

STANDARD NOTES

I, THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES 2. CONCRETE WASTE & MASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE REMOVED FROM THE SITE & PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE WATERS.

3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION & ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPS).

4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS & OBTAINING ALL REQUIRED PERMITS.

5. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE BEEN INSTALLED.

6. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD & CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.

7. ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED COMP 8. SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED:

(1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 30 DAYS

(2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON. 9. INLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS WHERE DRAINAGE AREA IS NOT VEGETATED.

10. BMPS SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. BMPS SHALL BE INSPECTED WEEKLY & AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPS WHEN THE SEDIMENT LEVEL REACHES 1/2 THE HEIGHT OF THE BMP.

11. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES. 12. FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. 13. SURVEY INFORMATION PROVIDED BY ROUTT COUNTY GIS, & MODIFIED BY JAKES DRAFTING SERVICE, INC. FOR USE AS A SITE PLAN

-ALL DISTRUBED AREAS TO BE REVEGETATED

-GRADE AWAY FROM ADDITION 5' @ 2% SLOPE

-ALL GUT/ FILL SLOPES ARE 2:1 MAX UNLESS OTHERWISE NOTED

-SEDIMENT CONTROL DEVICES (WATTLES OR SILT FENCE) TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY

-THERE ARE NO WATER BODIES, RIVERS, STREAMS, LAKES, RESERVOIRS OR PONDS WITHIN 50' OF THE POPOSED STRUCTURE

ZONED: PARCEL ID#: STREET ADDRESS:

LEGAL DESCRIPTION:

SETBACKS 100' FRONTAGE, 50' SIDE & REAR 94631200 23850 TOBIANO TRAI

TR5 IN N2NE4, 52NE4 SEC 36-5-86, TR5 IN NW4NW4 52NM4, N25M4, SM4NE4, NM45E4 SEC 31-5-85

LIST OF ABBREVIATIONS ELECTRICAL LEGEND

A/K/A	ALSO KNOWN AS		MET
4	AND	1 200A 42C	SER
0	AT	Φ	110
- OR APPROX	APPROXIMATELY	Φ	110 BO
Φ	DIAMETER	GFI	110
EBO	ENGINEERED BY OTHERS	φ	GRO
FOG	FACE OF CONCRETE	₩ P	110 GFIC
F05	FACE OF STUD OR FRAMING	REF	110
FT	FOOT / FEET	(((((((((((((((((((REF
FFE	FINISH FLOOR ELEVATION	ARC Ø	110 AR(
н	HEIGHT	п	220
IN	INCH (ES)	(AM
LVL	LAMINATED-VENEER LUMBER	<u> </u>	PLU
MAX	MAXIMUM	\$	SMI
MIN	MINIMUM	\$ ³	зM
NTS	NOT TO SCALE	\$ ⁴	4 W
*	NUMBER	\$ ^D	DIM
00	ON CENTER	ф ^м	SMI
11	PARALLEL	* ,wp \$	SMI
T OR PERP	PERPENDICULAR	\$ ^T	SMI
# OR LB	POINDS	M	EXH VEN
PSF	POUNDS PER SQUARE FOOT	R	LIG
PSI	POUNDS PER SQUARE INCH		FLU
PT OR CCA	PRESSURE TREATED		REC
REBAR	REINFORGING STEEL	т ү г Хос	SUR
REQD	REQUIRED	Q	DEC
R.N.R.	RECOMMENDED NOT REQUIRED	-\$-	DEC
ф <i>о</i> r 5q ft	SQUARE FOOT / FEET		REC
TŧG	TONGUE AND GROOVE		TRA
T#B	TOP AND BOTTOM	(5)	SMO
TYP	TYPICAL	C	CAF
VON	UNLESS OTHERWISE NOTED		TEL
м	MIDTH		TEL
M/	МІТН	, MM	MUL
ммм	WELDED WIRE MESH	T	THE
0	OULUTIN	L	

PLUMBING LEGEND

CENTRAL VACUUM

QUANTITY

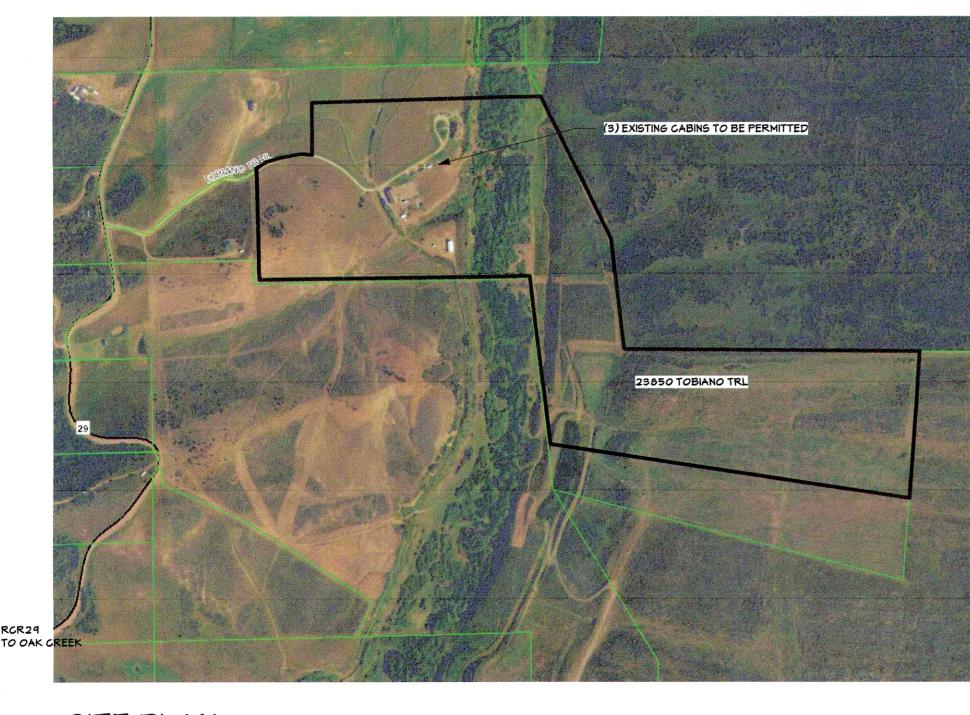
	M	WATER METER
	6	GAS METER
		SHUT OFF VALVE
	•	HOSE BIB, FROST PROOF
H	ء 200	MASHER VALVE & DRAIN BOX

MECHANICAL LEGEND

HEAT EXCHANGER

BOILER BOILER

YAMPA VALLEY ELECTRIC ASSN. INC. No changes to existing service or meter. Approved: Jerry Nanio - YVEA





Nick

TER W/ DISCONNECT

ERVICE PANEL, SIZE AS NOTED

10 VAG DUPLEX RECEPTACLE

10 VAC DUPLEX RECEPTACLE

OTTOM HALF SWITCHED 10 VAC DUPLEX RECEPTACLE,

ROUND FAULT INTERRUPTER

10 VAC DUPLEX RECEPTACLE FIC PROTECTED, WEATHERPROOF

10 VAC DUPLEX RECEPTACLE EFRIGERATOR OR DEDICATED

10 VAC DUPLEX RECEPTACLE. RC-FAULT PROTECTED

20 VAC RECEPTACLE, MPERAGE NOTED

LUG MOULD

NITCH

MAY SMITCH

WAY SMITCH

MMER SMITCH

NITCH, MOMENTARY

NITCH, MATER PROOF

NITCH, TIMED

KHAUST FAN CEM NOTED ENT TO OUTSIDE, W/ DAMPER

GHT/ EXHAUST FAN UNIT

JORESCENT FIXTURE

ECESSED FIXTURE

IRFACE MOUNT FIXTURE ECORATIVE

ALL MOUNT FIXTURE.

ECORATIVE

ECESSED FIXTURE, MALL MASH

RACK LIGHT

MOKE DETECTOR

ARBON MONOXIDE DETECTOR ELEPHONE JACK

ELEVISION JACK

ULTI MEDIA JACK

ERMOSTAT

OVERHEAD DOOR OPERATOR

PHOTO CELL W/ MOTION DETECTOR

MATER HEATER OR ARM STORAGE TANK

EXHAUST FAN, CFM NOTED VENT TO OUTSIDE, W/ DAMPER

FLUE PIPE, SIZE NOTED

RADON GAS VENT STACK

AIR DELIVERY DUCT, SIZE AS NOTED

AIR DELIVERY VERTICAL RISER, SIZE AS NOTED

AIR RETURN VERTIACL RISER, SIZE AS NOTED

Water, sewer and gas if applicable) to be

nstalled, tested and inspected to IRC to include nail plates, vent through roof (VTR) as site built

TABLE R301.2(1) CLIMATIC & GEOGRAPHIC DESIGN CRITERIA GROUND WIND DESIGN SEISMIC DAMAGE FROM WINTER ICE FLOOD AIR MEAN SNOW SPEED TOPO DESIGN WEATH-FROST DESIGN DESIGN BARRIER HAZARD FREEZ ANNUAL LOAD (MPH) EFFECT CATEG ERING DEPTHTERMITE TEMP REQD FIRM N/A 90 NO B SEVERE 48" NONE -15" YES 4FEB05 2239 40-45 F LIVE LOADS USED IN DESIGN (PITCH REDUCED FROM 85 PSF TO) 69 PSF ROOF FLOORS WIND MAXIMUM SOIL BEARING PRESSURE_ MINIMUM DEAD LOAD PRESSURE EQUIVALENT FLUID PRESSURE (EFP REFER TO SOILS REPORT #08-81111 BY NORTHWEST COLORADO CONSULTANTS INC. USED IN

DESIGN FOR ORIGINAL HOUSE FOR ADDITIONAL REQUIREMENTS. ALL RECOMMENDATIONS

REFERENCED IN THE SOILS REPORT SHALL BE ADHERED TO, UNLESS OTHERWISE NOTED (UON).

