

# LUCKY 8 - MOM'S RETREAT

## OWNER/CONTRACTOR

NICK OSADCHUK  
23850 TOBIANO TRAIL  
ROUTT COUNTY, CO 80477  
970-846-5592

## DESIGNER

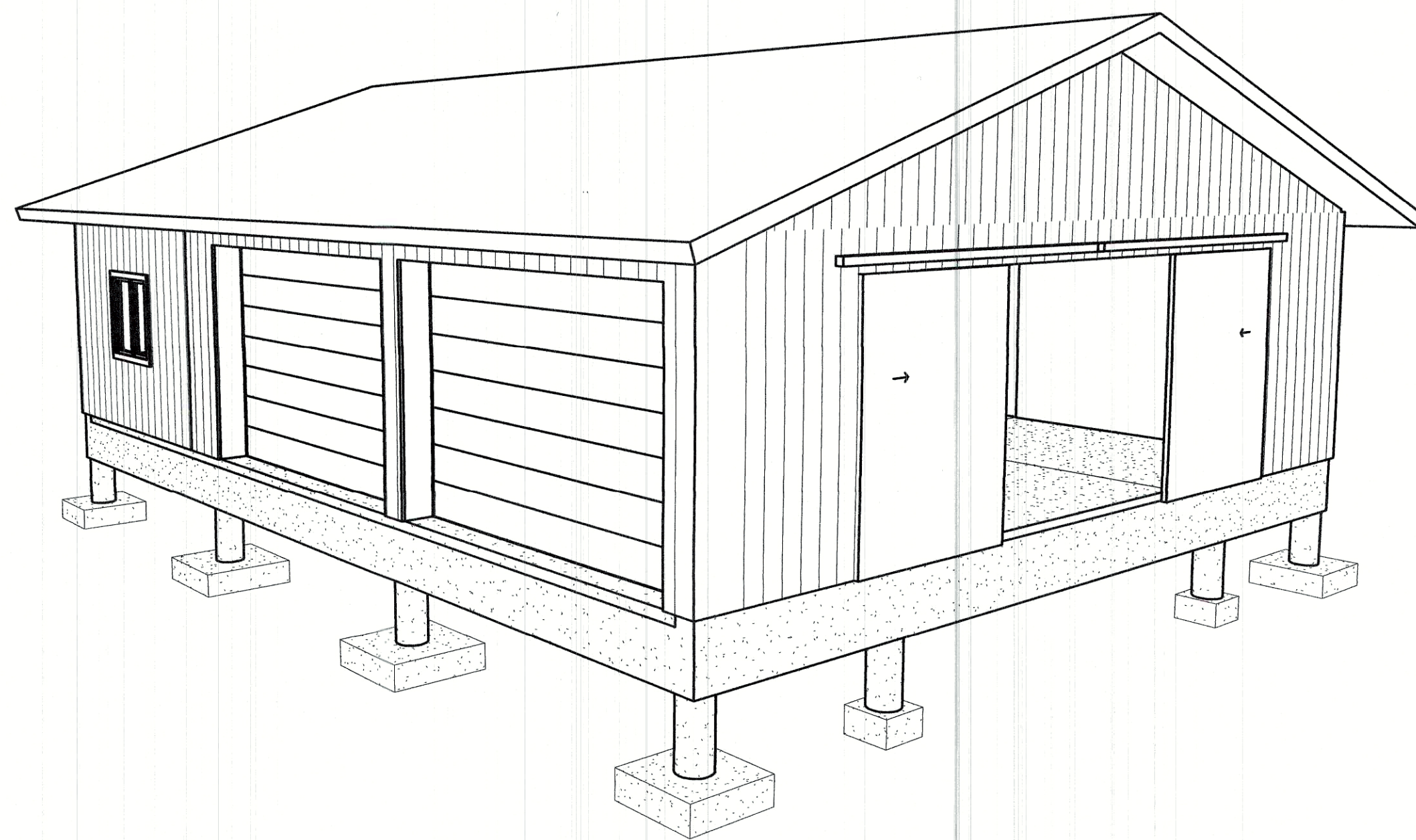
JAKE'S DRAFTING SERVICE, INC.  
426 OAK ST.  
STEAMBOAT SPRINGS, CO 80487  
970-879-7929  
WWW.JAKESDRAFTING.COM

## GEOTECHNICAL ENGINEER

NWCC, INC.  
BRIAN LEN, PE  
2580 COPPER RIDGE DRIVE  
STEAMBOAT SPRINGS, CO 80487  
970-879-7888  
WWW.NWCCUSA.COM

## STRUCTURAL ENGINEER

MICHAEL EHRLICH STRUCTURAL-  
ENGINEERING, INC.  
MIKE EHRLICH, PE  
3260 APRES SKI WAY  
STEAMBOAT SPRINGS, CO 80487  
970-879-3866  
FRACTAL@CMN.NET



5 PERSPECTIVE

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## LIST OF ABBREVIATIONS ELECTRICAL LEGEND

A/K/A	ALSO KNOWN AS	METER	METER IV DISCONNECT
AND	AND	200A 42C	SERVICE PANEL, SIZE AS NOTED
AT	AT	110 VAG DUPLEX RECEPTACLE	110 VAG DUPLEX RECEPTACLE
- OR APPROX	APPROXIMATELY	110 VAG DUPLEX RECEPTACLE, BOTTOM HALF SWITCHED	110 VAG DUPLEX RECEPTACLE, BOTTOM HALF SWITCHED
Ø	DIAMETER	GFI	110 VAG DUPLEX RECEPTACLE, GROUND FAULT INTERRUPTER
EBO	ENGINEERED BY OTHERS	MP	110 VAG DUPLEX RECEPTACLE, GFCI PROTECTED, WEATHERPROOF
FOG	FACE OF CONCRETE	REF	110 VAG DUPLEX RECEPTACLE, REFRIGERATOR OR DEDICATED
FOS	FACE OF STUD OR FRAMING	ARG	110 VAG DUPLEX RECEPTACLE, ARG-FAULT PROTECTED
FT	FOOT / FEET	220 VAG RECEPTACLE, AMPERAGE NOTED	220 VAG RECEPTACLE, AMPERAGE NOTED
FFE	FINISH FLOOR ELEVATION	PLUG MOULD	PLUG MOULD
H	HEIGHT	SWITCH	SWITCH
IN	INCH (ES)	3 WAY SWITCH	3 WAY SWITCH
LVL	LAMINATED-VENEER LUMBER	4 WAY SWITCH	4 WAY SWITCH
MAX	MAXIMUM	DIMMER SWITCH	DIMMER SWITCH
MIN	MINIMUM	SWITCH, MOMENTARY	SWITCH, MOMENTARY
NTS	NOT TO SCALE	SWITCH, WATER PROOF	SWITCH, WATER PROOF
#	NUMBER	SWITCH, TIMED	SWITCH, TIMED
OG	ON CENTER	EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV, DAMPER	EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV, DAMPER
	PARALLEL	LIGHT/ EXHAUST FAN UNIT	LIGHT/ EXHAUST FAN UNIT
T OR PERP	PERPENDICULAR	FLUORESCENT FIXTURE	FLUORESCENT FIXTURE
# OR LB	POUNDS	RECESSED FIXTURE	RECESSED FIXTURE
PSF	POUNDS PER SQUARE FOOT	SURFACE MOUNT FIXTURE, DECORATIVE	SURFACE MOUNT FIXTURE, DECORATIVE
PSI	POUNDS PER SQUARE INCH	WALL MOUNT FIXTURE, DECORATIVE	WALL MOUNT FIXTURE, DECORATIVE
PT OR GGA	PRESSURE TREATED	RECESSED FIXTURE, WALL MASH	RECESSED FIXTURE, WALL MASH
REBAR	REINFORCING STEEL	TRACK LIGHT	TRACK LIGHT
REQ'D	REQUIRED	SMOKE DETECTOR	SMOKE DETECTOR
R.N.R.	RECOMMENDED NOT REQUIRED	CARBON MONOXIDE DETECTOR	CARBON MONOXIDE DETECTOR
OR SQ FT	SQUARE FOOT / FEET	TELEPHONE JACK	TELEPHONE JACK
T&G	TONGUE AND GROOVE	TELEVISION JACK	TELEVISION JACK
T&B	TOP AND BOTTOM	MULTI MEDIA JACK	MULTI MEDIA JACK
TYP	TYPICAL	THERMOSTAT	THERMOSTAT
UON	UNLESS OTHERWISE NOTED	OVERHEAD DOOR OPERATOR	OVERHEAD DOOR OPERATOR
W	WIDTH	PHOTO CELL IV, MOTION DETECTOR	PHOTO CELL IV, MOTION DETECTOR
W	WIDTH		
WWM	WELDED WIRE MESH		
()	QUANTITY		

## MECHANICAL LEGEND

BOILER	BOILER
MH	WATER HEATER OR SIDE ARM STORAGE TANK
HEAT EXCHANGER	HEAT EXCHANGER
M	EXHAUST FAN, CFM NOTED, VENT TO OUTSIDE, IV, DAMPER
R	FLUE PIPE, SIZE NOTED
R	RADON GAS VENT STACK
AIR DELIVERY DUCT, SIZE AS NOTED	AIR DELIVERY DUCT, SIZE AS NOTED
AIR DELIVERY VERTICAL RISER, SIZE AS NOTED	AIR DELIVERY VERTICAL RISER, SIZE AS NOTED
AIR RETURN VERTICAL RISER, SIZE AS NOTED	AIR RETURN VERTICAL RISER, SIZE AS NOTED

## PLUMBING LEGEND

M	WATER METER
G	GAS METER
SHUT OFF VALVE	SHUT OFF VALVE
HOSE BIB, FROST PROOF	HOSE BIB, FROST PROOF
WASHER VALVE & DRAIN BOX	WASHER VALVE & DRAIN BOX
CENTRAL VACUUM	CENTRAL VACUUM

COVER  
LUCKY 8 - MOMS' RETREAT  
23850 TOBIANO TRAIL  
ROUTT COUNTY COLORADO  
OWNER/CONTRACTOR, 846-5592

Job # 18.007  
File 18007COV  
Date 18JUL18  
Drawn JMH  
Checked JMH  
Revd 16JULY18

