORMANCE MITH THE APPROVED DESIGN DRAWINGS AND SPECIFICATIONS. THE REPORT SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO REQUESTING ROUGH FRAMING INSPECTIONS, OR THE REPORT MAY BE MADE AVAILABLE TO A FIELD INSPECTOR AT THE TIME THE ROUGH FRAMING INSPECTION. SPECIAL INSPECTIONS IF REQUIRED SHALL BE AT THE OWNER'S EXPENSE.

MISCELLANEOUS CLIPS, ANCHORS AND CONNECTORS SHALL BE SIMPSON "STRONG TIE" OR ICBO APPROVED EQUAL, UNLESS OTHERWISE NOTED, REFER TO SIMPSON CATALOG FOR APPROPRIATE NAILING WHEN NOT SPECIFIED ON PLANS. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

RAMSET PLATES TO BE ATTACHED TO STEEL WITH 1/8"⊅ DRIVEPINS @ 16" OC, OR 1/4"⊅ LAG BOLTS @ 32" OC, STAGGERED.

EXPANSION BOLTS SHALL BE "WEG-IT", "REDHEAD" OR APPROVED EQUAL MINIMUM EMBEDMENT SHALL BE 1-1/2" FOR 1/2" DIAMETER BOLTS AND 2" FOR 5/8" DIAMETER BOLTS. EPOXY GROUTED REBAR OR ANCHOR BOLT CONNECTIONS SHALL BE MADE WITH SIMPSON "EPOXY-TIE" AND PER MANUFACTURER'S INSTRUCTIONS.

ANCHOR BOLTS SHALL BE 1/2" DIAMETER WITH 7" MINIMUM EMBEDMENT AND SUFFICIENT EXPOSED LENGTH FOR CONNECTION OF PLATE OR SILLS PLUS FULL NUT PENETRATION WITH WASHER. ANCHOR BOLTS SHALL BE PLACED AT 4' OC (UON) AND BETWEEN 4"-12" OF PLATE ENDS AND CORNERS. PROVIDE (2) ANCHOR BOLTS (MIN) PER PLATE OR SILL. BOLT SHALL BE LOCATED IN THE MIDDLE 1/3 OF THE WIDTH OF THE PLATE. (IRC R403.1.6)

COLD FORMED STEEL FRAMING - SEE SECTION R505

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO FRAME UP. SHEATH AND TRIM OUT BUILDING AS SHOWN OR SPECIFIED IN THESE DOCUMENTS.

545, #2 OR BETTER. ALL SOLID TIMBER BEAMS AND POSTS SHALL BE S-DRY DOUGLAS FIR OR LARCH (DF-L) S45, # 1 OR BETTER.

ALL 2" FRAMING LUMBER SHALL BE STRESS RATED, S-DRY DOUGLAS FIR OR LARCH (DF-L)

ALL TIMBERS SHALL BE SIZED PER PLANS AND GRADED PER TIMBER PRODUCTS INSTITUTE (TPI) LOG PROGRAM TECHNICAL GUIDE DATED 1 FEBRUARY, 2008 AND IN ACCORDANCE WITH ICC-400 OR OTHER CERTIFIED AGENCY, IN LIEU OF A GRADE MARK ON THE MATERIAL A CERTIFICATE OF INSPECTION AS TO GRADE AND SPECIES MAY BE ACCEPTED. TIMBERS MEMBERS SHALL COMPLY WITH THE PROVISIONS OF ICC-400 (R602.1.4)

GLUE LAMINATED BEAMS (GL) SHALL BE AITC STRESS RATED TO COMBINATION SYMBOL 24F-V4 FOR SIMPLE SPANS AND 24F-V8 FOR MULTI SPANS AND CANTILEVERS, ARCHITECTURAL APPEARANCE GRADE. THE PORTIONS OF GLU-LAMINATED TIMBERS EXPOSED TO WEATHER AND NOT PROPERLY PROTECTED BY A ROOF, EVE OR SIMILAR COVERING SHALL BE PRESSURE TREATED WITH PRESERVATIVE. (IRC R3 17.1.5)

PREFABRICATED WOOD MEMBERS SHALL BE OF THE TYPE NOTED ON THE PLANS AND SHALL BE MICRO-LAM (LVL), TIMBERSTRAND (LSL), PARALLAM (PSL), OR TJI AS MANUFACTURED BY TRUS-JOIST MACMILLAN OR APPROVED EQUAL. I-JOISTS AND LAMINATED LUMBER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.

MOOD TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH APPROVED ENGINEERING PRACTICE. THE DESIGN & MANUFACTURE OF METAL PLATE CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI/TPI1. THE DESIGN DRAWINGS SHALL BE PREPARED BY A COLORADO REGISTERED PROFESSIONAL ENGINEER. TRUSS DESIGN DRAWINGS SHALL BE PREPARED IN COMPLIANCE WITH IRC SECTION R502.11.1 & R802.10.1 AND SHALL BE PROVIDED TO THE BUILDING OFFICIAL AND APPROVED PRIOR TO INSTALLATION, TRUSS DESIGN DRAWINGS SHALL BE PROVIDED WITH THE SHIPMENT OF TRUSSES DELIVERED TO THE JOB SITE. SEE IRC SECTION R502.11.4 FOR MINIMUM DESIGN REQUIREMENTS AND SPECIFIED INFORMATION. LOAD DURATION FACTOR SHALL BE 1.00. IT IS RECOMMENDED THAT JDS, INC. OR THE ENGINEER OF RECORD REVIEW TRUSS SCHEMATICS PRIOR TO ACCEPTANCE OF THE FABRICATOR'S ORDER.

6. CARPENTRY - continued

CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE-LAMINATED MEMBERS, CROSS LAMINATED TIMBER MEMBERS OR I-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED DESIGN PROFESSIONAL (R502.8.2)

PLYMOOD SHEATHING SHALL BE STRUCTURAL 1, C-D, EXT-APA FOR ALL USES, MEETING THE MINIMUM APA RATING OR THICKNESS NOTED ON THE PLANS, ROOF AND FLOOR SHEATHING SHALL BE PLACED WITH THE 8'-0" DIMENSION PERPENDICULAR TO THE FRAMING, STAGGER END JOINTS. PLYMOOD FLOOR SHALL BE TONGUE AND GROOVED, AND GLUED AND NAILED AT SUPPORTS, WALL SHEATHING MAY BE PLACED VERTICAL OR HORIZONTALLY WITH ALL HORIZONTAL JOINTS BLOCKED AND EDGE NAILED, NAIL ROOF SHEATHING WITH 8D (PENNY) NAILS AT 6" OC AT THE EDGES AND 12" OC IN THE FIELD. NAIL FLOOR SHEATHING WITH 10D RING SHANKS AT 6" OC AT THE EDGES AND 12" OC IN THE FIELD. HIGH FOOT TRAFFIC AREAS SHALL BE SCREMED AT 6" OC. NAIL MALL SHEATHING WITH 8D (PENNY) NAILS AT 6" OC AT THE EDGES AND 12" OC IN THE FIELD.