THE MINIMUM DEAD LOAD PRESSURE CANNOT BE MET WITH THE AS-BUILT CONDITION, THE OWNER ACCEPTS ALL LIABILITY FOR ADVERSE EFFECTS FROM THIS CONDITION. IT IS THE OWNERS RESPONSIBILITY TO DISCUSS & UNDERSTAND ALL POTENTIAL ADVERSE EFFECTS WITHT THE SOILS

REGULATORY REQUIREMENTS ALL CONSTRUCTION SHALL CONFORM TO THE 2009 INTERNATIONAL RESIDENTIAL CODE

DING APPENDIX E) AND STANDARDS AS ADOPTED BY THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT AND THE FOLLOWING 2017 NATIONAL ELECTRICAL CODE (NEC)

009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) LOCAL UTILITY REGULATIONS

ALL COUNTY CODES AND ORDINANC APPLICABLE PROTECTIVE COVENANTS OF THE SUBDIVISION

ALL WORK EXECUTED IN ANY PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTY SHALL BE COMPLETED ACCORDING TO THE SPECIFICATIONS AND REQUIREMENTS OF THAT GOVERNING BODY O. SPECIAL NOTICE

THESE SPECIFICATIONS ARE GENERIC IN NATURE, SOME SECTIONS OR DIVISIONS MAY NOT BE APPLICABLE. SEE SPECIAL CONDITIONS FOR ADDITIONAL INFORMATION

THESE BUILDINGS WERE FACTORY BUILT AND DELIVERED TO THE SITE. THE EXISTING STRUCTURE WAS NOT DESIGNED TO WITHSTAND THE HIGH SNOW LOADS EXPERIENCED IN THIS AREA. STRUCTURE WAS EVALUATED AND REPAIRS ENGINEERED TO PREVENT STRUCTURAL FAILURE DUE TO SNOW LOADS. THE EXISTING FOUNDATION IS NOT FROST PROTECTED AND THE OWNER TAKES RESPONSIBILITY FOR STRUCTURAL DAMAGE DUE TO FOUNDATION SETTLEMENT AND EXPANSION THE EXISTING DECKS ARE LESS THEN 30" TO GRADE AND ARE NOT INCLUDED IN THIS PERMIT. 1. GENERAL REQUIREMENTS

EVERY ATTEMPT HAS BEEN TAKEN TO AVOID OR FLIMINATE ERRORS DURING THE PREPARATION OF THESE PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS WITH ACTUAL FIELD CONDITIONS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE INTERFACE BETWEEN ALL TRADES AND SUBCONTRACTORS, SO AS TO PRESENT A COMPLETE AND FINISHED PRODUCT

ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES AS AMENDED, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THEIR RESPECTIVE TRADES.

THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR JOB SITE SAFETY. JOB SITE SAFETY AND PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION SHALL BE CONTRACTORS RESPONSIBILITY

ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION CONTRACTORS LIABILITY PERSONAL INJURY AND COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. GENERAL CONTRACTOR TO CARRY "BUILDERS RISK" INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE COMPLETED STRUCTURE.

THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS USE TAX SALES TAX AND INSPECTION FEES. SPECIAL INSPECTORS WHEN REQUIRED SHALL BE EMPLOYED BY THE OWNER, ENGINEER RESPONSIBLE FOR THE DESIGN OR AN AGENT OF THE OWNER, BUT NOT BY THE CONTRACTOR OR ANY OTHER PERSON RESPONSIBLE FOR THE WORK.

ALL MATERIALS, EQUIPMENT AND WORKMANSHIP SHALL BE SUBJECT TO A ONE YEAR WARRANTY. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. (IRC R3 19.1)

GENERAL CONTRACTOR IS TO PROVIDE THE OWNER WITH A BOUND COPY OF ALL INSPECTION REPORTS, BUILDING DEPARTMENT CORRESPONDENCE; EQUIPMENT MANUALS, DATED WARRANTIES AND INSTALLATION & MAINTENANCE INSTRUCTIONS: CERTIFICATE OF OCCUPANCY AND LIEN WAIVERS OR RELEASES FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO FINAL PAYMENT. THE GENERAL CONTRACTOR SHALL FAMILIARIZE THE OWNER WITH THE OPERATION OF ALI EQUIPMENT AND APPLIANCES AND CLEARLY LABEL ALL SAFETY VALVES AND CONTROLS FOR THE

MATERIAL SIZES NOTED ON THE PLANS ARE THE MINIMUM ACCEPTABLE. THE USE OF LARGER SIZE, OR STRONGER MATERIALS IS ACCEPTABLE FOR EASE OF CONSTRUCTION OR AESTHETICS, VERIFY THE USE OF ALL SUBSTITUTED MATERIALS WITH THE ENGINEER OF RECORD AND JAKE'S DRAFTING SERVICE, INC.

MAJOR HOUSE SYSTEMS.

2. SITE WORK

CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO PERFORM LL SITE WORK SHOWN OR SPECIFIED IN THESE DOCUMENTS. LL FOOTING BEARING ELEVATIONS SHOWN ARE ASSUMED. EXACT BEARING ELEVATIONS SHALL BE

VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS, BY THE CONTRACTOR, AND WITH THE APPROVAL OF THE ENGINEER AND THE OWNER. OTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE 5HALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET (IRC R401.3

ALL UTILITY LINES EXIST FROM THE BUILDING TO THE UTILITY CONNECTION AS REQUIRED. CO-ORDINATE WITH THE APPROPRIATE UTILITY COMPANY AND BURIED CABLE LOCATION SERVICE AT 800,922,198

ELECTRIC - FROM METER BOX TO TRANSFORMER, CO-ORDINATE WITH YAMPA VALLEY ELECTRIC ASSOCIATION, 970,879,160. THE THERMAL BARRIER IS NOT REQUIRED IN ATTICS OR CRAWL SPACES WHEN EACH OF THE SEWER - FROM 5 FEET OUTSIDE THE FOUNDATION TO SEPTIC TANK TO LEACH FIELD, SEE DESIGN BY

OTHERS. MAINTAIN 5' MINIMUM COVER & 2% MIN SLOPE. WATER - FROM 5 FEET OUTSIDE THE FOUNDATION TO 2,500 GALLON BURIED STORAGE TANK OR WELL HEAD, SEE DESIGN BY OTHERS, MAINTAIN T' MINIMUM COVER

TELEPHONE - FROM TELEPHONE BOX TO PEDESTAL, CO-ORDINATE WITH U.S. WEST OMMUNICATIONS, 800.244.1111. MAINTAIN 18" MINIMUM COVER

GAS - FROM POINT OF CONNECTION TO BURIED LPG TANK, SEE SITE PLAN. MAINTAIN 18" MINIMUM 3. CONCRETE

CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL CONCRETE SHOWN OR NOTED IN THESE DOCUMENTS.

AS NOTED IN THE SOILS REPORT EXPANSIVE SOILS WERE ENCOUNTERED AT THIS SITE EXISTING CONCRETE PADS WERE NOT DESIGNED FOR EXPANSIVE SOILS AND WERE NOT FROST PROTECTED. TIONAL CONCRETE PADS TO BE FOUNDED "IN-KIND" AND OWNER ACCEPTS RESPONSIBILITY FOR FOUNDATION SETTLEMENT AND EXPANSION

FORMS SHALL RESULT IN A FINAL STRUCTURE THAT CONFORMS TO SHAPES, LINES, AND DIMENSIONS OF THE MEMBERS AS REQUIRED BY THE DESIGN DRAWINGS, AND SPECIFICATIONS.

CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE NOTED ON PLANS.

ALL CONCRETE WORK AND REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH ACI BUILDING CODE 3 18-89, ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4" CHAMFER.

ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615-13 AND SHALL BE GRADE 40 MINIMUM OR AS SHOWN ON THE PLANS. ALL REINFORCEMENT SHALL BE COLD BENT UNLESS OTHERWISE PERMITTED BY THE BUILDING OFFICIAL

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT, CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3

CONCRETE EXPOSED TO EARTH OR WEATHER = 1-1/2" CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS, WALLS, JOISTS = 3/4"

BEAMS, COLUMNS = 1-1/2 DEPTH OF FOOTING ABOVE BOTTOM REINFORCEMENT SHALL BE 6" MINIMUM.

PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING AT POSITIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ACI 318-89, WHERE PROVIDED IN SLABS ON GROUND REINFORCEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO THE UPPER 1/3 OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT. (R506.2.4)

ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE II A PORTLAND CEMENT, FIVE-SACK MIX, WITH 5% MINIMUM TO 7% MAXIMUM ENTRAINED AIR AND 3/4" MAXIMUM STONE AGGREGATE SIZE. CONCRETE SHALL DEVELOP 2 500 PSI COMPRESSIVE STRENGTH IN 28 DAYS FOR BASEMENT SLABS, 3,000 PSI FOR WALLS AND 3,500 PSI FOR PATIOS, STEPS, GARAGE SLAB AND WEATHER EXPOSED CONCRETE, MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN CHAPTER 3 OF ACI 318 OR ACI 332. ONCRETE SHALL BE PLACED WITH A 4" MAXIMUM SLUM, SHALL NOT BE PLACED ON FROZEN, MUDD"

OR SATURATED SOIL AND SHALL BE PROTECTED FROM FREEZING FOR 7 DAYS. DURING COLD WEATHER, PROVIDE TEMPORARY HEAT AS REQUIRED TO PREVENT "FROST DAMAGE" TO ALL FOOTINGS, WALLS, SLABS AND PIERS,

CONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING PLACEMENT AND BE THOROUGHLY WORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FORMS. 4. MASONRY - NO WORK THIS SECTION

5. METALS

MANUFACTURER'S INSTRUCTIONS

CR 29 to Tobiano Trail, with no bridges between the county road and any structure

We do not have any bridges that would be used for any traffic. All access to structures is from

are not a house or the cabins are agriculture buildings.

ALL STRUCTURAL STEEL AND MISCELLANEOUS EMBEDDED ITEMS SHALL CONFORM TO ASTM A36. ALL BOLTS (INCLUDING ANCHOR BOLTS) SHALL CONFORM TO ASTM A30

MISCELLANEOUS CLIPS, ANCHORS AND CONNECTORS SHALL BE SIMPSON "STRONG TIE" OR ICBO APPROVED EQUAL UNLESS OTHERWISE NOTED, REFER TO SIMPSON CATALOG FOR APPROPRIATE NAILING WHEN NOT SPECIFIED ON PLANS. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH

The two cabins with darker roofs are the one-bedroom cabins B-17-613 and B-17-614 (this set) and the cabin with the white roof is the studio cabin

B-17-615. The darker roof cabins have the same exact construction and floor plan. We are not are not offering the lodge for lodging. Any structures that

CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND EQUIPMENT TO FRAME UP. SHEATH

PRESSURE PRESERVATIVE TREATED WOOD.

6. CARPENTRY

AND TRIM OUT BUILDING AS SHOWN OR SPECIFIED IN THESE DOCUMENTS. ALL 2" FRAMING LUMBER SHALL BE STRESS RATED S-DRY DOUGLAS FIR OR LARCH (DF-L) 545. #2 OR BETTER, ALL SOLID TIMBER BEAMS AND POSTS SHALL BE S-DRY DOUGLAS FIR OR LARCH (DF-

L) 545, # 1 OR BETTER PREFABRICATED WOOD MEMBERS SHALL BE OF THE TYPE NOTED ON THE PLANS AND SHALL BE MICRO-LAM (LVL), TIMBERSTRAND (LSL), PARALLAM (PSL), OR TJI AS MANUFACTURED BY TRUS-

JOIST MACMILLAN OR APPROVED EQUAL I-JOISTS AND LAMINATED LUMBER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS. ALL LUMBER AND PLYWOOD USED IN EXTERIOR FOUNDATION WALLS (EXCEPT THE UPPER TOP

LATE), SHALL BE PRESSURE-PRESERVATIVE TREATED IN ACCORDANCE WITH AMPAUT AND SHALL BEAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.60 RETENTION. (IRC R402.1.2) WOOD COLUMNS SHALL BE APPROVED WOOD OF NATURAL DECAY RESISTANCE OR APPROVED

EXCEPTION: COLUMNS EXPOSED TO WEATHER OR IN BASEMENTS OR CRAWL SPACES WHEN SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING 1" ABOVE A CONCRETE FLOOR AND 6" ABOVE EXPOSED EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER (IRC R3 17, 1, 4)

FASTENERS IN PRESSURE PRESERVATIVE & FIRE RETARDANT TREATED WOOD ABOVE GRADE SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. (IRC R3 17.3.1)

EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.

. THERMAL AND MOISTURE PROTECTION

OR SPECIFIED IN THESE DOCUMENTS.

NOT TO EXCEED 450. (IRC R302.10)

2. CELLULOSE LOOSE-FILL INSULATION

PPROVED THERMAL BARRIER. (IRC R3 16.4)

LESS THAN .0160". (IRC R316.5.3 \$.4)

TESTED IN ACCORDANCE WITH SECTION R316.6

EXTERIOR WINDOW & DOOR OPENINGS

6. AT WALL AND ROOF INTERSECTIONS.

WOOD FRAME CONSTRUCTION.

SECTION R303.1)

WALL AND

(IRC R316.5.2)

FOLLOWING APPLIES

THE ENDS OF EACH JOIST. BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1-1/2 INCHES BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED BY THE USE OR APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM OF 3 INCHES AND BE NAILED TOGETHER W/ A NIMUM OD (3) 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A BEAM OR GIRDER, SHALL BI SUPPORTED BY APPROVED FRAMING ANCHORS OF THE APPROPRIATE SIZE AND CAPACITY. (IRC

NOTCHES IN SOLID LUMBER JOISTS RAFTERS OR BEAMS SHALL NOT EXCEED 1/6 OF THE MEMBER EPTH, SHALL NOT BE LONGER THAN 1/3 OF THE MEMBER DEPTH AND NOT BE LOCATED IN THE MIDDLE 1/3 OF THE SPAN NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/4 OF THE MEMBER DEPTH, THE TENSION SIDE OF MEMBERS 4" OR GREATER SHALL NOT BE NOTCHED EXCEPT AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SH NOT EXCEED 1/3 THE DEPTH OF THE MEMBER HOLES SHALL NOT BE CLOSER THAN 2 INCHES TO THE TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE OR NOTCH LOCATED IN THE MEMBER

OPENINGS IN FLOOR, CEILING AND ROOF FRAMING SHALL BE FRAMED WITH A HEADER ANI TRIMMER JOISTS AND SHALL BE DOUBLED OR OF EQUIVALENT CROSS SECTION WHEN THE SPAN OF THE HEADER EXCEEDS 4' THE ENDS OF HEADER JOISTS MORE THAN 6' LONG SHALL BE SUPPORTED RAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON A BEAM. PARTITION OR WALL, (IRC R502.10 # R802.9

FIELD GUT ENDS NOTCHES AND DRILLED HOLES OF PRESSURE PRESERVATIVE TREATED WOOD SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AWPA M4. (R3 17.1.1.

EACH END OF A HEADER SHALL HAVE A MINIMUM BEARING LENGTH OF 1-1/2" FOR THE FULL WIDTH OF THE HEADER. LVL HEADERS SHALL HAVE A MINIMUM BEARING LENGTH OF 3" FOR THE FULL WIDTH OF THE HEADER. PROVIDE DOUBLED "KING STUDS" AT ALL OPENINGS OVER 10' WIDE. MINIMUM NAILING SHALL BE AS SPECIFIED IN TABLE R602.3(1)

CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND EQUIPMENT TO INSTALL INSULATION

VAPOR BARRIERS & RETARDERS, FLASHINGS, WATERPROOFING AND ROOF COVERING AS DETAILED

UNDER-FLOOR OR CRAWLSPACE AREAS SHALL HAVE VENTILATION OPENINGS IN THE FOUNDATION

WALL OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS

GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL WHEN A CLASS 1

HAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA UNLESS THE

VAPOR RETARDER MATERIAL IS USED THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT

SUCH VENTILATING OPENING SHALL BE LOCATED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

(IRC R408.1) OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH

PROVIDE CROSS-VENTILATION OF THE SPACE THE INSTALLATION OF OPERABLE LOUVERS SHAL

GRAVEL BALLAST, RUFCO "SUPER SAMPSON" OR "TU TUF #4" MEMBRANES OR "BARRIER X5".

VENTILATION OPENINGS IN UNDER FLOOR SPACES SHALL NOT BE REQUIRED WHER

SULATED IN ACCORDANCE WITH SECTION N 1 102.2.9. (IRC R 408.3)

EXCEPTION: BASEMENT OR BELOW GRADE PORTION OF ANY WALL.

INSTALLED IN SUBSTANTIAL CONTACT WITH THE SURFACE OF THE FINISH.