Sheet Number

COV

SHEET 0 OF 6

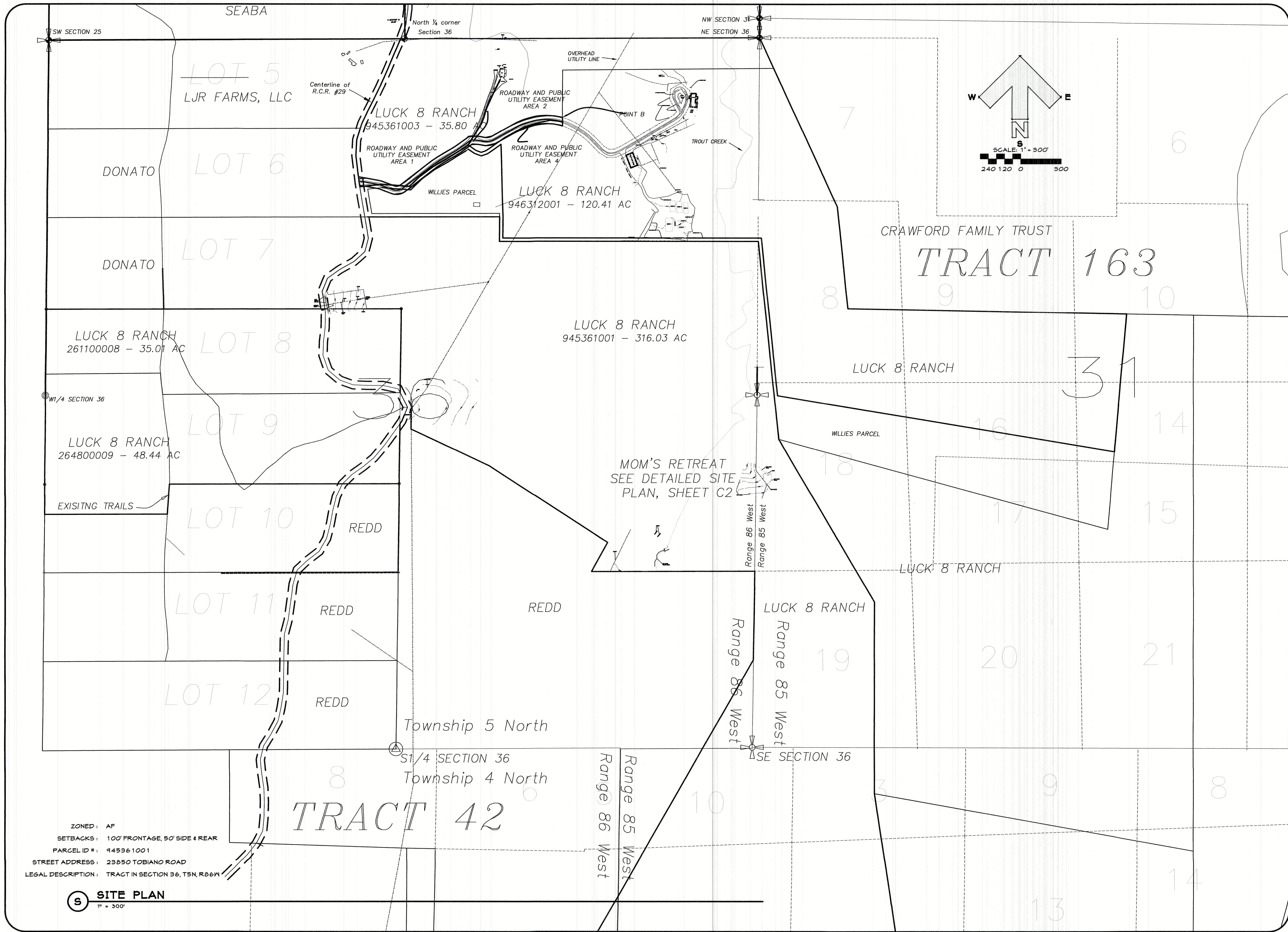
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**SITE PLAN FOR**  
**LUCKY 8 - MOM'S RETREAT**  
23850 TOBIANO TRAIL  
ROUTT COUNTY, COLORADO  
OWNER/CONTRACTOR, 946-5592

Job # 18007  
File 18008C10  
Date 16JUL18  
Drawn JMH  
Checked JMH  
Revised 16JUL18  
Rev'd

Sheet Number  
**C1**  
SHEET 1 OF 2



STANDARD NOTES

1. THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
2. CONCRETE WASTE & WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE & PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE WATERS.
3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION & ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPs).
4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS & OBTAINING ALL REQUIRED PERMITS.
5. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED.
6. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD & CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATERWAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
7. ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED GSNP.
8. SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED:
  - (1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 90 DAYS.
  - (2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
9. INLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS WHERE DRAINAGE AREA IS NOT VEGETATED.
10. BMPs SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. BMPs SHALL BE INSPECTED WEEKLY & AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPs WHEN THE SEDIMENT LEVEL REACHES 3/4 THE HEIGHT OF THE BMP.
11. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES.
12. FOR ANY WORK TO BE DONE IN THE RIGHT OF WAY, COORDINATE WITH THE CITY CONSTRUCTION SITE MANAGER REGARDING SPECIAL PERMITTING. NO WORK SHALL BE CONDUCTED IN THE ROW BETWEEN NOVEMBER 1 AND APRIL 1 WITHOUT PRIOR APPROVAL FROM THE DIRECTOR OF PUBLIC WORKS.
13. WHERE REQUIRED AS PART OF THE ROW PERMIT OR WHERE SITE WORK AFFECTS THE PEDESTRIAN OR VEHICLE TRAVEL WAY, TRAFFIC CONTROL SHALL BE INSTALLED. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
14. SIDEWALKS ADJACENT TO CONSTRUCTION SITES SHALL BE MAINTAINED FOR PUBLIC USE BY THE CONTRACTOR IN AREAS WHERE CONSTRUCTION IS TAKING PLACE NEXT TO THE SIDEWALK AND OVERHEAD HAZARDS ARE POSSIBLE, CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING SIDEWALK PROTECTION.
15. FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES.
16. SURVEY INFORMATION PROVIDED BY EMSI, & MODIFIED BY JAKES DRAFTING SERVICE, INC. FOR USE AS A SITE PLAN.



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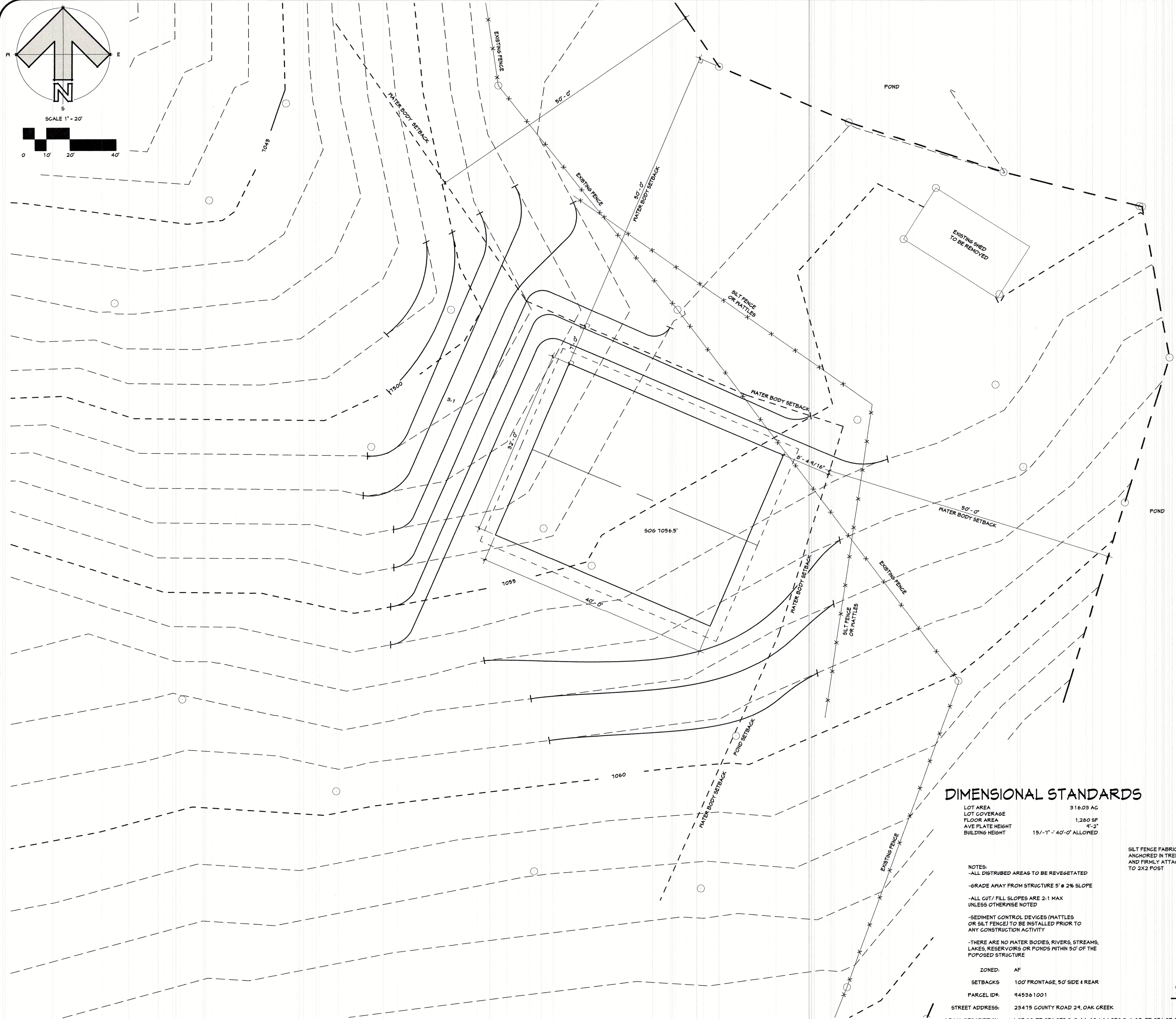
SITE PLAN DETAIL  
**LUCKY 8 - MOMS' RETREAT**  
23850 TOBIANO TRAIL  
ROUT COUNTY COLORADO  
OWNER/CONTRACTOR: (970) 846-5592

Job # 18.007  
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Drawn JMH  
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C2