PROVIDE 1X4 CROSS BRIDGING OR 2X_BLOCKING AT NOT OVER 8' ON CENTER FOR ALL SOLID WOOD JOISTS, UNLESS BOTH EDGES OF THE MEMBER ARE HELD IN LINE. PROVIDE SOLID BLOCKING BETWEEN JOISTS AT ALL SUPPORTS BEAMS OR BEARING WALLS PROVIDE SOLID BLOCKING AT 24" OC UNDER ALL PARTITIONS RUNNING PARALLEL TO JOISTS AND AT CENTERLINE OF WALLS RUNNING PERPENDICULAR TO JOISTS. SOLID BLOCKING IN ROOF SYSTEMS SHALL NOT INTERFERE WITH COLD ROOF VENTILATION.

ALL SOLID MOOD OR STEEL COLUMN SUPPORTS SHALL BE CONTINUOUS THROUGH FRAMING AND SHALL BEAR DIRECTLY ON ANOTHER COLUMN OR BEAM OR OTHERWISE TRANSFERRED TO THE FOUNDATION, MULTIPLE STUD COLUMNS MAY BEAR DIRECTLY ON A MALL PLATE IF PROVIDED WITH FULL WIDTH BLOCKING THROUGH FRAMING SYSTEM.

IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF BOTH VERTICAL AND HORIZONTAL CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)

FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAMED CONSTRUCTION IN THE FOLLOWING

1, IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS: 1.1. VERTICALLY AT THE CEILING AND FLOOR LEVELS. 1.2. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET (3048 MM). 2. AT INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS

OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7. 4. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.

5. FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R 1003.19. EXCEPT AS PROVIDED IN SECTION R302.11, ITEM 4, FIREBLOCKING SHALL CONSIST OF THE

FOLLOWING MATERIALS. (R302.11.1) 1 TWO-INCH (51 MM) NOMINAL LUMBER.

2. TWO THICKNESSES OF 1-INCH (25.4 MM) NOMINAL LUMBER WITH BROKEN LAP JOINTS. 3. ONE THICKNESS OF 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS WITH JOINTS BACKED BY 23/32-INCH (18.3 MM) WOOD STRUCTURAL PANELS. 4. ONE THICKNESS OF 3/4-INCH (19.1 MM) PARTICLEBOARD WITH JOINTS BACKED BY 3/4-INCH

(19.1 MM) PARTICLEBOARD 5. ONE-HALF-INCH (12.7 MM) GYPSUM BOARD.

AMPA U1 OR FOUNDATION REDWOOD. (IRC R3 17.1)

6. ONE-QUARTER-INCH (6.4 MM) CEMENT-BASED MILLBOARD. 7. BATTS OR BLANKETS OF MINERAL WOOL OR GLASS FIBER OR OTHER APPROVED MATERIALS INSTALLED IN SUCH A MANNER AS TO BE SECURELY RETAINED IN PLACE. 8. CELLULOSE INSULATION INSTALLED AS TESTED IN ACCORDANCE WITH ASTM E 119 OR UL

263, FOR THE SPECIFIC APPLICATION. SILLS AND SLEEPERS ON A CONCRETE OR MASONRY SLAB WHICH IS IN DIRECT CONTACT WITH THE GROUND UNLESS SEPARATED FROM SUCH SLAB BY AN IMPERVIOUS MOISTURE BARRIER (IE 60 MIL BITUTHANE) SHALL BE PRESSURE-PRESERVATIVE TREATED WOOD IN ACCORDANCE WITH

THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1-1/2 INCHES BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED BY THE USE OR APPROVED JOIST HANGERS, JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM OF 3 INCHES AND BE NAILED TOGETHER M/ A MINIMUM OF (3) 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A BEAM OR GIRDER, SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OF THE APPROPRIATE SIZE AND CAPACITY. (IRC R502.6.)

NOTCHES IN SOLID LUMBER JOISTS, RAFTERS OR BEAMS SHALL NOT EXCEED 1/6 OF THE MEMBER DEPTH, SHALL NOT BE LONGER THAN 1/3 OF THE MEMBER DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/4 OF THE MEMBER DEPTH THE TENSION SIDE OF MEMBERS 4" OR GREATER SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE MEMBER, HOLES SHALL NOT BE OSER THAN 2 INCHES TO THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE OR NOTCH LOCATED IN THE MEMBER. (IRC R502.8) SEE FIGURE R502.8.

CUTS, NOTCHES AND HOLES BORED IN TRUSSES, STRUCTURAL COMPOSITE LUMBER, STRUCTURAL GLUE LAMINATED MEMBERS, CROSS LAMINATED TIMBER MEMBERS OR 1-JOISTS ARE PROHIBITED EXCEPT WHERE PERMITTED BY THE MANUFACTURER'S RECOMMENDATIONS OR WHERE THE EFFECTS OF SUCH ALTERATIONS ARE SPECIFICALLY CONSIDERED IN THE DESIGN OF THE MEMBER BY A REGISTERED PROFESSIONAL ENGINEER. (IRC R502.8.2) (IRC R802.7.2)

BEAM OR GIRDER, SHALL BE SUPPORTED BY FRAMING ANCHORS OF THE APPROPRIATE SIZE AND CAPACITY. GIRDER AND BEAM END JOINTS SHALL OCCUR OVER SUPPORTS. WHEN A GIRDER OR BEAM IS SPLICED OVER A SUPPORT, AN ADEQUATE TIE SHALL BE PROVIDED.

GIRDERS AND BEAMS SHALL HAVE 3" MINIMUM BEARING OR WHEN FRAMED INTO THE SIDE OF A

EACH END OF A HEADER SHALL HAVE A MINIMUM BEARING LENGTH OF 1-1/2" FOR THE FULL WIDTH OF THE HEADER. LVL HEADERS SHALL HAVE A MINIMUM BEARING LENGTH OF 3" FOR THE FULL WIDTH OF THE HEADER, PROVIDE DOUBLED "KING STUDS" AT ALL OPENINGS OVER 10' WIDE. HEADERS SHALL BE SUPPORTED ON EACH END WITH ONE OR MORE JACK STUDS OR WITH

APPROVED FRAMING ANCHORS IN ACCORDANCE WITH TABLE R602.7(1) OR R602.7(2). THE FULL-HEIGHT STUD ADJACENT TO EACH END OF THE HEADER SHALL BE END NAILED TO EACH END OF THE HEADER WITH FOUR-16D NAILS (3.5 INCHES X 0.135 INCHES). THE MINIMUM NUMBER OF FULL-HEIGHT STUDS AT EACH END OF A HEADER SHALL BE IN ACCORDANCE WITH TABLE R602.7.5. (R602.7.5)

MINIMUM NAILING SHALL BE AS SPECIFIED IN TABLE R602.3(1) SEE ATTACHED

7. THERMAL AND MOISTURE PROTECTION

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL INSULATION, VAPOR BARRIERS & RETARDERS, FLASHINGS, MATERPROOFING AND ROOF COVERING AS DETAILED OR SPECIFIED IN THESE DOCUMENTS.