PPENINGS OF 1/8" OR LESS. (IRC R408.2) THE REQUIRED OPENINGS SHALL BE PLACED SO AS TO

NOT BE PROHIBITED. APPROVED VAPOR RETARDERS ARE 6 MIL POLYETHYLENE FILM WITH 2" PEA

I, THE EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS 1 VAPOR RETARDER, JOINTS OF

THE VAPOR RETARDER SHALL OVERLAP 6" AND SHALL BE SEALED OR TAPED AND THE EDGES

XTEND UP THE STEM WALL AT LEAST 6" MINIMUM AND ARE ATTACHED AND SEALED TO THE STEM

2. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATOR OR CONDITIONED AIR SUPPL

SIZED TO DELIVER 1 CFM FOR EACH 50 SF OF CRAWL SPACE AREA. PROVIDE AIR PATHWAY TO THE COMMON AREA VIA DUCT OR TRANSFER GRILL. FOUNDATION PERIMETER WALLS SHALL BE

A CLASS I OR II VAPOR RETARDERS ARE REQUIRED ON INTERIOR SIDE OF FRAMED WALLS. (IRC

INSULATION MATERIALS, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE

EMBRANES SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY

1. WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES PROVIDING THE FACING IS

FOAM PLASTIC INSULATION SHALL COMPLY WITH IRC R316.1 UNLESS OTHERWISE ALLOWED IN

SECTION R3165 OR R3166 FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF THE

UILDING BY AN APPROVED THERMAL BARRIER OF MINIMUM 1/2 INCH GYPSUM WALLBOARD. OR AN

THE THERMAL BARRIER IS NOT REQUIRED WHEN THE FOAM PLASTIC IS IN A ROOF ASSEMBLY AND

SEPARATED FROM THE INTERIOR BY T&G WOOD PLANKS OR WOOD STRUCTURAL PANEL SHEATHING.

1 ACCESS IS REQUIRED BY SECTION R807.1 (ATTIC) OR R408.4 (CRAWL SPACE)

WHEN THE FOAM PLASTIC INSULATION IS PROTECTED FROM IGNITION USING ONE OF THE

WOOD STRUCTURAL PANELS; 3/8" PARTICLE BOARD; 1/4" HARDBOARD OR 3/8" GYPSUM

FOLLOWING IGNITION BARRIER MATERIALS: 1-1/2" THICK MINERAL FIBER INSULATION: 1/4" THICK

WALLBOARD OR CORROSION RESISTANT SHEET METAL HAVING A BASE METAL THICKNESS OF NOT

THE ABOVE IGNITION BARRIER IS NOT REQUIRED WHERE THE FOAM PLASTIC INSULATION HAS BEEN

ECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND

EILINGS WHERE FRAMING SPACING DOES NOT EXCEED 12" OC FOR 1/2" THICK OR 16" OC FOR 5/8"

HICK GYPSIJM WALL BOARD WATER RESISTANT GYPSIJM BOARD SHALL NOT BE INSTALLED OVER A

WALL PANELS IN SHOWER AREAS, WATER RESISTANT GYPSUM BACKING BOARD MAY BE USED FOR

CLASS I OR II VAPOR RETARDER. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED

HUMIDITY REGULAR GYPSUM WALL BOARD IS PERMITTED UNDER THE OR WALL PANELS IN OTHER

EXTERIOR OPENINGS EXPOSED TO WEATHER SHALL BE FLASHED SO AS TO BE WATERPROOF.

PPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A

MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO

THE BUILDING STRUCTURAL COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE

2. AT INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO

5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF

PROVIDE BASE AND CAP, SIDEWALL AND OTHER FLASHINGS AT ALL ROOF AND VERTICAL

SURFACE INTERSECTIONS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (IRC 905.2.8)

AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED (IRC

VENTILATION OF BATHROOMS, WATER CLOSET COMPARTMENTS AND SIMILAR ROOMS WITHOUT

ONTINUOUS VENTILATION. VENTILATION AIR FROM THE SPACE SHALL BE DIRECTLY EXHAUSTED TO

.5 SONES OR LESS WITH TIMER OR HUMIDISTAT CONTROL. SEE PLAN VIEW FOR REQUIRED CFM

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED

SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW PER IRC

SECTION R806.1. OPENINGS SHALL BE COVERED WITH 1/8" CORROSION RESISTANT MESH. (IRC

WHERE EVE VENTS ARE INSTALLED. INSULATION OR BLOCKING SHALL NOT BLOCK THE AIR FLOW, A

THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE SPACE BEING

(ENTILATED EXCEPT THAT A REDUCTION TO 1/300 IS PERMITTED WHEN A CLASS I OR II VAPOR

MINIMUM OF 1" SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING

RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.

DIRECTLY TO THE UNDERSIDE OF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARAT

HE OUTSIDE. (IRC R303.3) PROVIDE ENERGY-STAR QUALIFIED BATHROOM FANS WITH A RATING OF

VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT USE OR 20 CFM

NATURAL VENTILATION OF ALL HABITABLE ROOMS SHALL BE PROVIDED. THE MINIMUM OPENABLE

PERABLE WINDOW PROVIDING 1.5 SQUARE FEET OPENING, SHALL BE PROVIDED BY A MECHANICAL

FIBER-CEMENT FIBER MAT REINFORCED CEMENT GLASS MAT GYPSUM BACKERS OR FIBER

REINFORCED GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS'

WHERE THERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CON

WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH TABLE R 102.3.8.

WALLS, WITH PROJECTING LIPS UNDER STUCCO COPING. 3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS.

EXTERIOR WALL FINISH IN THE FOLLOWING LOCATIONS: (R703.8)

CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

2. THE SPACE IS ENTERED ONLY FOR PURPOSES OF REPAIR OR MAINTENANCE.

BE LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA ONE

8. DOORS AND WINDOWS CONTRACTOR SHALL SUPPLY AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED SCHEDULED AND/OR SPECIFIED IN THESE DOCUMENTS

WINDOWS AND DOORS UNIT U VALUE TO BE 0.35 MAXIMUM. ALL OPERABLE UNITS TO BE PROVIDED WITH SCREENS. (R612.1) ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8

PERCENT OF THE FLOOR AREA OF SUCH ROOMS. (IRC R303.1 EXCEPTION 2: THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE ARTIFICIAL LIGHT IS ROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7

SQUARE FEET. (R310.1.1) EXCEPTION : GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE

THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (IRC 3 10.1.2) THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (IRC 3 10.1.3) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. (IRC 310.1.4) SEE IRC SECTION R308.4 FOR HAZARDOUS LOCATIONS WHERE SAFETY GLAZING IS REQUIRED.

ACCESS SHALL BE PROVIDED TO ALL UNDER FLOOR AREAS EITHER THROUGH AN 18" X 24 ACCESS PANEL THROUGH FLOORS OR 16" X 24" ACCESS PANEL THROUGH A PERIMETER WALL (IRC

SECTION R408.4)

13. ENERGY EFFICIENCY

PROVISIONS) AND EITHER

0.35

POSSIBLE

IMPORTANT NOTE!

FOR INSPECTION.

(IECC 402.5

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO FINISH ROOMS AND BUILDING XTERIOR AS DETAILED, SCHEDULED AND / OR SPECIFIED IN THESE DOCUMENTS. ROOFING MATERIAL TO BE 29 GAUGE STEEL, PRO-PANEL IL SIDING TO BE HALF LOG CEDAR, TRIM TO BE 1X4 WESTERN RED CEDAR, STAIN COLOR PER OWNER.

10. SPECIALTIES - NO WORK THIS SECTION 11. EQUIPMENT - NO WORK THIS SECTION 12. DEFENSIBLE SPACE - NO WORK THIS SECTION

HE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT HAS ADOPTED THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC). THIS PROJECT SHALL COMPLY WITH SECTIONS 401, 402.4. 402.5 AND 403.1, 403.2.2, 403.2.3 and 403.3 THROUGH 403.9 (REFERRED TO AS THE MANDATOR

SECTIONS 402.1 THROUGH 402.3 403.2.1 AND 404.1 (PRESCRIPTIVE): OR 2. SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH (PERFORMANCE). THE DESIGNER MAY CHOOSE EITHER SECTION 402.1.2, 402.1.3 OR 402.1.4. TABLES 402 1 1 # 402 1 3 FOR CLIMATIC 70NE 7

A R-VALUES SHOWN ARE MINIMUMS U-FACTORS SHOWN ARE MAXIMUMS

FENESTRATION SKYLIGHT CEILINGS FRAMED MASS FLOORS BASEMENT SLAB CRAWL SPACE WALLS FACTOR FACTOR R-49 R-21 R-19/21 R-38 R-15/R-19 R-10, 4' R-10/R-13 0.60 0.026 0.057 0.057 0.028 0.050 0.065 THERE ARE NO REQUIREMENTS FOR SOLAR HEAT GLAZING COEFFICIENTS

C. THE FIRST R-VALUE IS FOR CONTINUOUS INSULATION, THE SECOND R-VALUE IS FOR CAVITY INSULATION FITHER SYSTEM MEETS THE REQUIREMENT d. R-5 SHALL BE ADDED TO THE SLAB EDGE R-VALUE FOR HEATED SLABS 9. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIM

THE THICKNESS OF BLOWN IN OR SPRAYED (FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES ON MARKERS WITH NUMBERS 1" TALL. MARKERS SHALL FACE THE ATTIC ACCESS OPENING AND BE PROVIDED FOR EACH 300 SF OF ATTIC AREA. (N1101.4.1)

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL OR THE WALL NEAREST THE FURNACE/BOILER LISTING THE PREDOMINANT R-VALUES OF INSULATION NSTALLED BY COMPONENT, U-FACTORS FOR FENESTRATION AND THE TYPE AND EFFICIENCY OF HEATING COOLING AND WATER HEATING EQUIPMENT. (IECC 401.3)

TO MEET THE PRESCRIPTIVE REQUIREMENTS, THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE 402.1.1. BUILDING WILL NOT MEET PRESCRIPTIVE REQUIREMENTS TO MEET THE TOTAL UA ALTERNATIVE REQUIREMENTS, THE TOTAL BUILDING THERMAL ENVELOPE UA MUST BE LESS THAN OR EQUAL TO THE TOTAL UA RESULTING FROM USING THE U-FACTORS IN ABLE 402.1.3, THE BUILDING SHALL BE CONSIDERED IN COMPLIANCE WITH TABLE 402.1.1 SEI ATTACHED RESCHECK COMPLIANCE REPORT.