SHEET 2 OF 6

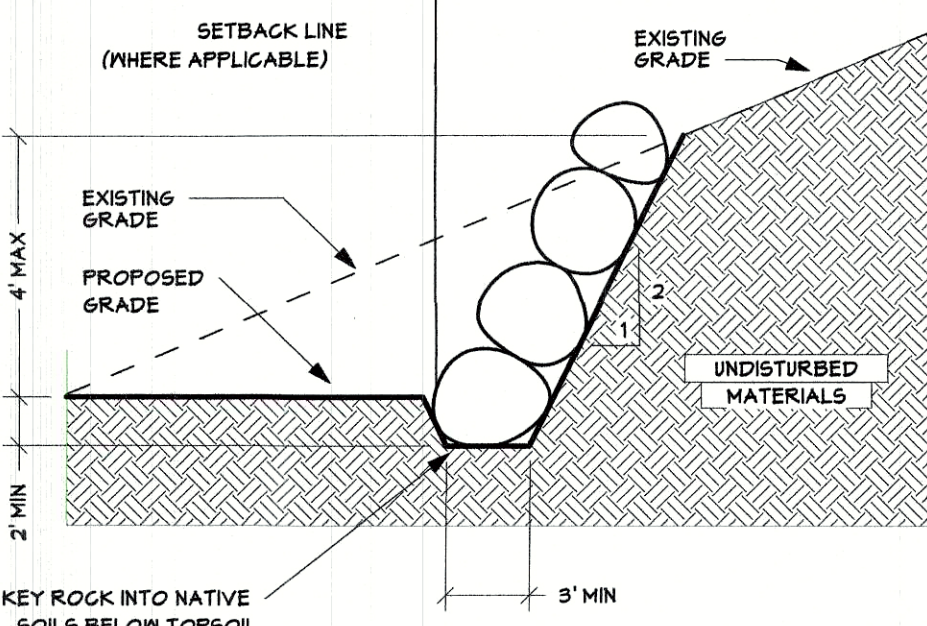


DIMENSIONAL STANDARDS

LOT AREA	316.03 AC
LOT COVERAGE	1,280 SF
FLOOR AREA	9'-2"
AVE PLATE HEIGHT	15'-1" - 40'-0" ALLOWED
BUILDING HEIGHT	

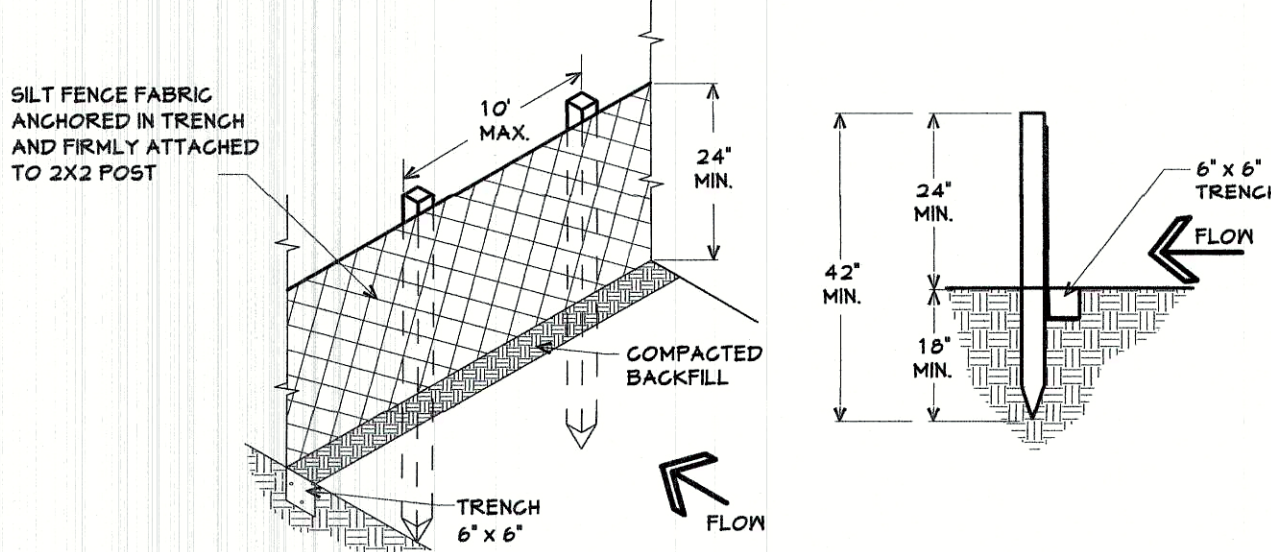
- NOTES:
- ALL DISTURBED AREAS TO BE REVEGETATED
  - GRADE ANAY FROM STRUCTURE 5' @ 2% SLOPE
  - ALL CUT/FILL SLOPES ARE 2:1 MAX UNLESS OTHERWISE NOTED
  - SEDIMENT CONTROL DEVICES (WATTLES OR SILT FENCE) TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY
  - THERE ARE NO WATER BODIES, RIVERS, STREAMS, LAKES, RESERVOIRS OR PONDS WITHIN 50' OF THE PROPOSED STRUCTURE

ZONED: AF  
SETBACKS: 100' FRONTAGE, 50' SIDE & REAR  
PARCEL ID#: 945361001  
STREET ADDRESS: 23475 COUNTY ROAD 29, OAK CREEK  
LEGAL DESCRIPTION: LOT 12, PT OF LOTS 8, 9-11, 13 & 14 SEC 7-4-05; PT OF LOT 17 SEC 12-4-06; PT OF LOTS 8, 10 & 11 SEC 31-5-05, TRS IN S2NE4, N2SE4, PT OF LOT 7 IN TROUT CK VALLEY SUBD SEC 30-5-06



ROCK RETAINING WALL

1" = 1'-0"



SILT FENCE

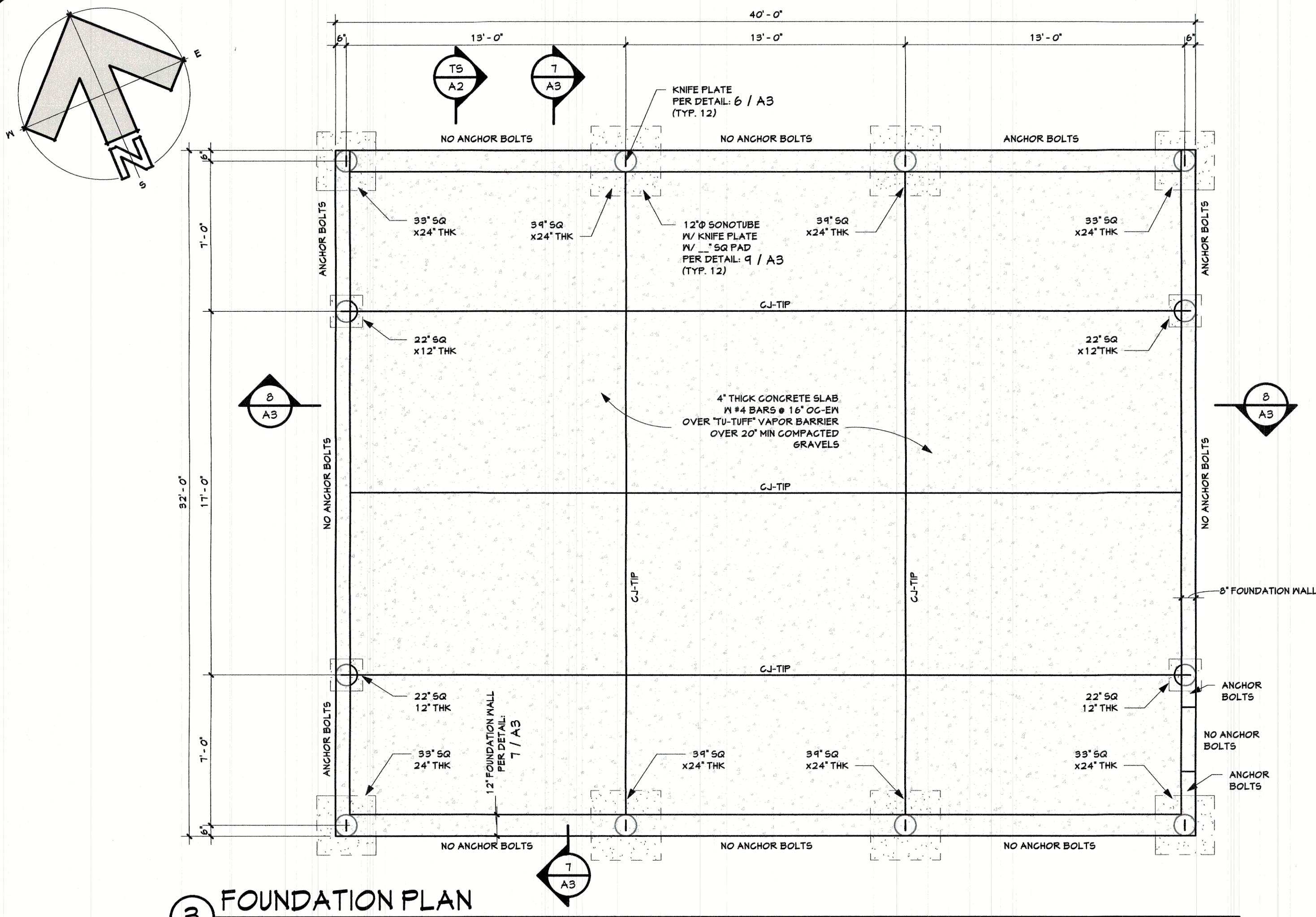
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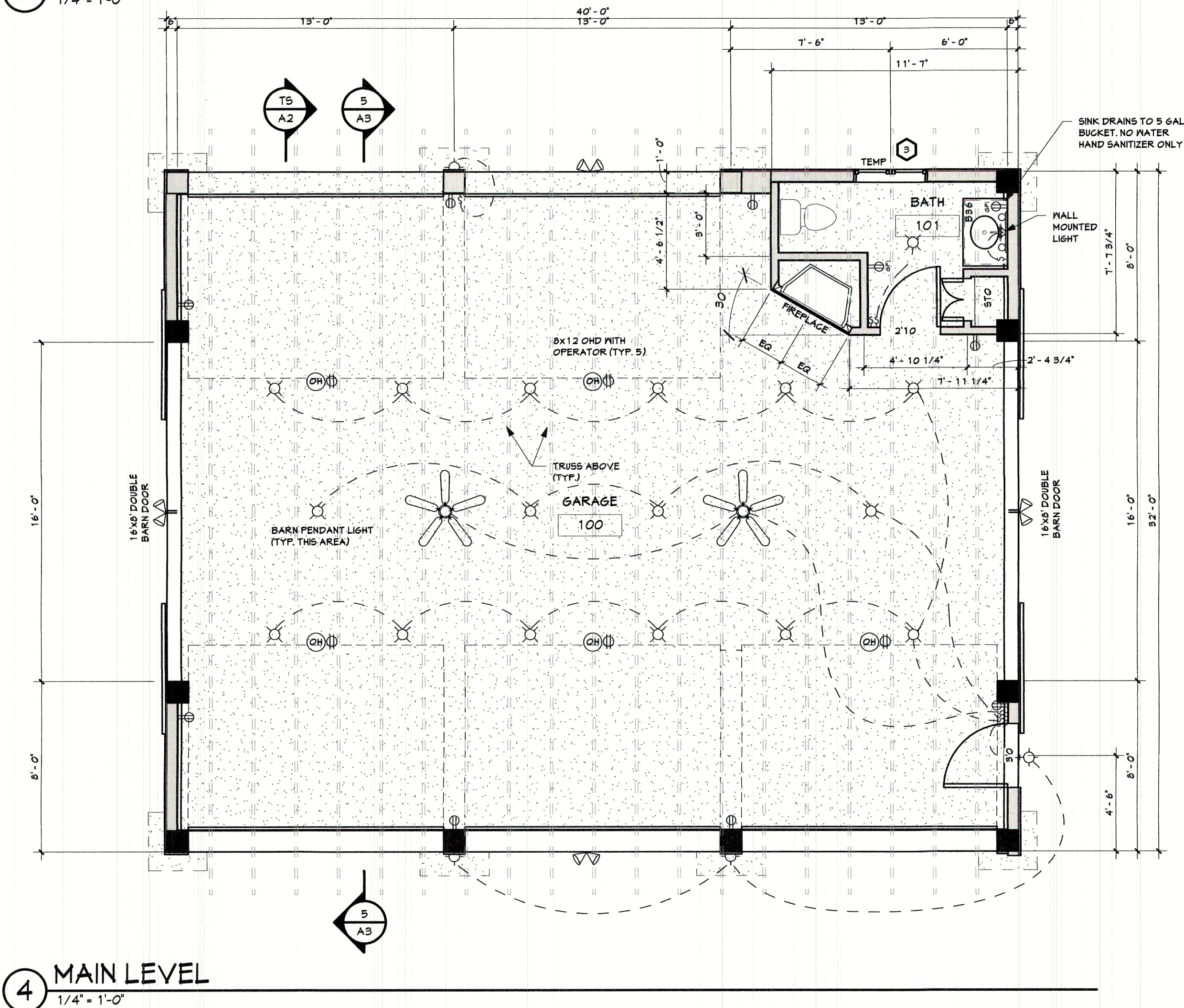