THIS STRUCTURE WILL NOT CONTAIN CONDITIONED SPACE BUT IT IS RECOMMENDED TO PROVIDE (2) LAYERS "BARRIER X5" A COMBINATION UNDERSLAB INSULATION (R-5) & VAPOR RETARDER INSTALLED PER MANUFACTURER'S INSTRUCTIONS WITH INSLAB RADIANT FLOOR TUBING

OPTIONALLY, PROVIDE "TU-TUF #4" VAPOR RETARDER INSTALLED PER MANUFACTURER'S

INSULATION MATERIALS, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE MEMBRANES SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY NOT TO EXCEED 450. (IRC R302.10)

1. WHERE SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME SPREAD INDEX AND SMOKE-DEVELOPED INDEX LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING,

FLOOR OR WALL FINISH. 2. CELLULOSE FIBER LOOSE-FILL INSULATION, THAT IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF SECTION R302.10.3, SHALL NOT BE REQUIRED TO MEET THE SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 AND SHALL BE REQUIRED TO MEET A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450 WHERE TESTED IN ACCORDANCE WITH CAN/ULC \$102.2. 3. FOAM PLASTIC INSULATION SHALL COMPLY WITH SECTION R3 16.

EXTERIOR MALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AS DESCRIBED IN SECTION

THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF MATER MITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS REQUIRED BY SECTION R 703.2 AND A MEANS OF DRAINING TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH SECTION R702.7 OF THIS CODE. (R703.1.1)

TO PREVENT ENTRY OF MATER INTO THE MALL CAVITY OR PENETRATION OF MATER TO THE

BUILDING STRUCTURAL FRAMING COMPONENTS, SELF-ADHERED MEMBRANES USED AS FLASHING

WALL FINISH. APPROVED CORROSION-RESISTANT FLASHINGS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: (R703.4) 1. EXTERIOR WINDOW AND DOOR OPENINGS. FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH OR TO THE WATER RESISTIVE BARRIER COMPLYING WITH SECTION 703 2 FOR SUBSEQUENT DRAINAGE MECHANICALLY ATTACHED FLEXIBLE FLASHINGS SHALL COMPLY WITH AAMA 712 FLASHING AT EXTERIOR WINDOW AND DOOR OPENINGS SHALL BE INSTALLED IN ACCORDANCE WITH ONE OR MORE OF THE

APPROVED CORROSION-RESISTANT FLASHING SHALL BE APPLIED SHINGLE-FASHION IN A MANNER

SHALL COMPLY WITH AAMA 711. FLUID-APPLIED MEMBRANES USED AS FLASHING IN EXTERIOR WALLS

SHALL COMPLY WITH AAMA 714. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR

7. THERMAL & MOISTURE PROTECTION - CONTINUED

A DRIP EDGE SHALL BE PROVIDED AT EAVES AND RAKE EDGES OF SHINGLE ROOFS. ADJACENT SEGMENTS OF DRIP EDGE SHALL BE OVERLAPPED NOT LESS THAN 2 INCHES (51 MM). DRIP EDGES SHALL EXTEND NOT LESS THAN 1/4 INCH (6.4 MM) BELOW THE ROOF SHEATHING AND EXTEND UP BACK ONTO THE ROOF DECK NOT LESS THAN 2 INCHES (5 1 MM), DRIP EDGES SHALL BE MECHANICALLY FASTENED TO THE ROOF DECK AT NOT MORE THAN 12 INCHES (305 MM) O.C. WITH FASTENERS AS SPECIFIED IN SECTION R905.2.5, UNDERLAYMENT SHALL BE INSTALLED OVER THE DRIP EDGE ALONG EAVES AND UNDER THE DRIP EDGE ALONG RAKE EDGES (R905.2.8.5)

IN AREAS WHERE THERE HAS BEEN A HISTORY OF ICE FORMING ALONG THE EAVES CAUSING A BACKUP OF WATER AS DESIGNATED IN TABLE R301.2(1), AN ICE BARRIER SHALL BE INSTALLED FOR ASPHALT SHINGLES METAL ROOF SHINGLES MINERAL-SURFACED ROLL ROOFING SLATE AND SLATE-TYPE SHINGLES, WOOD SHINGLES AND WOOD SHAKES. THE ICE BARRIER SHALL CONSIST OF NOT FEMER THAN TWO LAYERS OF UNDERLAYMENT CEMENTED TOGETHER, OR A SELF-ADHERING POLYMER-MODIFIED BITUMEN SHEET SHALL BE USED IN PLACE OF NORMAL UNDERLAYMENT AND EXTEND FROM THE LOWEST EDGES OF ALL ROOF SURFACES TO A POIN NOT LESS THAN 24 INCHES (610 MM) INSIDE THE EXTERIOR WALL LINE OF THE BUILDING. ON ROOFS WITH SLOPE EQUAL TO OR GREATER THAN 8 UNITS VERTICAL IN 12 UNITS HORIZONTAL, THE ICE BARRIER SHALL ALSO BE APPLIED NOT LESS THAN 36 INCHES (914 MM) MEASURED ALONG THE ROOF SLOPE FROM THE EAVE EDGE OF THE BUILDING. (R 905.1.2)

EXCEPTION: DETACHED ACCESSORY STRUCTURES NOT CONTAINING CONDITIONED FLOOR AREA

PROVIDE GRACE "ICE AND MATER SHIELD" UNDERLAYMENT AS ICE BARRIER, EXCEPT WHEN USING DIRECT APPLIED METAL ROOFING. FOR DIRECT APPLIED METAL ROOFING USE GRACE "ULTRA" UNDERLAYMENT. (IRC 905.2.7.1) IT IS RECOMMENDED THAT THE ENTIRE ROOF BE

NATURAL VENTILATION OF ALL HABITABLE ROOMS SHALL BE PROVIDED. THE MINIMUM OPENABLE AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED AGAINST THE ENTRANCE OF RAIN OR SNOW, VENTILATION OPENINGS SHALL HAVE A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM. VENTILATION OPENINGS HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH (6.4 MM) SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH (6.4 MM) MAXIMUM, OPENINGS IN ROOF FRAMING MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF SECTION R802.7. REQUIRED VENTILATION OPENINGS SHALL OPEN DIRECTLY TO THE OUTSIDE AIR. (IRC R806) WHERE EVE OR CORNICE VENTS ARE INSTALLED, INSULATION OR BLOCKING SHALL NOT BLOCK THE AIR FLOW, A MINIMUM OF 1" SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING. (R806.1)

THE MINIMUM NET FREE VENTILATION AREA SHALL BE 1/150 OF THE SPACE BEING VENTILATED EXCEPT THAT A REDUCTION TO 1/300 IS PERMITTED WHEN A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING. (R806.2)

8. DOORS AND WINDOWS

CONTRACTOR SHALL SUPPLY AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED, SCHEDULED AND/OR SPECIFIED IN THESE DOCUMENTS.