WHERE CEILINGS HAVE ATTIC SPACES, R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHENEVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL OP PLATE AT THE EVES. (IECC 402.2.1) - PROVIDE R-49 BATT INSULATIN AS SHOWN ON DETAIL

FOR CEILINGS WITHOUT ATTIC SPACES, WHERE SECTION 402.1.1 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30 BUT SHALL BE LIMITED TO 500 SF OF CEILING AREA MAXIMUM (IECO 402.2.2) - PROVIDE R-30 CORBOND OR EQ AT RAKED CEILING PER DETAIL 1/51 ATTIC ACCESS NOT REQUIRED PER IRC R807

FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING. (IECC 402.2.6) - PROVIDE R-30 SPRAY FOAM INSULATION MEETING THE REQUIREMENTS OF IRC R3 16.6 SPECIFIC APPROVAL THERMAL BARRIER PER R3 16.5.4 IS NOT

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH A AIR BARRIER MATERIAL SUITABLE FILM OR SOLID MATERIAL

JOINTS SEAMS PENETRATIONS: SITE BUILT WINDOWS DOORS AND SKYLIGHTS: OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING; UTILITY PENETRATIONS: DROPPED CEILINGS OR CHASES AD JACENT TO THE THERMAL ENVELOPE: KNEE WALLS: WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES; BEHIND TUBS ND SHOWERS ON EXTERIOR WALLS; COMMON WALLS BETWEEN DWELLING UNITS; ATTIC ACCESS OPENINGS; RIM JOIST JUNCTION AND OTHER SOURCES OF AIR INFILTRATION. (IECC 402.4.1)

BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION SHALL BE DEMONSTRATED TO COMPLY WITH ITHER THE TESTING OPTION (IECC 402.4.2.1) OR THE VISUAL TESTING OPTION (IECC 402.4.2.2) SEE "ENERGY CODE CHECKLIST FOR RESIDENTIAL CONSTRUCTION" PROVIDED BY RCRBD FAILURE TO COMPLY WITH BOTH OPTIONS WILL REQUIRE A SIMULATED PERFORMANCE TEST PER SECTION 405 ESTING BY SPECIAL INSPECTION BY AN APPROVED PARTY. NOTIFY MOUNTAIN ENERGY, INC. CHAD FEAGLER 970.393.2202

TESTING OPTION 402.4.2.1 - BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION SHALL BE CONSIDERED ACCEPTABLE WHEN TESTED AIR LEAKAGE IS <7 ACH50. TESTING SHALL OCCUR FTER ROUGH INSPECTION. TESTING BY SPECIAL INSPECTION BY AN APPROVED PARTY. NOTIFY MOUNTAIN ENERGY, INC. CHAD FEAGLER, 970.393.2202

VISUAL INSPECTION METHOD 402.4.2.2 - BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION SHALL BE CONSIDERED ACCEPTABLE WHEN ALL ITEMS LISTED IN TABLE 402.4.2 ARE IELD VERIFIED VISUAL INSPECTIONS WILL BE PERFORMED BY THE RCRBD. REQUEST INSPECTION FOR EACH COMPONENT OF TABLE 402.4.2 WHILE THE COMPONENT IS STILL VISIBLE & AVAILABLE

WINDOWS SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT AND SWINGING DOORS NOT MORE THAN 0.5 CFM PER SQUARE FOOT. (IECC 402.4.4)

EXCEPTIONS: SITE BUILT WINDOWS, SKYLIGHTS AND DOORS RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO IMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES, SHALL BE IC RATED & ABELED AS MEETING ASTME 283 AND SEALED W/ A GASKET OR CAULK BETWEEN THE HOUSING AND WALL OR CEILING COVERING. (IECC 402.4.5)

THE AREA WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR USING TRADE-OFFS FROM CTION 402.1.4 OR 405 SHALL BE 0.40 FOR VERTICAL FENESTRATION AND 0.75 FOR SKYLIGHTS. ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE

SEALED, JOINTS AND SEAMS SHALL COMPLY WITH SECTION M 1601.4.1 OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) (IECC 403.2.2) DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER A PRECONSTRUCTION TEST OR A ROUGH-IN TEST BOTH REQUIRE SPECIAL INSPECTION BY AN PPROVED PARTY, NOTIFY MOUNTAIN ENERGY CONSULTANTS, INC. CHAD FEAGLER, 970.393.2202 EXCEPTION: DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE

LOCATED WITHIN CONDITIONED SPACE. (IECC 403.2.2) BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS. (IECC 403.2.3) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW

55 DEGREES F SHALL BE INSULATED TO R-3 MINIMUM. (IECC 403.3) ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO R-2 MINIMUM SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH TO TURN OFF THE IRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (IECC 403.4)

OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AN AUTOMATIC OR GRAVITY DAMPER THAT OSES WHEN THE VENTILATION SYSTEM IS NOT OPERATING. (IECC 403.5) HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION M1401.3, OF THE IRC.; ACCA MANUAL J OR OTHER APPROVED METHODOLOGY. (IECC 403.6) MECHANICAL CONTRACTOR TO PROVIDE CALCULATIONS BY DEFERRED SUBMITTAL SEE ATTACHED HEAT LOSS

mmmm A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS. (IECC 404)

AS DESIGNED THIS HOUSE WILL NOT COMPLY WITH THE PRESCRIPTIVE PATH, SECTIONS 402.1 THRU

403.6. THE HOME MUST BE EVALUATED UNDER SECTION 402.1.4 TOTAL VA ALTERNATIVE PATH OR

SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH (PERFOR

COMPLETED BY AN ACCREDITED RESNET RATER.

AS DESIGNED THIS HOUSE WILL COMPLY WITH THE UA ALTERNATIVE PATH, SECTIONS 402.1.4. IF IELD DECISIONS OR SUBSTITUTIONS ARE MADE RESULTING IN FAILURE TO COMPLY WITH SECTION 402, 1.4. TOTAL UA ALTERNATIVE, SEE ATTACHED RESNET COMPLIANCE CERTIFICATE., THE HOME MUST BE EVALUATED UNDER SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH PERFORMANCE). THIS EVALUATION OR TESTING WILL BE BY OTHERS AT THE OWNER'S EXPENSE AND SHALL REQUIRE A COMPLETED BUILDING RATING SHOWING COMPLIANCE WITH THE 2009 IECC TO BE UBMITTED PRIOR TO "CERTIFICATE OF OCCUPANCY" AND THIRD PARTY INSPECTIONS TO BE

16. ELECTRICAL

INTERCONNECTION.

ACCORDANCE WITH R315.1

SPECIAL NOTICE

CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND EQUIPMENT TO INSTALL ALL WIRING AND RELATED FIXTURES. ALL WORK SHALL COMPLY WITH IRC PART VIII - ELECTRICAL, CHAPTERS 3 THRU 41, THE 2011 NEC, STATE AND LOCAL CODES AND ORDINANCES.

THE ELECTRICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL DESIGN OF THE SYSTEMS AS WELL AS THE EXECUTION OF THE WORK ACCORDING TO ACCEPTED STANDARDS OF ENGINEERING WORKMANSHIP AND REGULATORY REQUIREMENTS. ELECTRICAL CONTRACTORS TO VIDE ADDITIONAL DRAWINGS, SPECIFICATIONS AND ENGINEERS CERTIFICATION AS REQUIRED BY FEDERAL, STATE, OR LOCAL LAWS AND BUILDING DEPARTMENT JURISDICTION.

VERIFY SERVICABILITY AND ADEQUATE CAPACITY OF EXISTING 100 AMP. 12 CIRCUIT SUB-PANEL NITH DISCONNECT, SERVICED FROM THE EXISTING HOUSE AT THE LOCATION NOTED ON THE PLANS. SERVICE PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS OTHES CLOSETS OR IN BATHROOMS. (IECC E3 105.1) SERVICE CONDUCTORS AND EQUIPMENT TO BE SIZED PER IRC CHAPTER 36.

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: (IRC R314.1) 1. IN EACH SLEEPING ROOM. 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED THE DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP.

ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. WHEN ALTERATIONS REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE DWELLING UNIT SHALL BE

EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. (IRC R314.3.1) EXCEPTION: INTERCONNECTED AND HARD WIRING OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND

FOR NEW CONSTRUCTION AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED OR HAVE ATTACHED GARAGES. (IECC 315.1)

WHERE WORK REQUIRING A PERMIT OCCURS IN EXISTING DWELLINGS WITHIN WHICH FUEL FIRED APPLIANCES EXIST OR HAVE ATTACHED GARAGES CARBON MONOXIDE ALARM PROVIDED IN

SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND INSTALLED IN ACCORDANCE WITH THIS CODE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

ANY DISCREPANCY IN DIMENSIONS AND/OR DRAWINGS AND/OR GRAPHIC REPRESENTATION AND/OR FIELD MEASUREMENTS SHALL BE BROUGHT TO THE ATTENTION OF JAKE'S DRAFTING SERVICE, INC. PRIOR TO THE COMMENCEMENT OF ANY WORK.