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3 FOUNDATION PLAN  
1/4" = 1'-0"



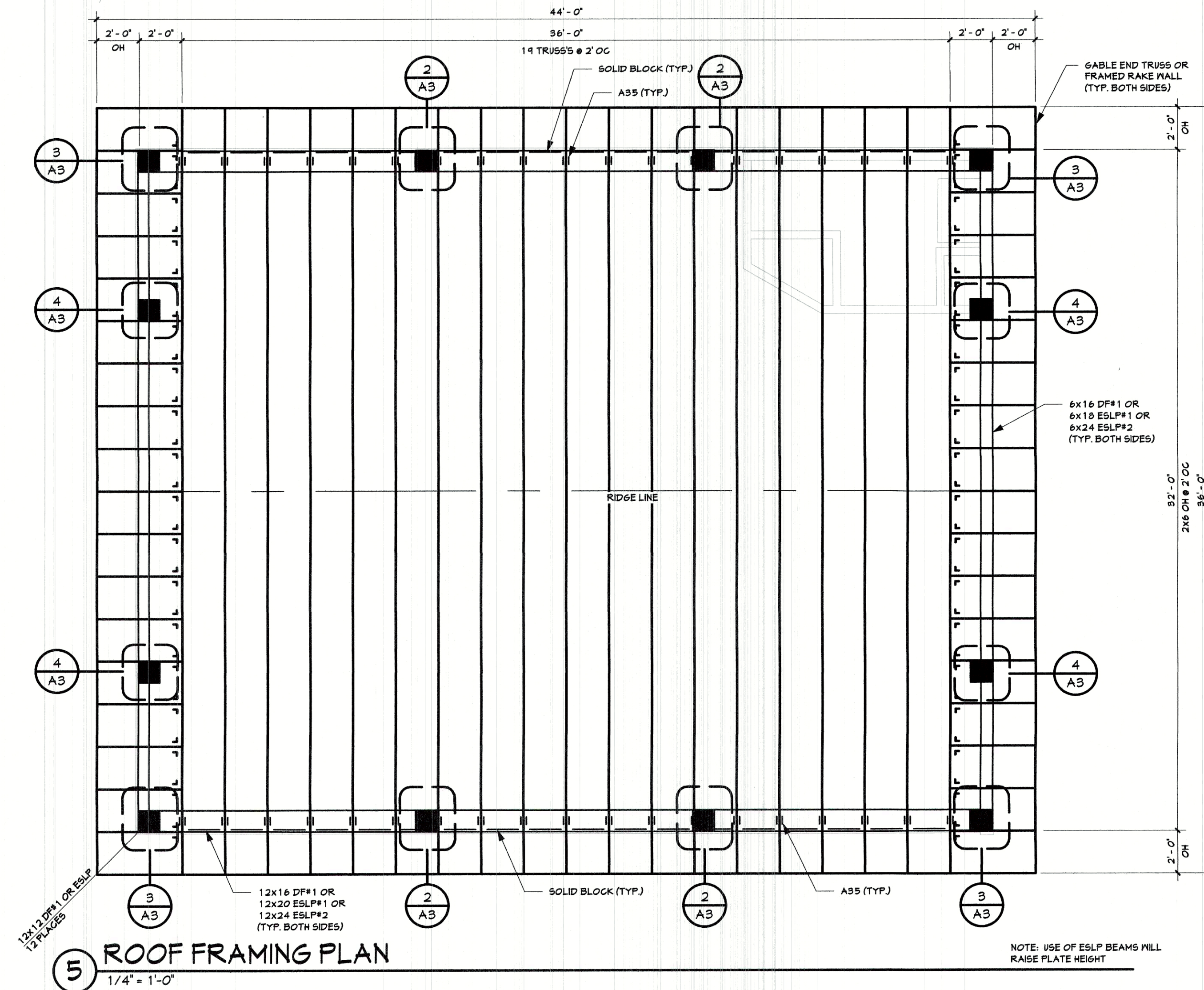
4 MAIN LEVEL  
1/4" = 1'-0"

WINDOW SCHEDULE												
No.	LEVEL	MODEL No.	SPING	COUNT	ROUGH WIDTH	ROUGH HEIGHT	HEAD HEIGHT	U-VALUE	SHGC	GLAZING AREA-SF	VENTING AREA-SF	E6RESS
3	MAIN LEVEL	CG2040-2	0	1	3'-5 1/8"	3'-5 3/16"	6'-4 1 1/16"	0.33	0.2	7.4	7.6	
Grand total: 1										11.98 SF		

NOTES:  
ALL WINDOWS & DOORS ARE SENG, SEMICLAD, 3/4" NO GRILLS IN AIRSPACE.  
LOW E-366/ EMI-64) 3/4MM AIR GLAZING, OPTIONALLY TRIPLE PANE WINDOWS MAY BE SUBSTITUTED-SEE ATTACHED WINDOW SCHEDULE  
ALL OPERABLE WINDOWS & DOORS TO BE SUPPLIED W/ SCREENS  
GLAZING COLOR PER OWNER  
U-VALUES NOTED ARE MAXIMUM, ACTUAL VALUES VARY BETWEEN 0.27-0.30

FINISH SCHEDULE					
No.	ROOM	FLOOR FINISH	BASE FINISH	WALL FINISH	CEILING FINISH
100	GARAGE				
101	BATH				

CONSTRUCTION TYPE:	VB
OCCUPANCY:	
BUILDING AREAS	
LOWER LEVEL FINISHED:	5Q FT
MAIN LEVEL FINISHED:	1280 SQ FT
UPPER LEVEL FINISHED:	5Q FT
UNFINISHED AREA:	5Q FT
BASEMENT:	5Q FT
TOTAL:	1280 SQ FT
GARAGE:	5Q FT
CARPORT:	5Q FT
DECKS:	5Q FT
PORCHES:	5Q FT



5 ROOF FRAMING PLAN  
1/4" = 1'-0"

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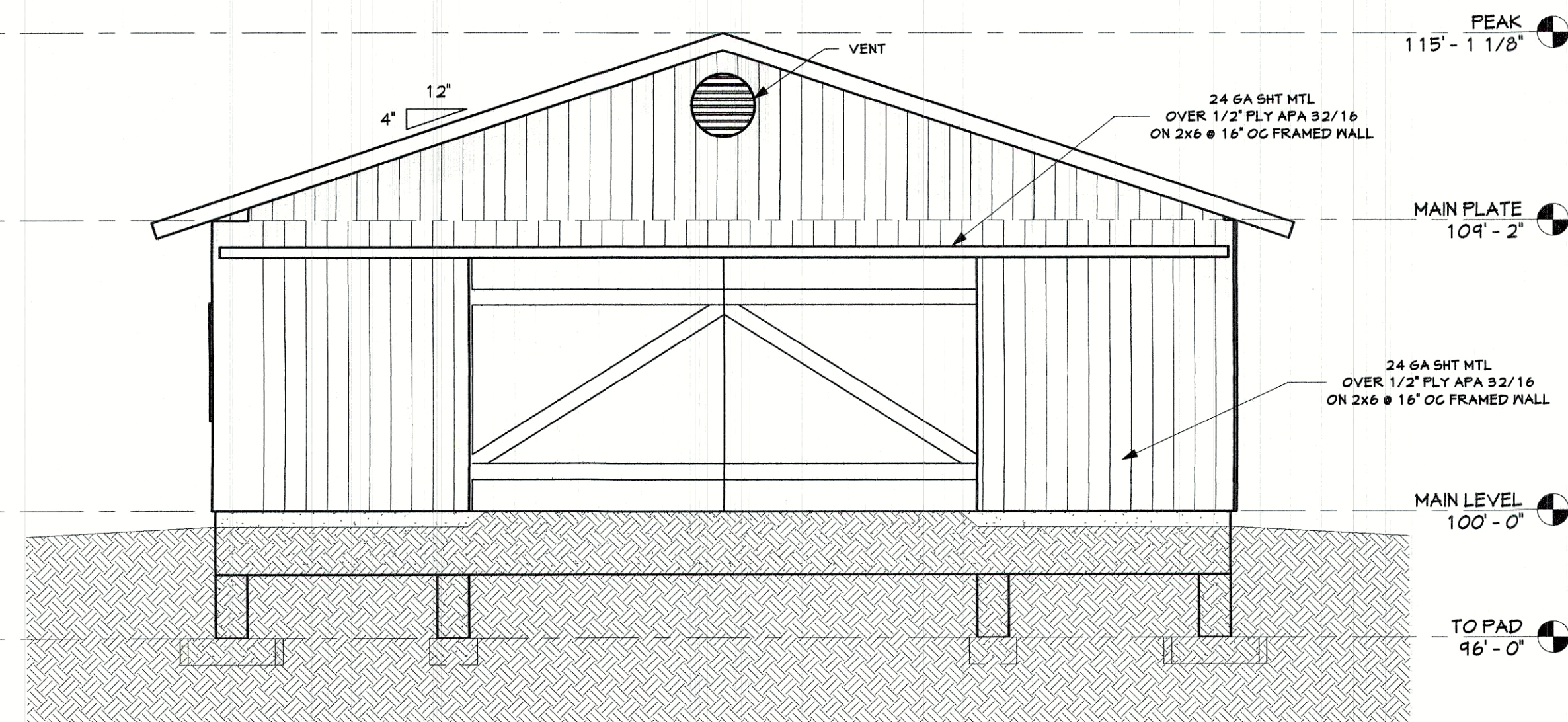
FLOOR, FOUNDATION & ROOF FRAMING PLANS  
**LUCKY 8 - MOMS' RETREAT**  
28850 TOBIANO TRAIL  
ROUTT COUNTY, COLORADO  
OWNER/CONTRACTOR, 846-5592