WINDOWS AND DOORS TO BE SEMCO OR APPROVED EQUAL. GLAZING TO BE 3/4" INSULATING GLASS WITH INSUL LOW-E 366 COATING. UNIT U VALUE TO BE 0.32 MAXIMUM, ALL OPERABLE UNITS TO BE PROVIDED WITH SCREENS, CLAD COLOR PER OWNER, WINDOWS AND DOORS SHALL BE INSTALLED AND FLASHED IN ACCORDANCE WITH THE FENESTRATION MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS, WHICH SHALL BE PROVIDED BY THE MANUFACTURER FOR EACH MINDOW OR DOOR AND SECTION R703.4. (R609.1)

ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE FLOOR AREA OF SUCH ROOMS. (IRC R303.1)

EXCEPTION: THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES AT A HEIGHT OF 30" ABOVE THE FLOOR.

WHERE A DOOR IS PROVIDED AS THE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL BE PERMITTED TO BE A SIDE-HINGED DOOR OR A SLIDER. WHERE THE OPENING IS BELOW THE ADJACENT GROUND ELEVATION, IT SHALL BE PROVIDED WITH A BULKHEAD ENCLOSURE. (R3 10.3) BUILDINGS WITH COMBUSTIBLE CEILING OR ROOF CONSTRUCTION SHALL HAVE AN ATTIC ACCESS

OPENING TO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES (762 MM) OR GREATER OVER

AN AREA OF NOT LESS THAN 30 SQUARE FEET (2.8 M2). THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING THE ROUGH-FRAMED OPENING SHALL BE NOT LESS THAN 22 INCHES BY 30 INCHES (559 MM BY 762 MM) AND SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION. WHERE

LOCATED IN A WALL, THE OPENING SHALL BE NOT LESS THAN 22 INCHES WIDE BY 30 INCHES HIGH (559 MM MIDE BY 762 MM HIGH). WHERE THE ACCESS IS LOCATED IN A CEILING, MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SPACE SHALL BE 30 INCHES (762 MM) AT SOME POINT ABOVE THE ACCESS MEASURED VERTICALLY FROM THE BOTTOM OF CEILING FRAMING MEMBERS, SEE SECTION M 1305.1.3 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED IN ATTICS (IRC R807). ACCESS PANELS SHALL BE 30" H X 22" M MINIMUM OR AS REQUIRED TO REMOVE EQUIPMENT WHEN USED TO ACCESS MECHANICAL EQUIPMENT. (IRC M 1305.1.3)

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO FINISH ROOMS AND BUILDING

PER OWNER, ALL FINISHES SHALL BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.

EXTERIOR AS DETAILED, SCHEDULED AND / OR SPECIFIED IN THESE DOCUMENTS. ROOFING MATERIAL TO BE 29 GAUGE STEEL, PRO-PANEL II, COLOR PER OWNER. SIDING TO BE 29 GAUGE STEEL, PRO-PANEL II, COLOR PER OWNER. TRIM TO BE 1X6 WESTERN RED CEDAR, STAIN COLOR

VERIFY WITH THE OWNER, EXACT FINISHES NOT NOTED OR SPECIFIED HEREIN.

10. SPECIALTIES - NO WORK THIS SECTION

FIREWOOD ON OR BELOW DECKS AND PORCHES.

12. DEFENSIBLE SPACE

11. EQUIPMENT - NO WORK THIS SECTION CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL EQUIPMENT SHOWN, NOTED OR SPECIFIED IN THESE DOCUMENTS.

BASED ON "MILDFIRE PROTECTION IN THE MILDLAND URBAN INTERFACE" COLORADO STATE FOREST SERVICE #143-691

REMOVE TREE BRANCHES HANGING WITHIN 15 FEET OF CHIMNEYS - CLEAR MEEDS AND OTHER DEBRIS TO A MINIMUM DISTANCE OF 10 FROM THE BASE OF THE STRUCTURE. USE ONLY LIMITED FOUNDATION PLANTINGS WITHIN THIS 10 FOOT STRIP. - STACK FIREWOOD UPHILL, OR ON CONTOUR WITH, AND AT LEAST 15 FEET AWAY FROM BUILDINGS. REMOVE FINE FUELS FROM THE VICINITY OF THE FIREWOOD, DO NOT STACK

- PLACE (1) 10 POUND ABC CLASS FIRE EXTINGUISHER IN EACH BUILDING. IT IS RECOMMENDED TO HAVE A 50 GARDEN HOSE CONNECTED TO THE WATER HEATER DRAIN IN THE EVENT OF A FIRE EMERGENCY INSIDE THE HOME - THIN OUT CONTINUOUS BRUSH AND TREES MITHIN 30 FEET (LEVEL) OF ALL STRUCTURES, 40 FEET ON SIDE AND UPHILL SLOPES AND 50 FEET ON DOWN HILL SLOPES (20%) OF ALL STRUCTURES. ADEQUATE THINNING IS REACHED IN THIS "DEFENSIBLE SPACE" WHEN TREE CROWNS ARE AT LEAST 10 FEET DISTANT ON ALL SIDES. ISOLATED CLUMPS MAY BE PERMITTED IF THE

10 FOOT MINIMUM DISTANCE IS INCREASED. REMOVE ALL DEAD VEGETATION, BRUSH AND TREES FROM THIS AREA. - PRUNE DEAD LIMBS TO A HEIGHT OF 10 FEET FROM THOSE TREES REMAINING WITHIN(2) TREE HEIGHTS OF ALL STRUCTURES. IN THIS SAME AREA, PRUNE LIVE BRANCHES TO 10 FEET FROM AT LEAST 1/2 OF THOSE TREES REMAINING.

- TREES SHOULD BE THINNED HEAVILY IN THE "DEFENSIBLE SPACE", MODERATELY IN THE

TRANSITION ZONE AND CONTINUE NORMAL FOREST THINNING IN THE SURROUNDING FOREST. IF

THINNING IN THE SURROUNDING FOREST IS NOT PLANNED, OR POSSIBLE, THE "DEFENSIBLE SPACE" AREA SHOULD BE DOUBLED. - INCORPORATE "DEFENSIBLE SPACE" THINNING ALONG DRIVEWAYS. - CONTACT THE COLORADO STATE FOREST SERVICE, 879.0475, FOR REQUIRED "DEFENSIBLE

- POTABLE WATER SYSTEM HOLDING TANKS, WHEN PROVIDED, SHOULD BE PROVIDED WITH A

6" STANDPIPE WITH 90 DEGREE ELBOW WITH 6" NST MALE FITTING AND CAP. PERMANENTLY MARK STANDPIPE - FIRE PROTECTION CISTERNS MAY BE REQUIRED, VERIFY WITH LOCAL FIRE PROTECTION

13. ENERGY EFFICIENCY - THIS BUILDING IS EXEMPT AS IT CONTAINS NO CONDITIONED SPACE.

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO INSTALL ALL PERIMETER STORM DRAINAGE, PLUMBING, RELATED FIXTURES, AND GAS PIPING. ALL WORK SHALL COMPLY WITH IRC PART VI - FUEL GAS, CHAPTER 24 AND PART VII - PLUMBING, CHAPTERS 25 THRU 33, STATE AND LOCAL CODES AND ORDINANCES.