ANY DEVIATION FROM THESE PLANS IS EXPRESSLY FORBIDDEN WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY JAKE'S DRAFTING SERVICE INC. AS THE DESIGNER: THE OWNER: THE ENGINEER AND THE GENERAL CONTRACTOR. THESE SPECIFICATIONS ARE GENERAL IN NATURE. SOME DIVISIONS OR SECTIONS MAY NOT BE APPLICABLE. BUILDERS PLANS

THE CONTRACTOR WARRANTS TO JAKE'S DRAFTING SERVICE INC. THAT HE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OWN COMPETENCE. THE CONTRACTOR OR OWNER HAS RESTRICTED JAKE'S DRAFTING SERVICE, INC'S SCOPE OF PROFESSIONAL SERVICES. IN RELIANCE OF THE CONTRACTOR'S WARRANTY AND AT THE EXPRESS REQUEST OF THE CONTRACTOR OR OWNER JAKE'S DRAFTING SERVICE, INC. HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WIL EQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDER'S PLANS." IN THE EVENT ADDITIONAL DETAILS OR IDANCE ARE NEEDED BY THE CONTRACTOR OR OWNER, FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT HE SHALL IMMEDIATELY NOTIFY JAKE'S DRAFTING SERVICE INC. FAILURE TO GIVE A SIMPLE NOTICE SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR THE

DUTY OF COOPERATION

CONSEQUENCES.

RELEASE OF THESE PLANS ANTICIPATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND JAKE'S DRAFTING SERVICE, INC. ALTHOUGH JAKE'S DRAFTING SERVICE, INC. AND ITS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE. THEY NOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IN WRITING TO JAKE'S DRAFTING SERVICE, INC. IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY WORK. FAILURE TO COOPERATE BY SIMPLE NOTICE TO JAKE'S DRAFTING BERVICE, INC. SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ALL CONSEQUENCES, CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF JAKE'S DRAFTING SERVICE, INC. ARE UNAUTHORIZED, AND SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

IF JAKE'S DRAFTING SERVICE, INC., AS CLAIMANT OR A DEFENDING PARTY, IS AT ANY TIME A PARTY TO LITIGATION INVOLVING ANY CLAIM RELATED TO WORK CONTAINED IN THESE DRAWINGS AN SHOULD CLAIMANT NOT PREVAIL SUBSTANTIALLY AGAINST DEFENDING PARTY IN SUCH LITIGATION ALL LITIGATION EXPENSES, WITNESS FEES, COURT COSTS, AND ATTORNEY'S FEES INCURRED BY THE DEFENDING PARTY IN DEFENDING AGAINST SUCH A CLAIM, SHALL BE PAID BY THE CLAIMAN

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY JAKE'S DRAFTING SERVICE INC. (AS THE DESIGNER.) FOR THIS PROJECT ARE "INSTRUMENTS OF SERVICE" FOR USE SOLELY WITH RESPECT TO THIS PROJECT. JAKE'S DRAFTING SERVICE, INC., (AS THE DESIGNER) SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAV STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING THE COPYRIGHT, SUBMISSION OF THES PLANS AND SPECIFICATIONS, IN PART OR IN WHOLE, BY THE CLIENT OR HIS AGENT FOR BUILDING PERMIT APPLICATION SHALL BE DEEMED AS EVIDENCE OF ACCEPTANCE FOR FINAL PAYMENT OF CONTRACT

THESE PLANS ARE FOR USE ONLY BY THE CLIENT AND ONLY AT THE SITE IDENTIFIED IN THE TITLE

ANY DUPLICATION REPRODUCTION OR OTHER USE NOT SPECIFICALLY PERMITTED HEREIN OF THE PLANS, IN PART OR IN WHOLE, IS STRICTLY PROHIBITED UNDER COPYRIGHT LAW. ENGINEERED DRAWING

THE ENGINEERED DESIGN DRAWINGS ARE FOR STRUCTURAL ENGINEERING OF THE HOUSE AND PERMANENT FOUNDATION ONLY. DETACHED RETAINING WALLS ARE NOT PART OF THE ENGINEERED STRUCTURAL DRAWINGS AND ARE BY OTHERS, SLOPE STABILITY, EXCAVATION, SHORING, DRAINAG SOILS ISSUES & CONSTRUCTION METHODS ARE NOT INCLUDED AND SHOULD BE ADDRESSED BY AN ENGINEER OR SPECIALIST OF THAT FIELD OF WORK, PROJECT ENGINEERING IS EXCLUDED

ALL SOILS ISSUES SHOULD BE BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER. THE OWNER OR HIS REPRESENTATIVE ARE RESPONSIBLE FOR FOLLOWING THE SOILS REPORT, CONTACTING THE 501L5 ENGINEER AND FOLLOWING THEIR RECOMMENDATIONS AND TO HAVE READ THE SOIL5 REPORT AND RECOGNIZE THE RISKS AND LIMITATIONS STATED THEREIN.

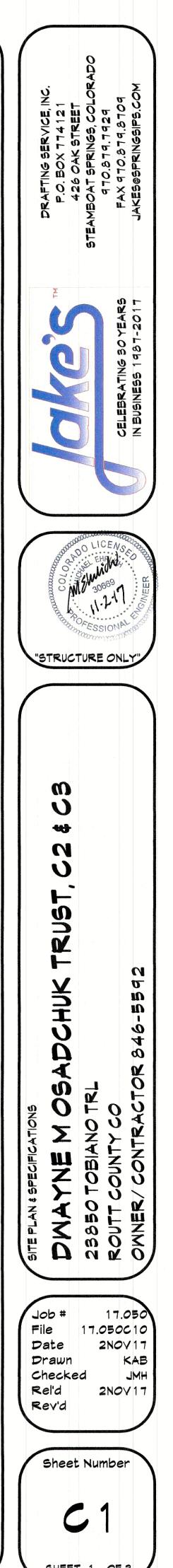
CONTACT THE SOILS ENGINEER AT TIME OF EXCAVATION TO VERIFY THAT ALL STRUCTURAL CONCRETE IS PLACED ON SUITABLE BEARING MATERIAL.