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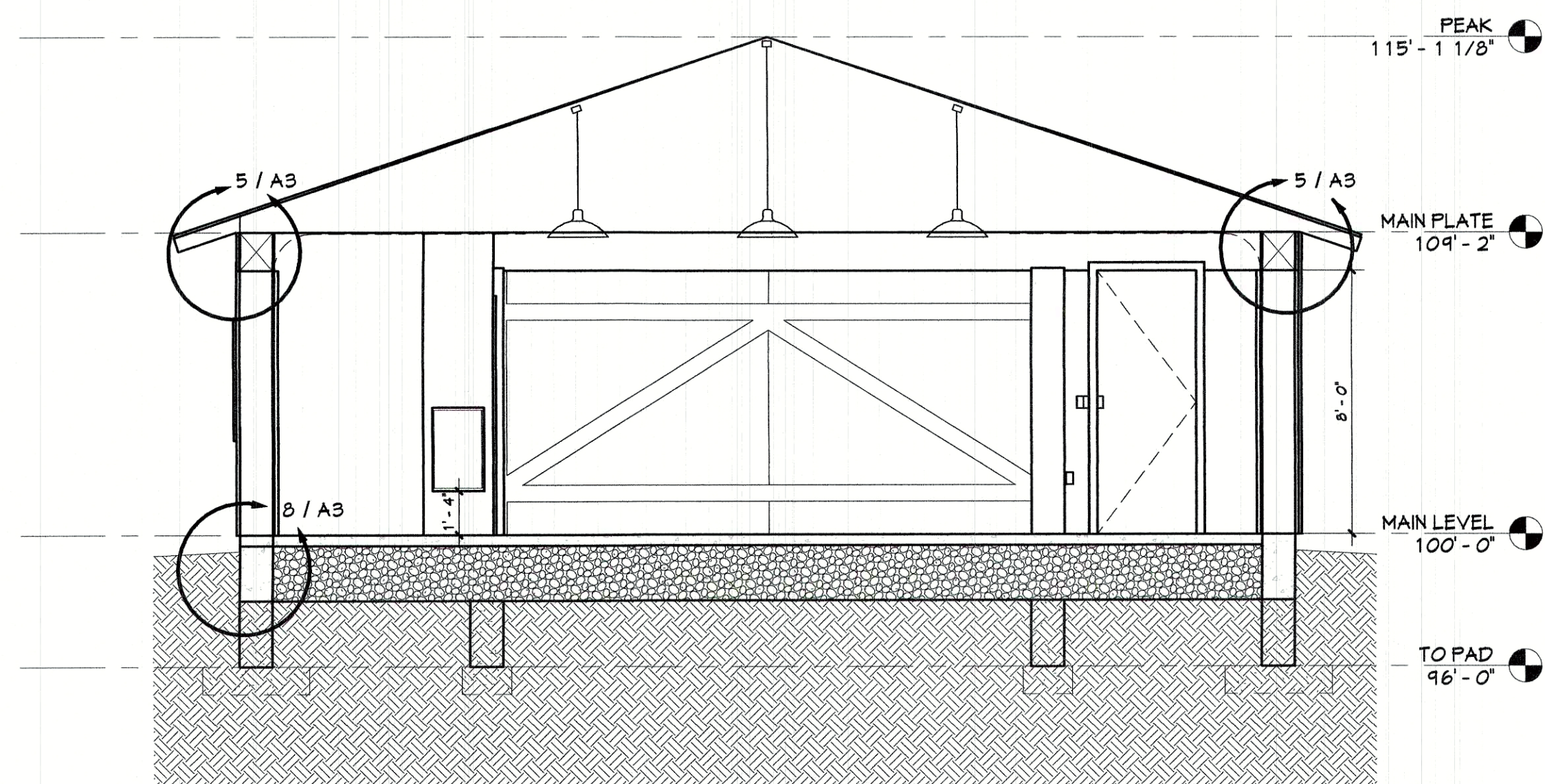
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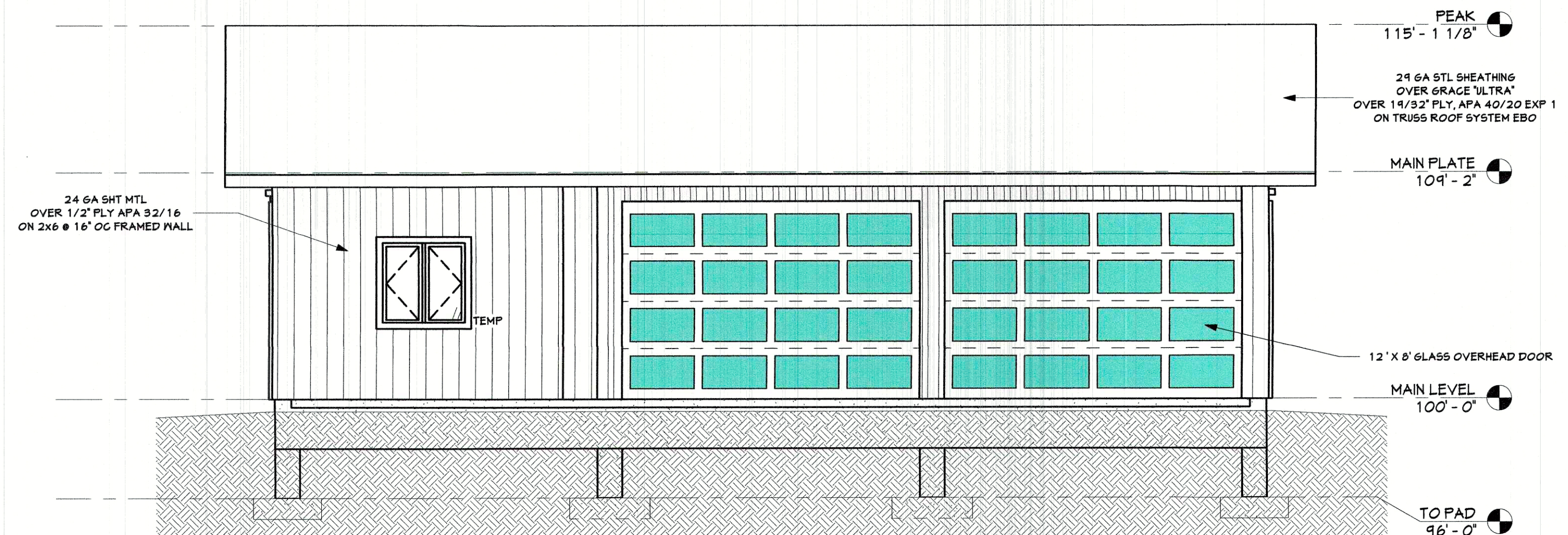
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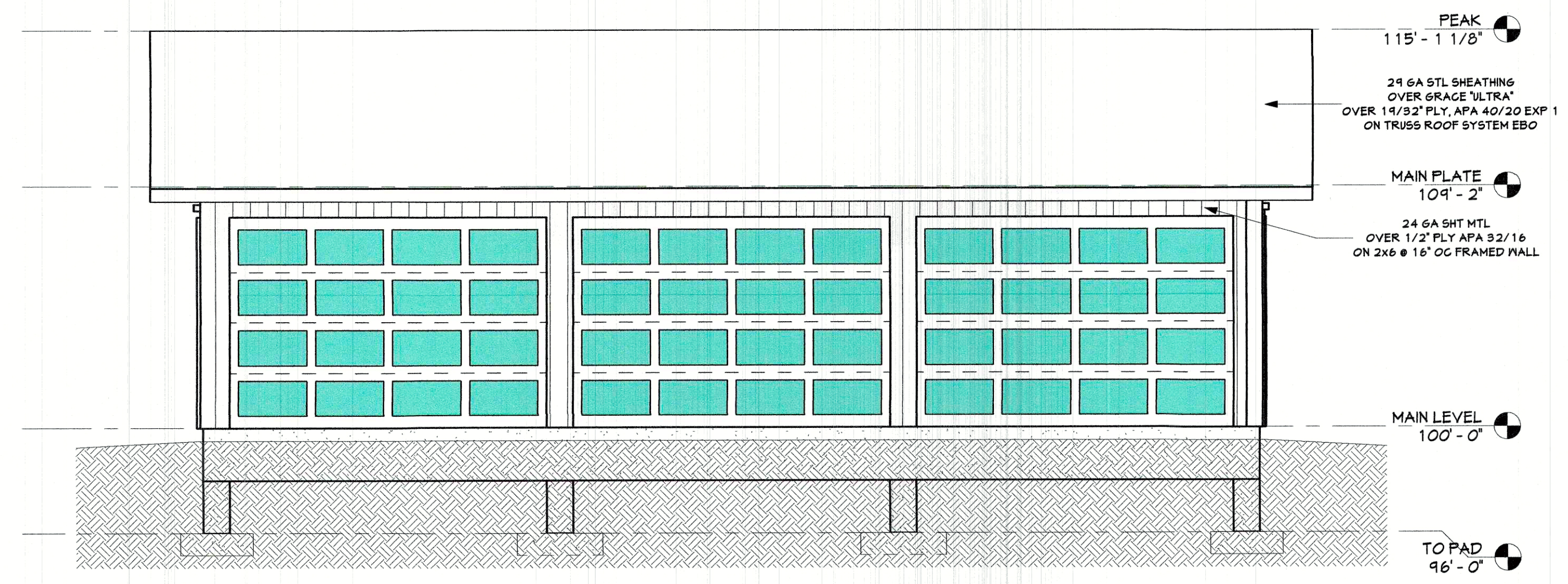
1 EAST / WEST ELEVATION  
1/4" = 1'-0"