THIS STRUCTURE IS PROPOSED FOR SEASONAL USE AND WILL HAVE NO WATER OR SEWER SERVICE. AN INCINERATING TOILET IS PROPOSED. A LAVATORY USING HAND SANITIZER WILL BE PROVIDE "ECO-JOHN" OR "SCANLET" LPG FUELLED, INCINERATING TOILET INSTALLED PER

MANUFACTURER'S INSTRUCTIONS AND LOCAL CODES. LAVATORY FOR WASHING HANDS SHALL NOT BE DRAINED, PROVIDE HAND SANITIZER 15. MECHANICAL

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL HEATING EQUIPMENT; DUCTING AND ALL RELATED CONTROLS. ALL WORK SHALL COMPLY WITH IRC PART Y - MECHANICAL CHAPTERS 12 THRU 23 STATE AND LOCAL CODES AND ORDINANCES. ALL EQUIPMENT SHALL BE INSTALLED PER THE MANUFACTURER'S PRINTED INSTRUCTIONS AND LOCAL

THE MECHANICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL DESIGN OF THE SYSTEMS AS WELL AS THE EXECUTION OF THE WORK ACCORDING TO ACCEPTED STANDARDS OF ENGINEERING, WORKMANSHIP AND REGULATORY REQUIREMENTS. MECHANICAL CONTRACTORS TO PROVIDE ADDITIONAL DRAWINGS, SPECIFICATIONS AND ENGINEER'S CERTIFICATION AS REQUIRED BY FEDERAL, STATE, OR LOCAL LAWS AND BUILDING DEPARTMENT JURISDICTION.

EXHAUST SYSTEMS SHALL BE INSTALLED PER IRC CHAPTER 15.

CODES AND THE REQUIREMENTS OF IRC CHAPTERS 13 & 14.

DUCT SYSTEMS SERVING HEAT, COOLING AND VENTILATION EQUIPMENT SHALL BE FABRICATED \$ INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF IRC CHAPTER 16 & ACCA MANUAL D & MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS.

FUEL BURNING APPLIANCES SHALL BE VENTED TO THE OUTDOORS IN ACCORDANCE WITH THEIR LISTING AND LABEL AND MANUFACTURER'S INSTALLATION INSTRUCTIONS AND PER IRC CHAPTER

GAS FIRED APPLIANCES SHALL BE VENTED IN ACCORDANCE MITH IRC CHAPTER 24.

THIS STRUCTURE IS RECOMMENED TO PROVIDE A RADIANT FLOOR HYDRONIC SYSTEM FOR POTENTIAL FUTURE USE. SYSTEM TO BE DESIGNED BY OTHERS AND INSTALLED UNDER SEPARATE PERMIT IN THE FUTURE.

HYDRONIC TUBING WILL BE ATTACHED TO REINFORCEMENT AT ALL SLAB ON GRADE LOCATIONS, TUBING SHALL BE CROSS LINKED POLYETHYLENE WITH OXYGEN INHIBITOR SUCH AS PEX OR WIRSBRO.

RADIANT FLOOR HEATING SYSTEMS SHALL HAVE A THERMAL BARRIER IN ACCORDANCE WITH SECTIONS

SLAB ON GRADE APPLICATIONS SHALL HAVE A MINIMUM OF R-5 INSULATION BELOW THE PIPING (IRC

M2103.2.1) AND ASPHALT EXPANSION JOINT MATERIAL OR SIMILAR INSULATING MATERIAL WHERE THE HEATED SLAB MEETS A FOUNDATION WALL OR OTHER CONDUCTIVE SLAB. (IRC M2 103.3) PROVIDE AGA APPROVED, GRAVITY VENTED, ZERO CLEARANCE FIREPLACE AT LOCATION NOTED ON PLANS.

APPLIANCE TO BE RATED AS A FURNACE FOR THERMOSTATIC CONTROL. THIS FIREPLACE WILL BE USED AS

CONVENIENCE HEATING DURING TIMES OF USE. EVERY CHIMNEY OR FLUE SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTOR.

CHIMNEYS SHALL EXTEND AT LEAST 2' ABOVE THE ROOF AND NOT LESS THAN 2' ABOVE ANY PORTION OF THE

16. ELECTRICAL - NO WORK THIS SECTION

BUILDING WITHIN 10 FEET

CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND EQUIPMENT TO INSTALL ALL WIRING AND RELATED FIXTURES, ALL WORK SHALL COMPLY WITH IRC PART VIII - ELECTRICAL CHAPTERS 33 THRU 41 OF THE 2018 IRC, THE 2017 NEC, STATE AND LOCAL CODES AND ORDINANCES.

THE ELECTRICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL DESIGN OF THE SYSTEMS AS WELL AS THE EXECUTION OF THE WORK ACCORDING TO ACCEPTED STANDARDS OF ENGINEERING, WORKMANSHIP AND REGULATORY REQUIREMENTS. ELECTRICAL CONTRACTORS TO PROVIDE ADDITIONAL DRAWINGS, SPECIFICATIONS AND ENGINEERS CERTIFICATION AS REQUIRED BY FEDERAL, STATE, OR LOCAL LAWS AND BUILDING DEPARTMENT JURISDICTION.

THIS STRUCTURE WILL BE OFF GRID, ELECTRICAL LIGHTING AND POWER WILL BE PROVIDED BY SOLAR OR GENERATOR. SEE STSYEM DESIGNED BY OTHERS. SMOKE ALARMS SHALL BE PROVIDED IN ACCORDANCE WITH THIS SECTION. (R3 14.2)

BUILDINGS WITHOUT COMMERCIAL POWER. CARBON MONOXIDE ALARMS SHALL COMPLY WITH SECTION R3 15. (R3 15.1)

CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE

INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER.

SERVICE, INC. PRIOR TO THE COMMENCEMENT OF ANY WORK.

1. SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE INSTALLED IN

ANY DISCREPANCY IN DIMENSIONS AND/OR DRAWINGS AND/OR GRAPHIC REPRESENTATION AND/OR FIELD MEASUREMENTS SHALL BE BROUGHT TO THE ATTENTION OF JAKE'S DRAFTING

ANY DEVIATION FROM THESE PLANS IS EXPRESSLY FORBIDDEN WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY JAKE'S DRAFTING SERVICE, INC., AS THE DESIGNER; THE OWNER; THE ENGINEER AND THE GENERAL CONTRACTOR. THESE SPECIFICATIONS ARE GENERAL IN NATURE. SOME DIVISIONS OR SECTIONS MAY NOT BE APPLICABLE.