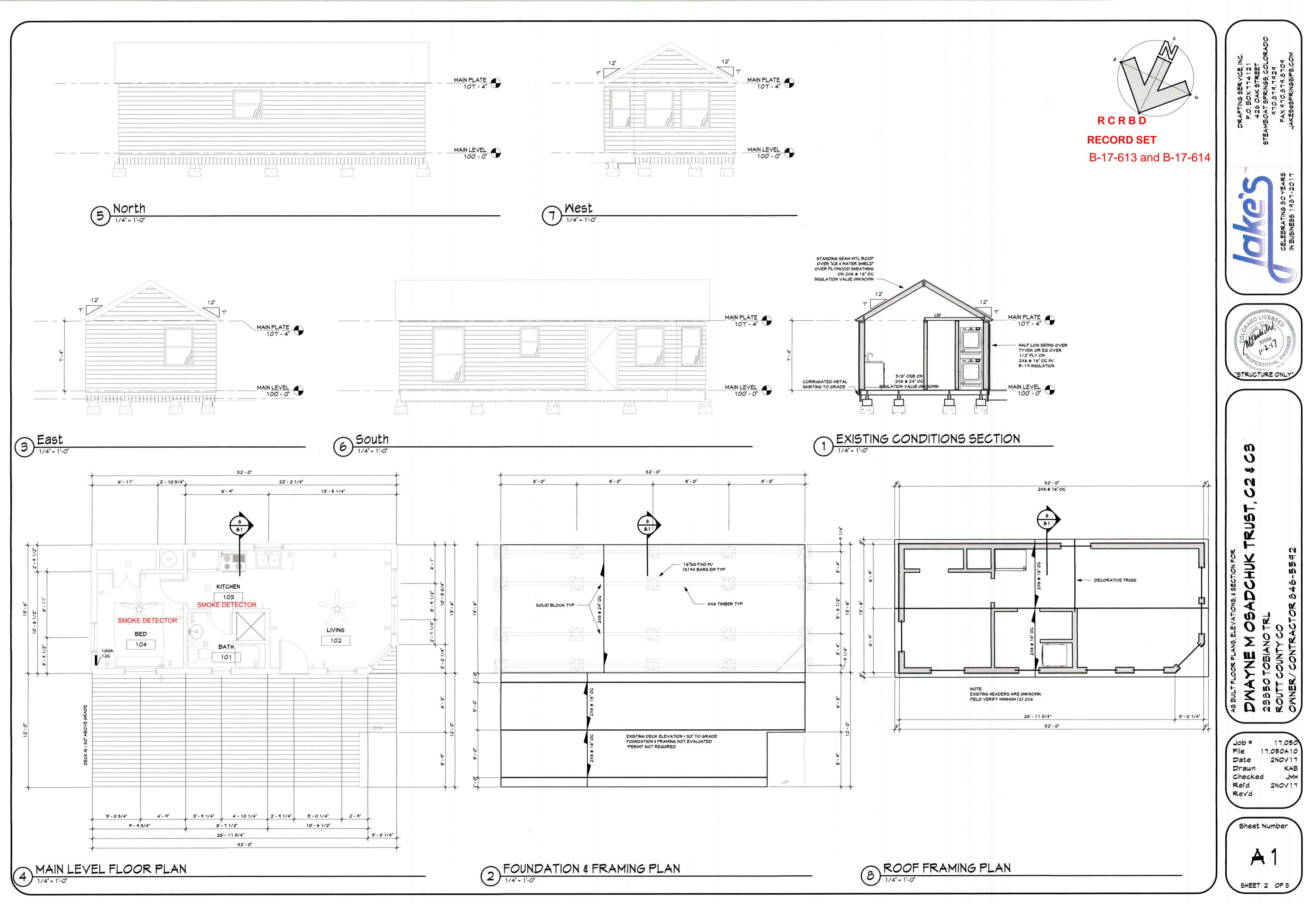
RCRBD **RECORD SET**

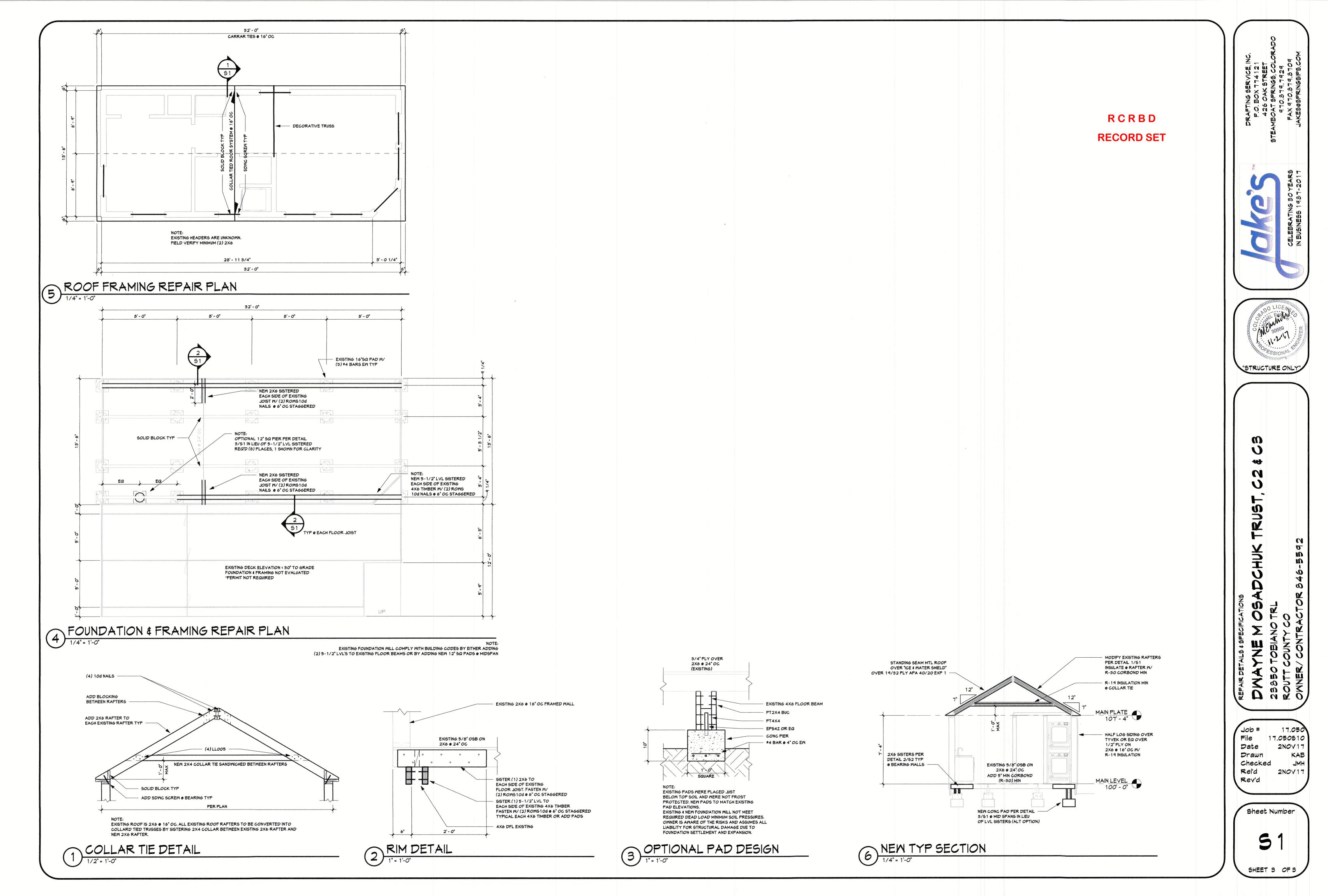
Do not install or inspect mechanical equipment or HVAC until submitted to RCRBD and approved.

ELECTRIC TO BE INSTALLED TO CURRENT EDITION OF THE NEC (2017 NEC) AS THIS IS A SITE BUILT STRUCTURE.

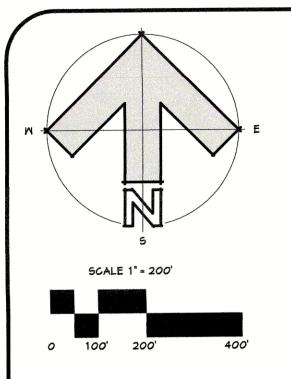
ELECTRICAL SUBJECT TO APPROVAL AT FIELD INSPECTION







1



STANDARD NOTES

1. THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES 2. CONCRETE WASTE & WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE. REMOVED FROM THE SITE & PROPERLY DISPOSED. MATERIALS SHOULD NOT ENTER STATE WATERS

3. CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION & ESTABLISHING ANY REQUIRED PERMANENT BEST MANAGEMENT PRACTICES (BMPS).

4. CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS & OBTAINING ALL REQUIRED PERMITS. 5. CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL SEDIMENT CONTROL DEVICES HAVE

BEEN INSTALLED. 6. THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD & CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.

7. ALL INGRESS, EGRESS POINTS AND VEHICLE ACCESS POINTS ONTO DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP. 8. SOIL STABILIZATION MEASURES SHALL BE IN PLACE AND AREAS ARE TO BE REVEGETATED:

(1) FOR STOCKPILES, IF INACTIVE FOR MORE THAN 30 DAYS (2) FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON. 9. INLET PROTECTION SHALL BE INSTALLED IN CONJUNCTION WITH STORM DRAIN INLETS WHERE

DRAINAGE AREA IS NOT VEGETATED. 10. BMPS SHALL BE USED, MODIFIED & MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. BMPS SHALL BE INSPECTED WEEKLY & AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM BMPS WHEN THE SEDIMENT LEVEL REACHES 1/2 THE HEIGHT OF THE BMP.

11. EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE & PASSABLE AT ALL TIMES. 12. FIELD LOCATE ALL UTILITIES PRIOR TO ANY CONSTRUCTION ACTIVITIES. 13. SURVEY INFORMATION PROVIDED BY ROUTT COUNTY GIS, & MODIFIED BY JAKES DRAFTING SERVICE, INC. FOR USE AS A SITE PLAN

-ALL DISTRUBED AREAS TO BE REVEGETATED

-GRADE AWAY FROM ADDITION 5' @ 2% SLOPE -ALL CUT/ FILL SLOPES ARE 2:1 MAX

UNLESS OTHERWISE NOTED

-SEDIMENT CONTROL DEVICES (WATTLES OR SILT FENCE) TO BE INSTALLED PRIOR TO ANY CONSTRUCTION ACTIVITY

-THERE ARE NO WATER BODIES, RIVERS, STREAMS, LAKES, RESERVOIRS OR PONDS WITHIN 50' OF THE POPOSED STRUCTURE

ZONED:

100' FRONTAGE, 50' SIDE & REAR SETBACKS PARCEL ID#: 94631200 23850 TOBIANO TRAIL STREET ADDRESS: TR5 IN N2NE4, S2NE4 SEC 36-5-86, TR5 IN NW4NW4 LEGAL DESCRIPTION:

52NW4, N25W4, SW4NE4, NW4SE4 SEC 31-5-85

OF ABBREVIATIONS ELECT				
	A/K/A	ALSO KNOWN AS		
	4	AND	200A 420	
	0	AT	Φ	
	- OR APPROX	APPROXIMATELY	•	
	Φ	DIAMETER	GFI	
	EBO	ENGINEERED BY OTHERS	Φ.	
	FOG	FACE OF CONCRETE	₩P ⊕ d	
	F05	FACE OF STUD OR FRAMING	REF	
	FT	FOOT / FEET	۹ (P	
	FFE	FINISH FLOOR ELEVATION	ARC (
	н	HEIGHT	π	
	IN	INCH (ES)	₽ ,	
	LVL	LAMINATED-VENEER LUMBER	I	
	MAX	MAXIMUM	\$	
	MIN	MINIMUM	\$ ³	
	NTS	NOT TO SCALE	\$ ⁴	
	*	NUMBER	\$ ^D 1	
	00	ON CENTER	\$ ^M	
	H	PARALLEL	ү , мр , ф	
	T OR PERP	PERPENDICULAR	\$ ^T	
	# OR LB	POUNDS	м	
	PSF	POUNDS PER SQUARE FOOT	R	
	PSI	POUNDS PER SQUARE INCH		
	PT OR GCA	PRESSURE TREATED		
	REBAR	REINFORGING STEEL		
	REQ'D	REQUIRED	\mathcal{Q}	
	R.N.R.	RECOMMENDED NOT REQUIRED		
	OR SQ FT	SQUARE FOOT / FEET		
	T#G	TONGUE AND GROOVE		
	T4B	TOP AND BOTTOM	(5)	
	TYP	TYPICAL	©	
	VON	UNLESS OTHERWISE NOTED	\bigtriangleup	
	м	WIDTH		
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PLUMBING LEGEND