T9 TYPICAL SECTION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



6 SOUTH ELEVATION  
1/4" = 1'-0"

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PROFESSIONAL ENGINEER  
30869  
7-16-18  
"STRUCTURE ONLY"

ELEVATIONS & TYPICAL SECTION  
**LUCKY 8 - MOMS' RETREAT**  
28850 TOBIANO TRAIL  
ROUTT COUNTY COLORADO  
OWNER/CONTRACTOR, 846-5592

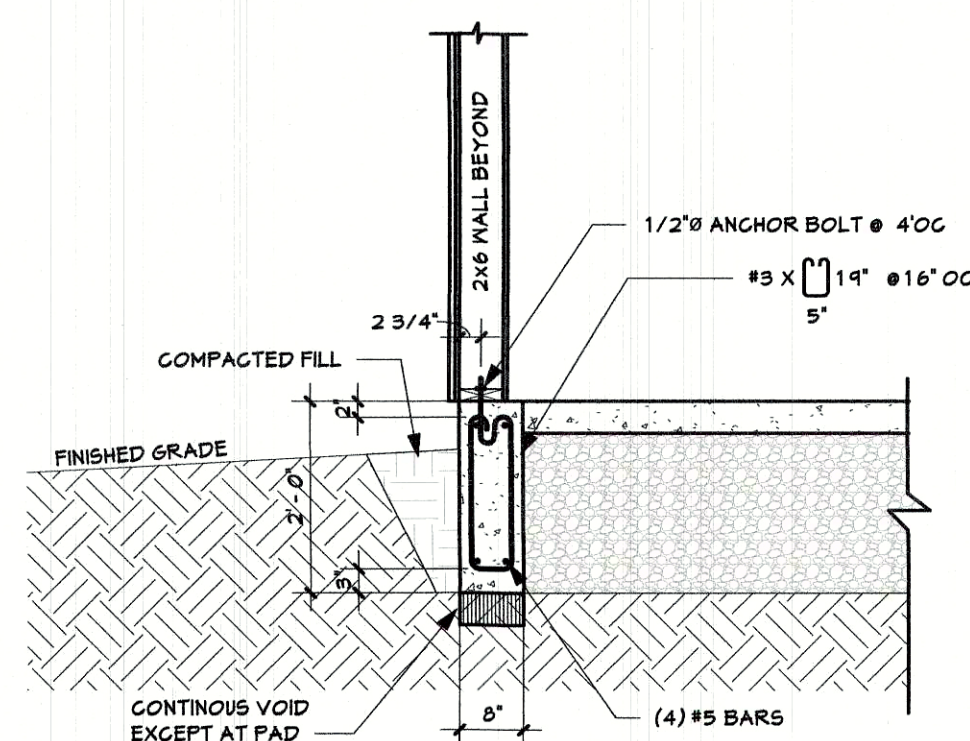
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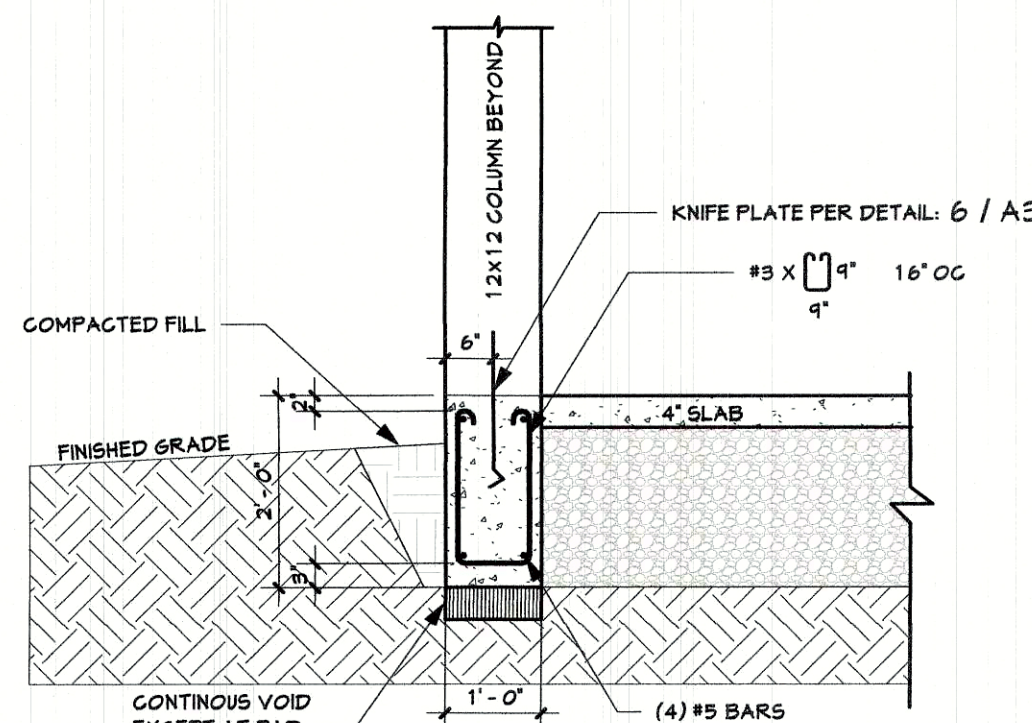
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SHEET 5 OF 6