BUILDERS PLANS THE CONTRACTOR WARRANTS TO JAKE'S DRAFTING SERVICE INC. THAT HE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT MITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OWN COMPETENCE. THE CONTRACTOR OR OWNER HAS RESTRICTED JAKE'S DRAFTING SERVICE, INC.'S SCOPE OF PROFESSIONAL SERVICES. IN RELIANCE ON THE CONTRACTOR'S WARRANTY AND AT THE EXPRESS REQUEST OF THE CONTRACTOR OR OWNER, JAKE'S DRAFTING SERVICE, INC. HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDER'S PLANS." IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE ARE NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE SHALL IMMEDIATELY NOTIFY JAKE'S DRAFTING SERVICE, INC. FAILURE TO GIVE A SIMPLE NOTICE SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR THE CONSEQUENCES.

DUTY OF COOPERATION

ENGINEERING IS EXCLUDED.

RELEASE OF THESE PLANS ANTICIPATES FURTHER COOPERATION AMONG THE OWNER. HIS CONTRACTOR, AND JAKE'S DRAFTING SERVICE, INC. ALTHOUGH JAKE'S DRAFTING SERVICE, INC. AND ITS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE GARE AND DILIGENCE THEY CANNOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IN WRITING TO JAKE'S DRAFTING SERVICE, INC. IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY WORK, FAILURE TO COOPERATE BY SIMPLE NOTICE TO JAKE'S DRAFTING SERVICE, INC. SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF JAKE'S DRAFTING SERVICE, INC. ARE UNAUTHORIZED, AND SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

IF JAKE'S DRAFTING SERVICE, INC., AS CLAIMANT OR A DEFENDING PARTY, IS AT ANY TIME A PARTY TO LITIGATION INVOLVING ANY CLAIM RELATED TO WORK CONTAINED IN THESE DRAWINGS, AND SHOULD CLAIMANT NOT PREVAIL SUBSTANTIALLY AGAINST DEFENDING PARTY IN SUCH LITIGATION; ALL LITIGATION EXPENSES, WITNESS FEES, COURT COSTS, AND ATTORNEY'S FEES INCURRED BY THE DEFENDING PARTY IN DEFENDING AGAINST SUCH A CLAIM, SHALL BE PAID BY

THE CLAIMANT. THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY JAKE'S DRAFTING SERVICE, INC., (AS THE DESIGNER,) FOR THIS PROJECT ARE "INSTRUMENTS OF SERVICE", FOR USE SOLELY WITH RESPECT TO THIS PROJECT. JAKE'S DRAFTING SERVICE, INC., (AS THE DESIGNER) SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT. SUBMISSION OF THESE PLANS AND SPECIFICATIONS, IN PART OR IN WHOLE, BY THE CLIENT OR HIS AGENT FOR BUILDING PERMIT APPLICATION SHALL BE DEEMED AS EVIDENCE OF ACCEPTANCE FOR FINAL PAYMENT OF

THESE PLANS ARE FOR USE ONLY BY THE CLIENT AND ONLY AT THE SITE IDENTIFIED IN THE TITLE

ENGINEERED DRAWINGS THE ENGINEERED DESIGN DRAWINGS ARE FOR STRUCTURAL ENGINEERING OF THE HOUSE AND PERMANENT FOUNDATION ONLY. DETACHED RETAINING WALLS ARE NOT PART OF THE ENGINEERED STRUCTURAL DRAWINGS AND ARE BY OTHERS, SLOPE STABILITY, EXCAVATION.

SHORING, DRAINAGE, SOILS ISSUES & CONSTRUCTION METHODS ARE NOT INCLUDED AND SHOULD

ANY DUPLICATION, REPRODUCTION OR OTHER USE NOT SPECIFICALLY PERMITTED HEREIN OF

THE PLANS, IN PART OR IN WHOLE, IS STRICTLY PROHIBITED UNDER COPYRIGHT LAW.