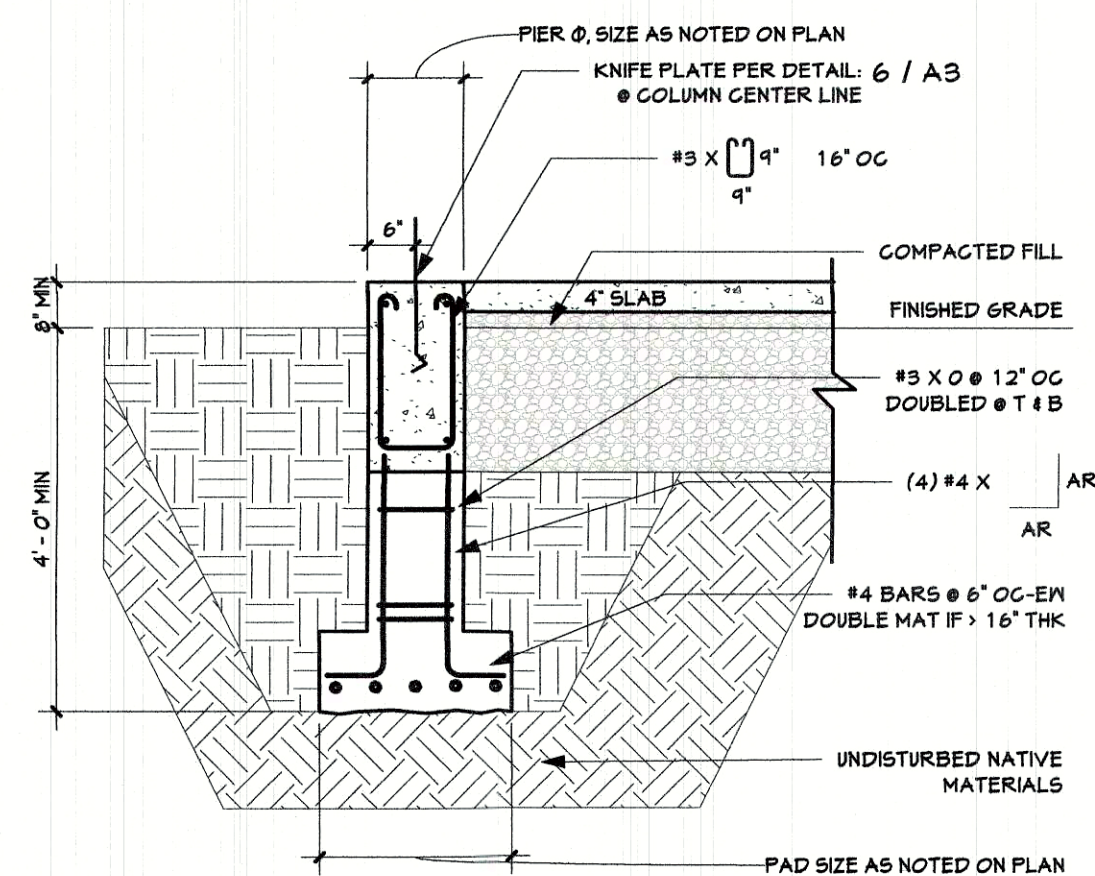




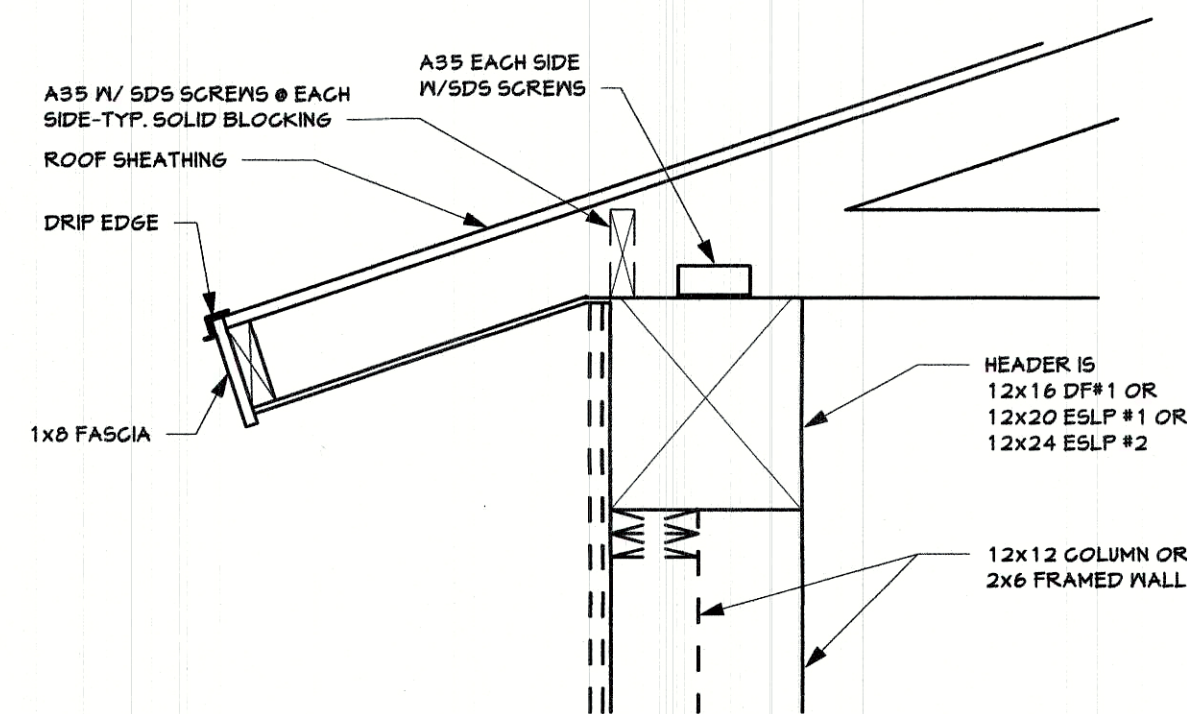
**8" FOUNDATION WALL**  
1/2" = 1'-0"



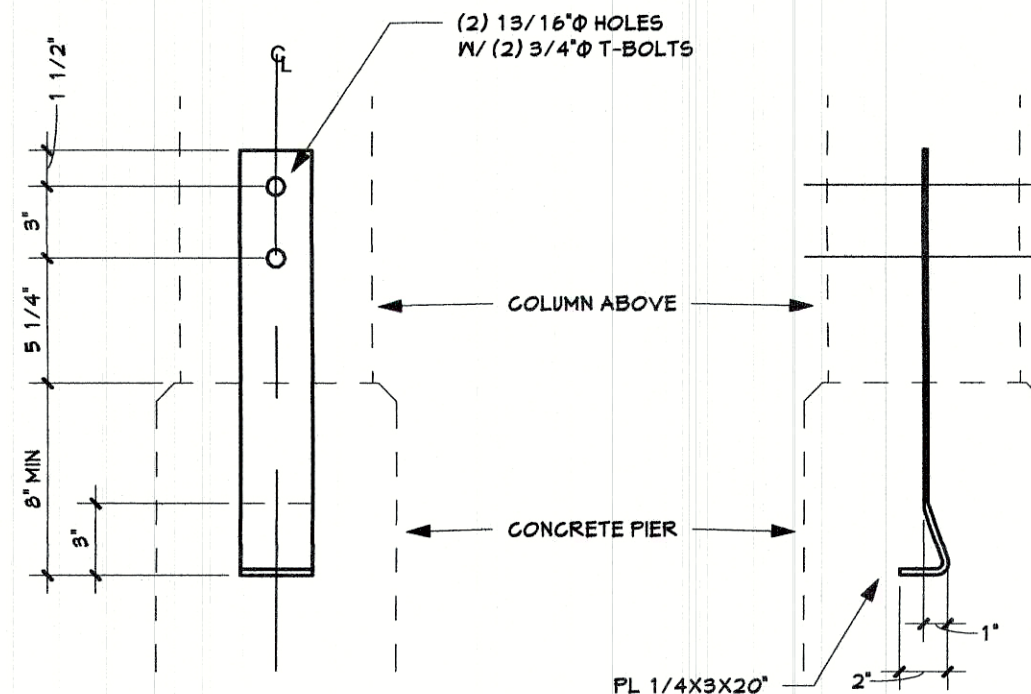
**12" FOUNDATION WALL**  
1/2" = 1'-0"



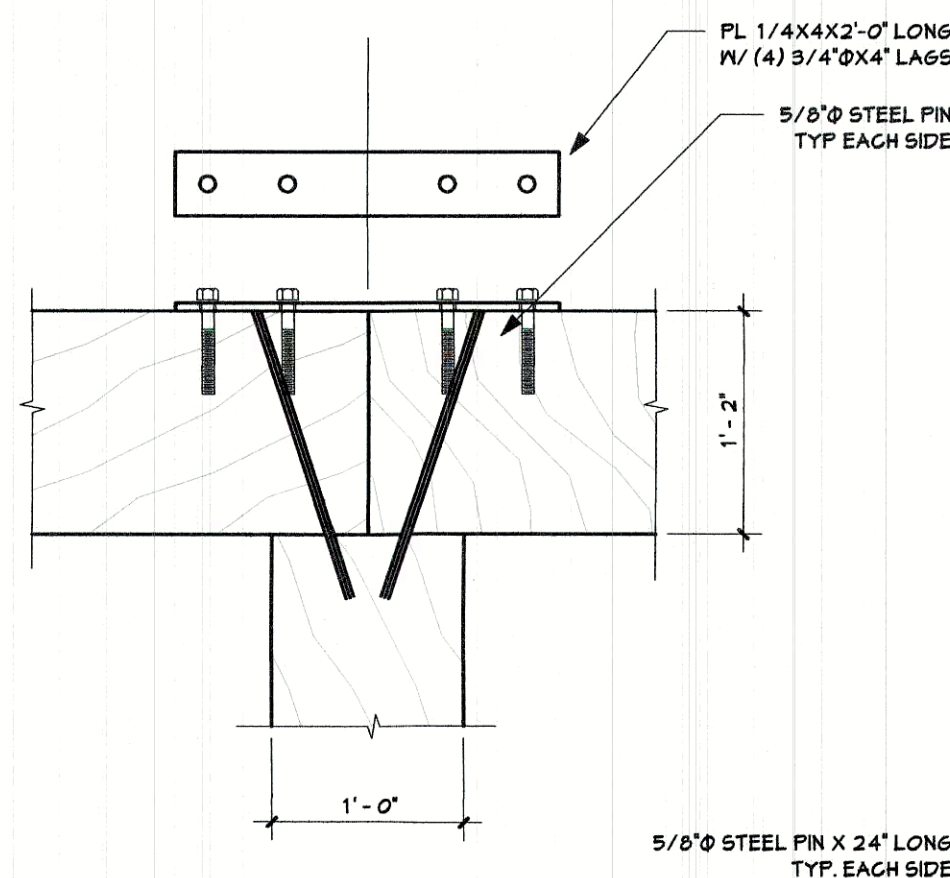
**EXCAVATED PIER W/ PAD**  
1/2" = 1'-0"



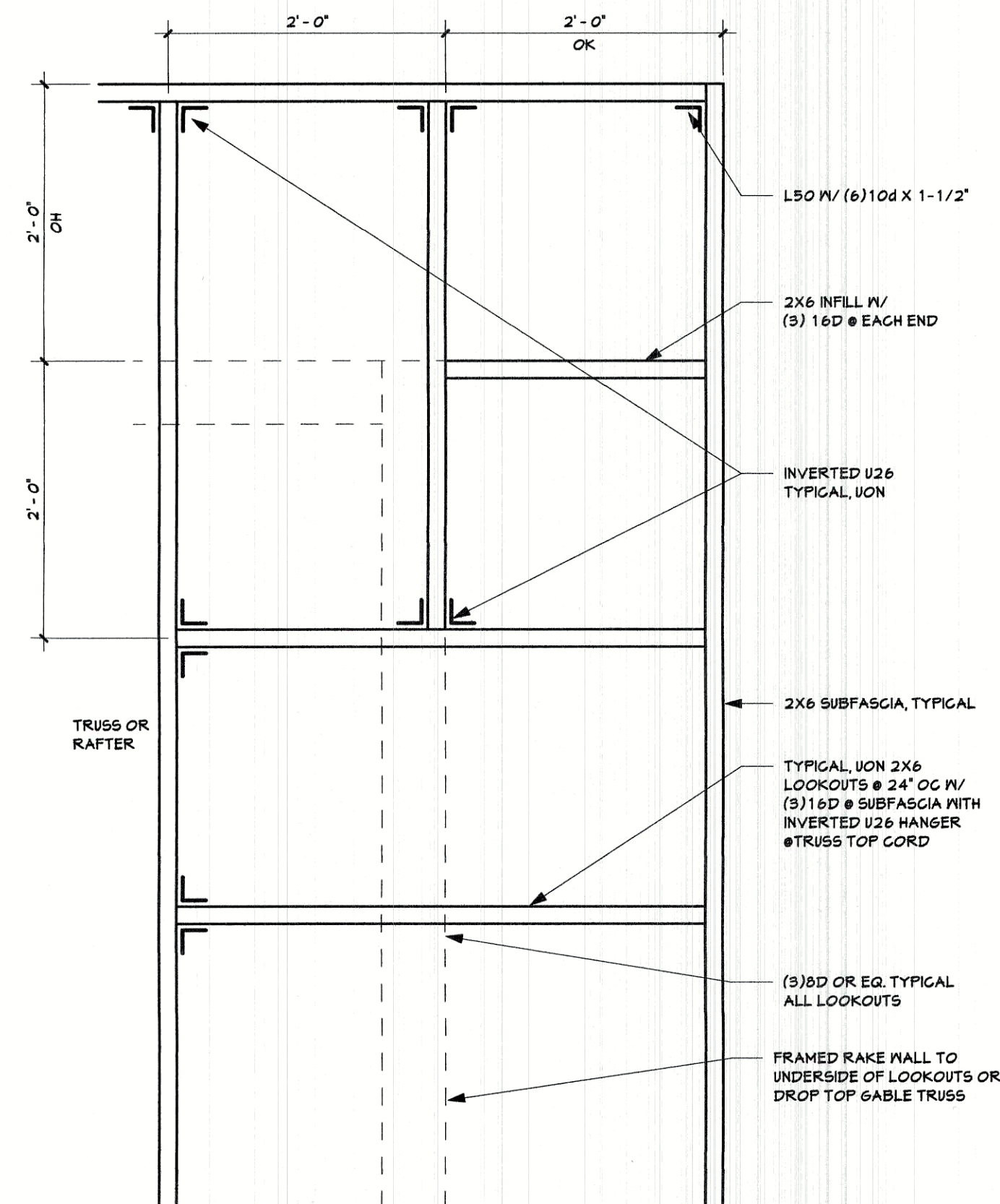
**SOFFIT VENT DETAIL**  
1" = 1'-0"



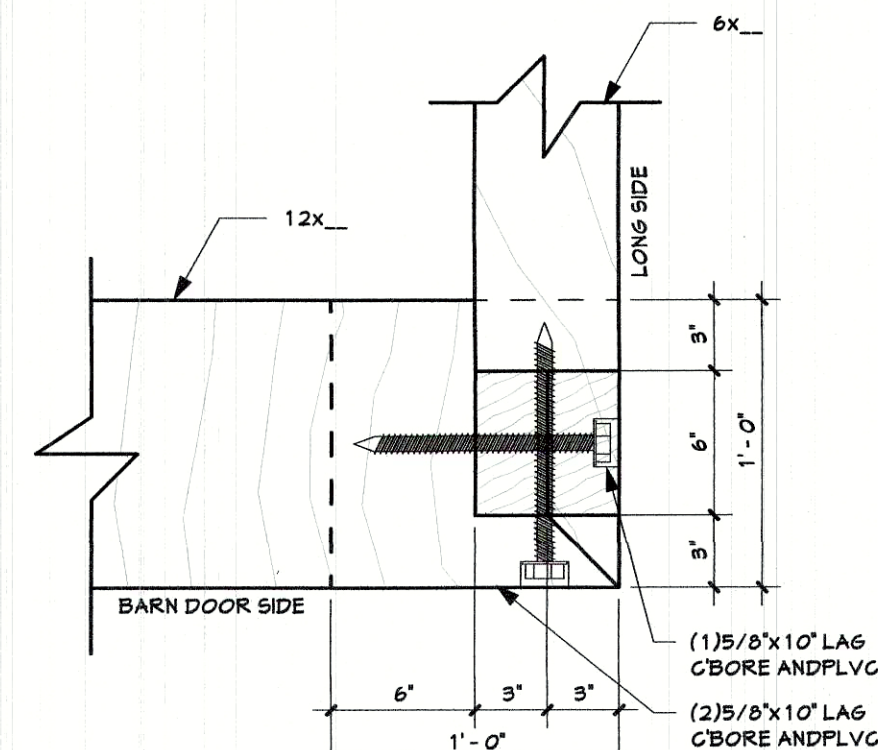
**KNIFE PLATE**  
1 1/2" = 1'-0"



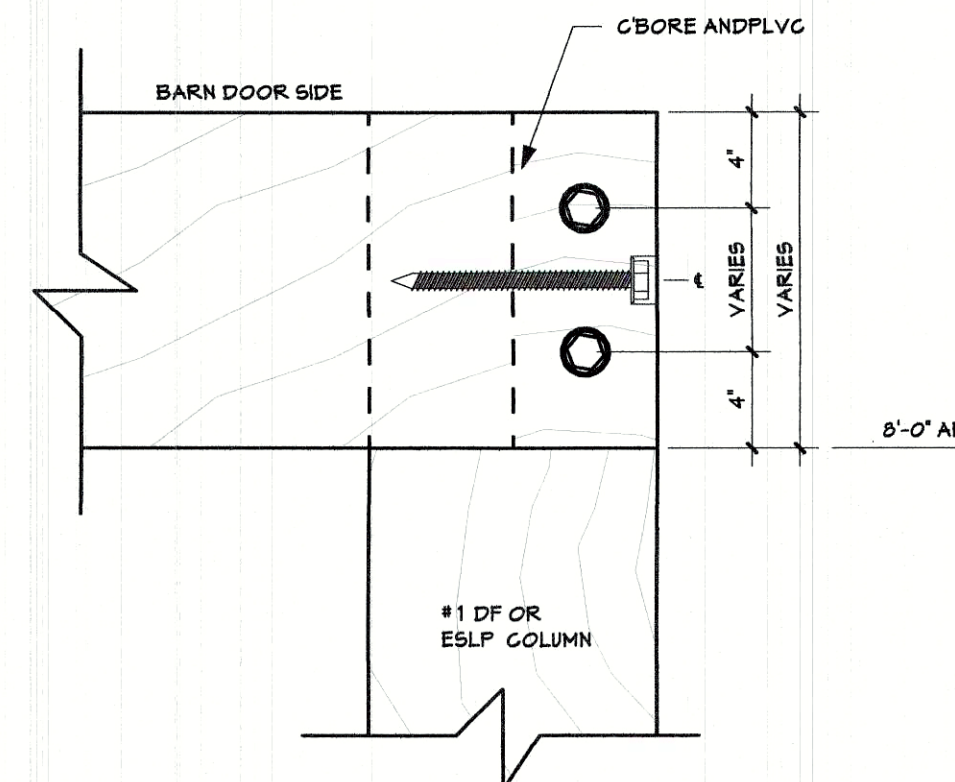
**BEAM SPLICE DETAIL**  
1" = 1'-0"



**CORNER DETAIL**  
1" = 1'-0"

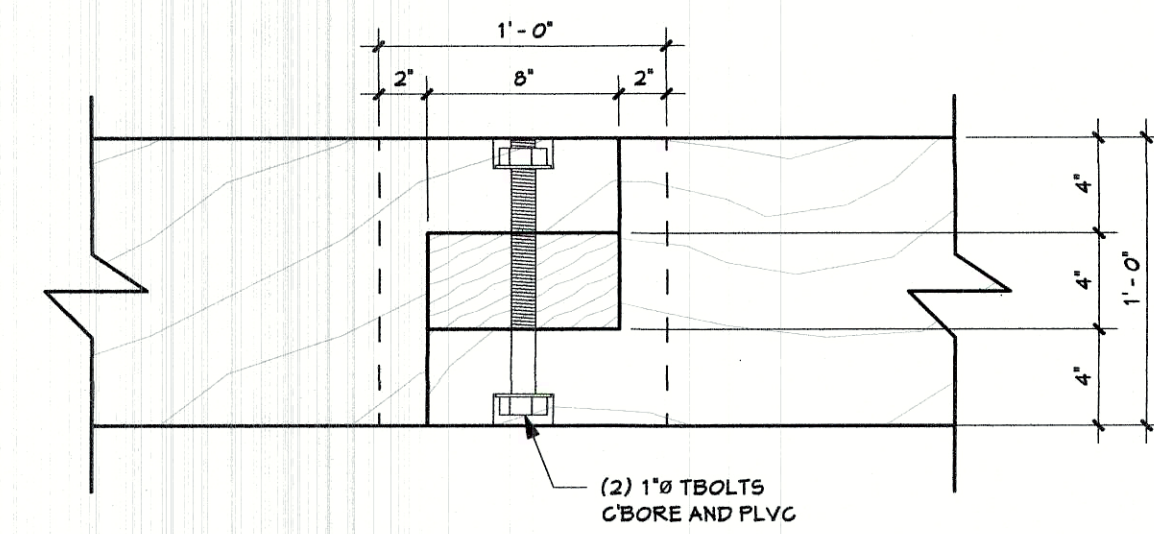


**PLAN VIEW**

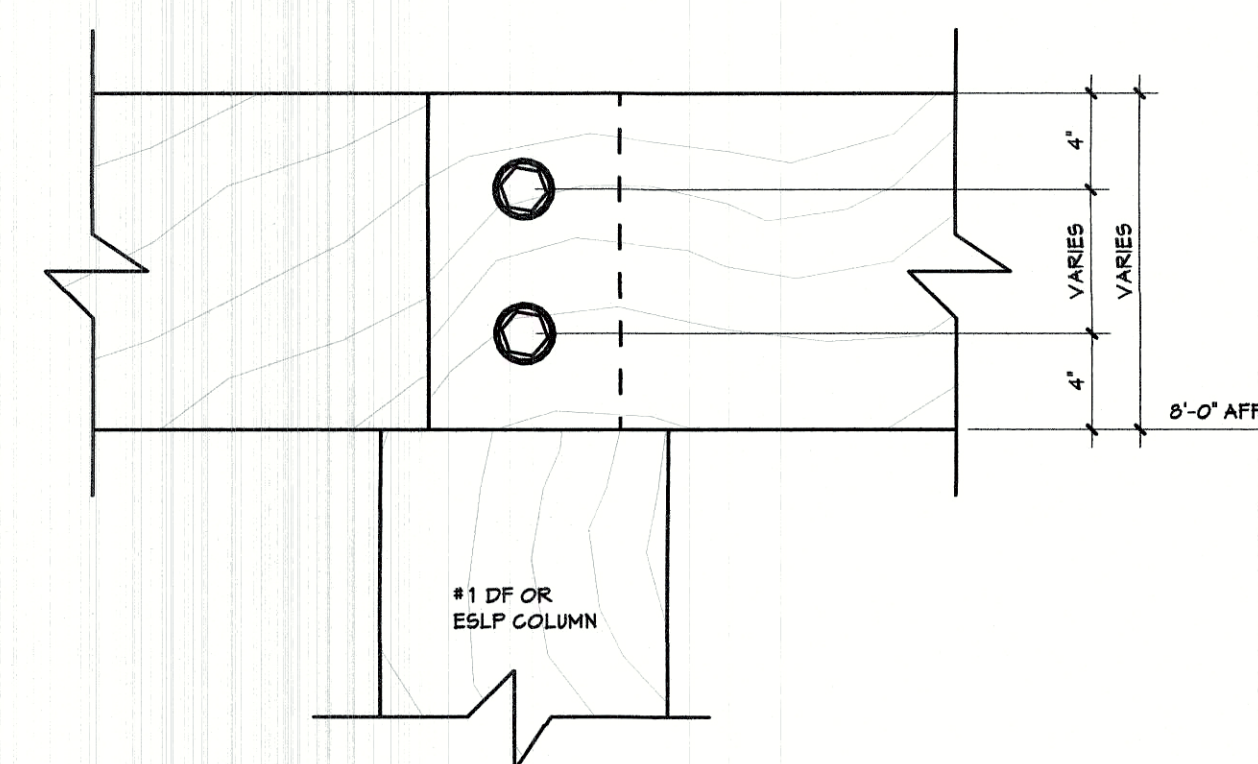


**ELEVATION VIEW**

**BEAM CONNECTION CORNER**  
1 1/2" = 1'-0"



**PLAN VIEW**



**ELEVATION VIEW**

**BEAM CONNECTION T**  
1 1/2" = 1'-0"