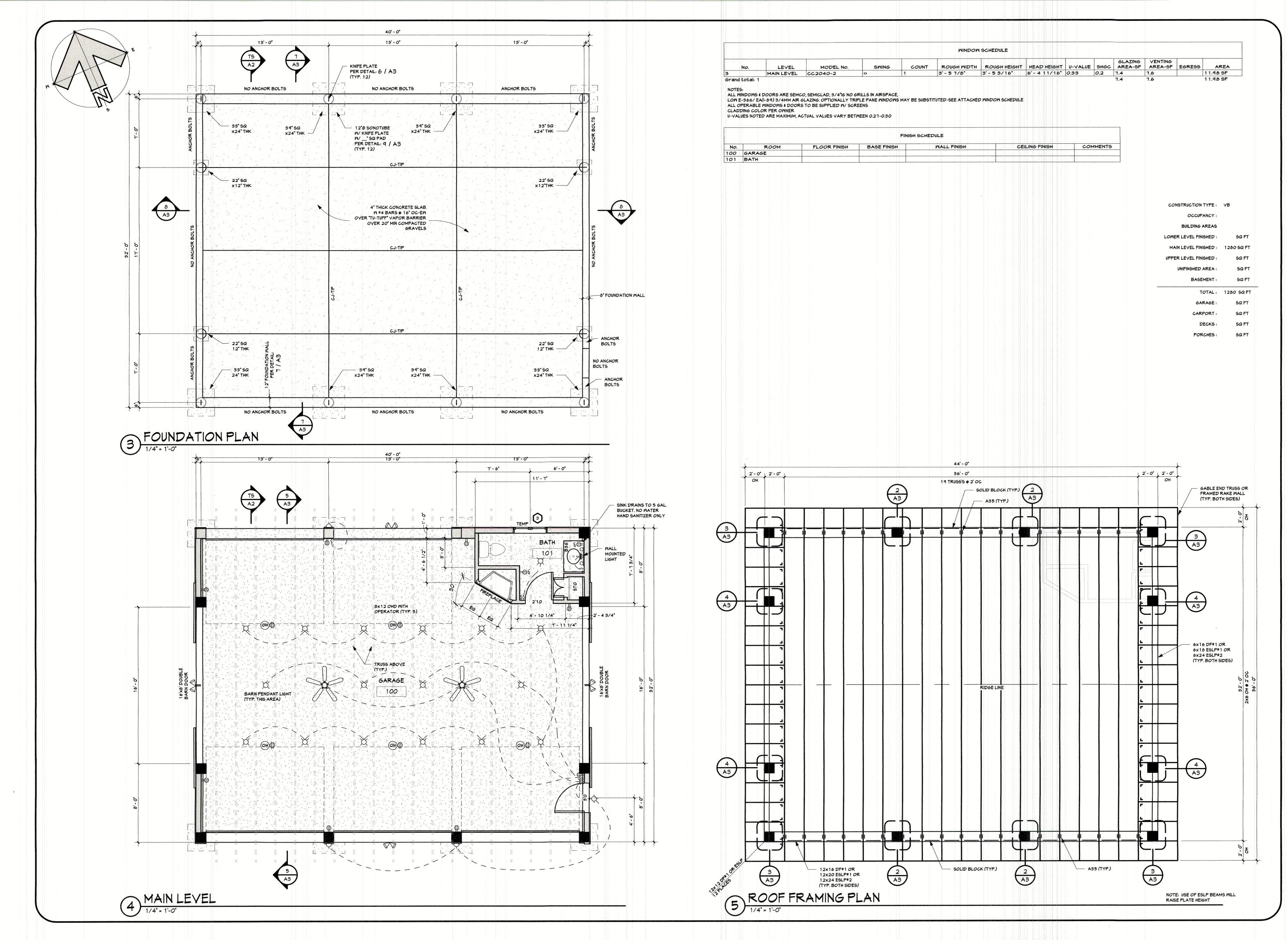
BE ADDRESSED BY AN ENGINEER OR SPECIALIST OF THAT FIELD OF WORK, PROJECT

ALL SOILS ISSUES SHOULD BE BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER. THE OWNER OR HIS REPRESENTATIVE ARE RESPONSIBLE FOR FOLLOWING THE SOILS REPORT, CONTACTING THE SOILS ENGINEER AND FOLLOWING THEIR RECOMMENDATIONS AND TO HAVE READ THE SOILS REPORT AND RECOGNIZE THE RISKS AND LIMITATIONS STATED THEREIN.

CONTACT THE SOILS ENGINEER AT TIME OF EXCAVATION TO VERIFY THAT ALL STRUCTURAL CONCRETE IS PLACED ON SUITABLE BEARING MATERIAL.

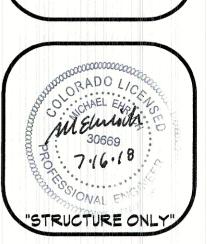
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DRAFTING SERVICE, INC.
P.O. BOX 114121
426 OAK STREET
AMBOAT SPRINGS, COLORADO
910.819.1929
FAX 910.819.8109
JAKES@SPRINGSIPS.COM





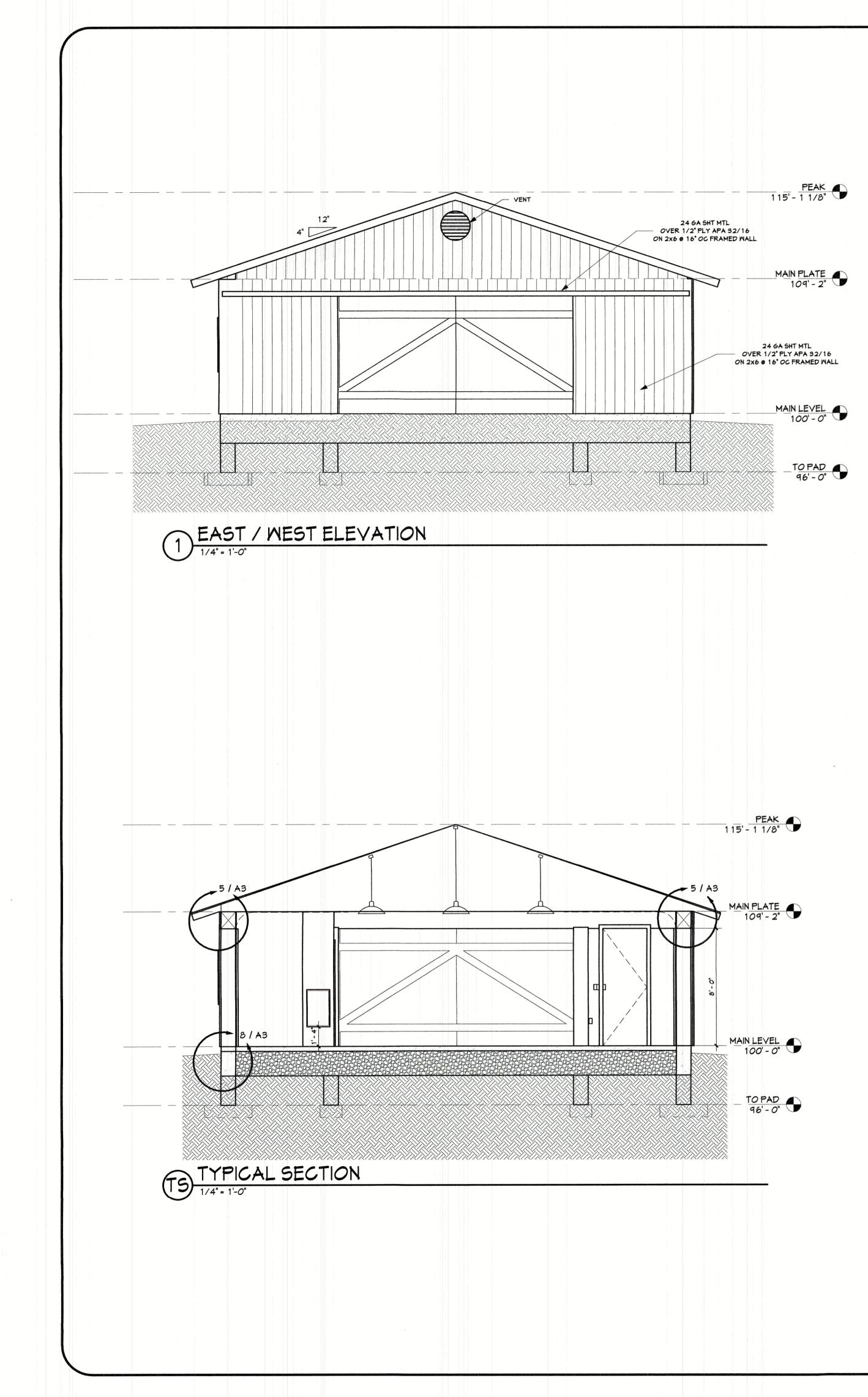
'8 - MOMS' RETREAT

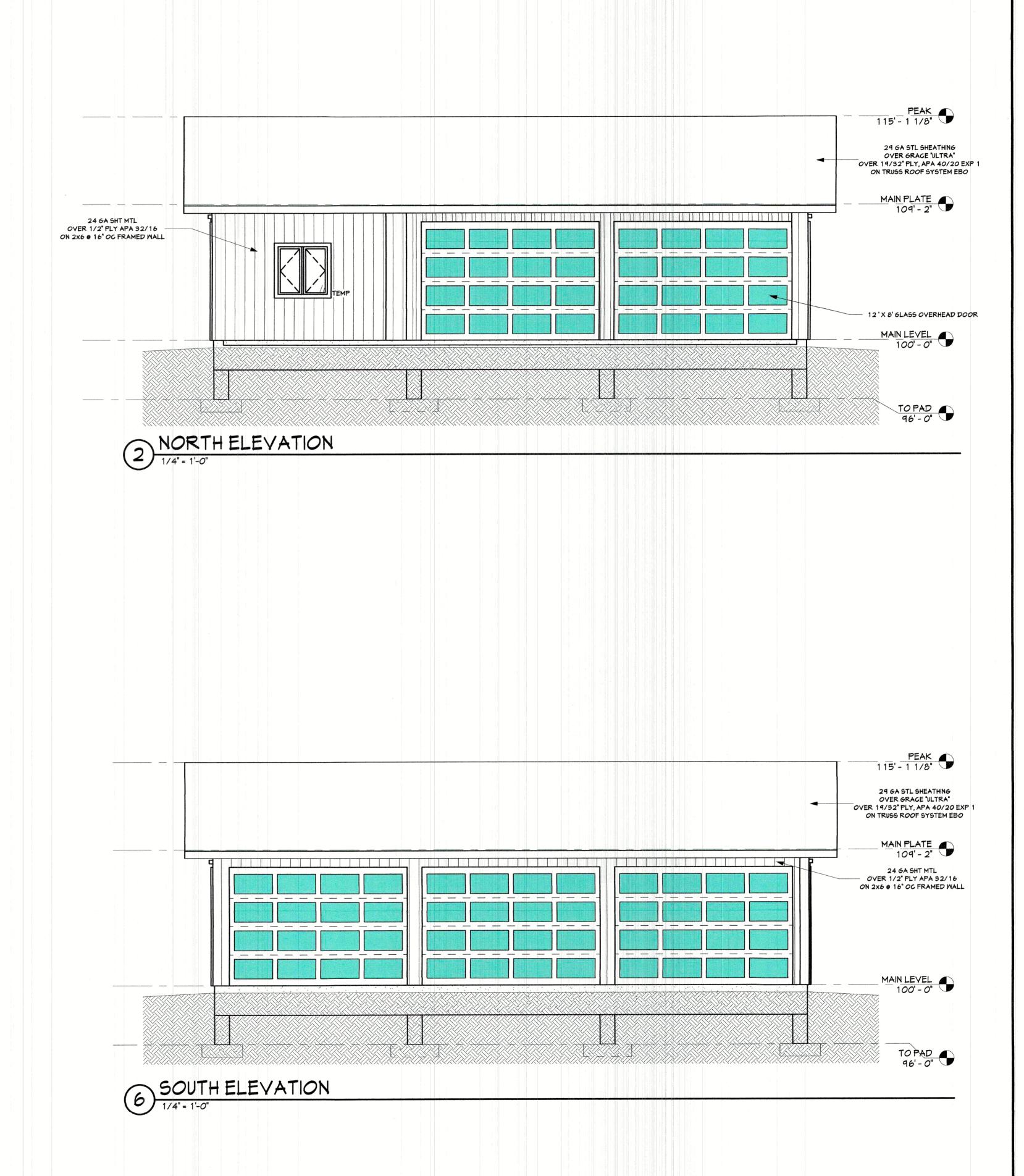
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Checked JMH
Rel'd 16JULY18
Rev'd

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SHEET 4 OF 6





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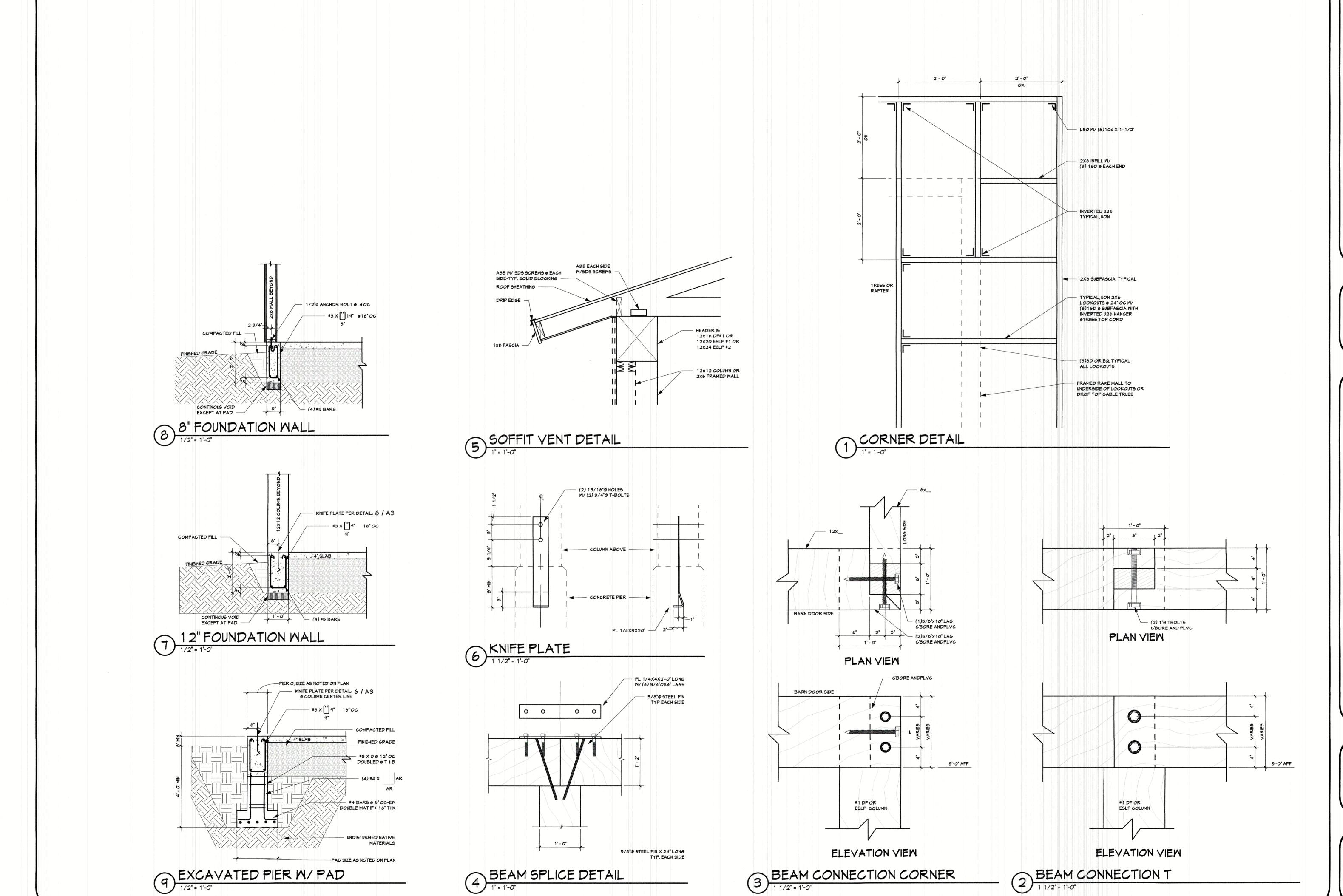


- MOMS' RETREAT

LUCKY & - MON 23850 TOBIANO TRAIL ROUTT COUNTY COLOR OWNER CONTRACTOR

Job # 18.007
File 18007A20
Date 13JUL18
Drawn JMH
Checked JMH
Rel'd 16JULY18
Rev'd

Sheet Number







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