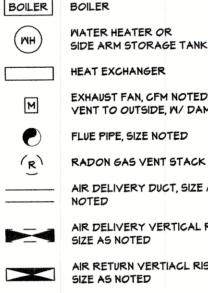
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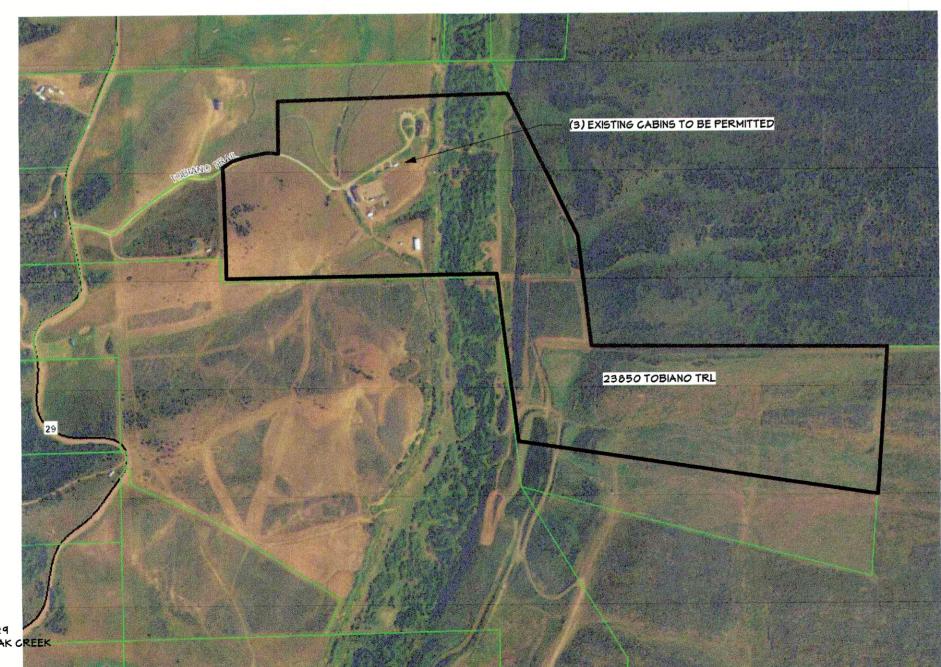
M	WATER METER
6	GAS METER
	SHUT OFF VALVE
▶ ◀	HOSE BIB, FROST PROOF
н	MASHER VALVE & DRAIN E

VALVE & DRAIN BOX CENTRAL VACUUM

YAMPA VALLEY ELECTRIC ASSN. INC. No changes to existing service or meter. Approved: Jerry Nanio - YVEA.

LIST









RICAL LEGEND

METER W/ DISCONNECT

SERVICE PANEL, SIZE AS NOTED

110 VAC DUPLEX RECEPTACLE

110 VAC DUPLEX RECEPTACLE BOTTOM HALF SWITCHED

110 VAC DUPLEX RECEPTACLE

GROUND FAULT INTERRUPTER

110 VAC DUPLEX RECEPTACLE, GFIC PROTECTED, WEATHERPROOF

110 VAG DUPLEX RECEPTAGLE. REFRIGERATOR OR DEDICATED

110 VAC DUPLEX RECEPTACLE,

ARC-FAULT PROTECTED 220 VAC RECEPTACLE,

AMPERAGE NOTED

PLUG MOULD

3 WAY SWITCH

SWITCH

4 WAY SMITCH

DIMMER SMITCH

SWITCH, MOMENTARY

SWITCH, WATER PROOF SWITCH, TIMED

EXHAUST FAN, CFM NOTED

VENT TO OUTSIDE, W/ DAMPER

LIGHT/ EXHAUST FAN UNIT FLUORESCENT FIXTURE

RECESSED FIXTURE

SURFACE MOUNT FIXTURE.

DECORATIVE

MALL MOUNT FIXTURE DECORATIVE

RECESSED FIXTURE, MALL WASH

TRACK LIGHT

SMOKE DETECTOR

CARBON MONOXIDE DETECTOR

TELEPHONE JACK

MULTI MEDIA JACK

TELEVISION JACK

THERMOSTAT

OVERHEAD DOOR OPERATOR

PHOTO CELL W/ MOTION DETECTOR

MECHANICAL LEGEND

MATER HEATER OR

HEAT EXCHANGER

EXHAUST FAN, CFM NOTED VENT TO OUTSIDE, W/ DAMPER

FLUE PIPE, SIZE NOTED

RADON GAS VENT STACK

AIR DELIVERY DUCT, SIZE AS

AIR DELIVERY VERTICAL RISER,

AIR RETURN VERTIACL RISER

Electric, water, sewer and gas (if applicable) to be installed, tested and inspected to IRC to include nail plates vent through roof (VTR) as site built.

TABLE R301.2(1) CLIMATIC & GEOGRAPHIC DESIGN CRITERIA GROUND WIND DESIGN SEISMIC DAMAGE FROM WINTER ICE FLOOD AIR MEAN SNOW SPEED TOPO DESIGN WEATH-FROST DESIGN BARRIER HAZARD FREEZ ANNUAL LOAD (MPH) EFFECT CATEG ERING DEPTHTERMITE TEMP REQD FIRM N/A 90 NO B SEVERE 48" NONE -15" YES 4FEB05 2239 40-45 F LIVE LOADS USED IN DESIGN (PITCH REDUCED FROM 85 PSF TO) 69 PS ROOF FLOORS MAXIMUM SOIL BEARING PRESSURE ____ MINIMUM DEAD LOAD PRESSURE EQUIVALENT FLUID PRESSURE (EFF REFER TO SOILS REPORT #08-81111 BY NORTHWEST COLORADO CONSULTANTS, INC., USED IN

DESIGN FOR ORIGINAL HOUSE FOR ADDITIONAL REQUIREMENTS. ALL RECOMMENDATION REFERENCED IN THE SOILS REPORT SHALL BE ADHERED TO, UNLESS OTHERWISE NOTED (UON). THE MINIMUM DEAD LOAD PRESSURE CANNOT BE MET WITH THE AS-BUILT CONDITION. THE OWNER

ACCEPTS ALL LIABILITY FOR ADVERSE EFFECTS FROM THIS CONDITION. IT IS THE OWNERS RESPONSIBILITY TO DISCUSS & UNDERSTAND ALL POTENTIAL ADVERSE EFFECTS WITHT THE SOILS REGULATORY REQUIREMENTS

ALL CONSTRUCTION SHALL CONFORM TO THE 2009 INTERNATIONAL RESIDENTIAL CODE (INCLUDING APPENDIX E) AND STANDARDS AS ADOPTED BY THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT AND THE FOLLOWING

2017 NATIONAL ELECTRICAL CODE (NEC) 009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) LOCAL UTILITY REGULATIONS

ALL COUNTY CODES AND ORDINANC APPLICABLE PROTECTIVE COVENANTS OF THE SUBDIVISION

ILL WORK EXECUTED IN ANY PUBLIC RIGHT-OF-WAY OR ON PUBLIC PROPERTY SHALL BE COMPLETED ACCORDING TO THE SPECIFICATIONS AND REQUIREMENTS OF THAT GOVERNING BODY O. SPECIAL NOTICE

THESE SPECIFICATIONS ARE GENERIC IN NATURE, SOME SECTIONS OR DIVISIONS MAY NOT BE APPLICABLE. SEE SPECIAL CONDITIONS FOR ADDITIONAL INFORMATION.

THESE BUILDINGS WERE FACTORY BUILT AND DELIVERED TO THE SITE. THE EXISTING STRUCTURE WAS NOT DESIGNED TO WITHSTAND THE HIGH SNOW LOADS EXPERIENCED IN THIS AREA. STRUCTURE WAS EVALUATED AND REPAIRS ENGINEERED TO PREVENT STRUCTURAL FAILURE DUE TO SNOW OADS. THE EXISTING FOUNDATION IS NOT FROST PROTECTED AND THE OWNER TAKES RESPONSIBILITY FOR STRUCTURAL DAMAGE DUE TO FOUNDATION SETTLEMENT AND EXPANSION. THE

EXISTING DECKS ARE LESS THEN 30" TO GRADE AND ARE NOT INCLUDED IN THIS PERMIT. 1. GENERAL REQUIREMENTS

EVERY ATTEMPT HAS BEEN TAKEN TO AVOID OR ELIMINATE ERRORS DURING THE PREPARATION OF THESE PLANS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE PLANS WITH ACTUAL FIELD CONDITIONS.

IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO COORDINATE THE INTERFACE BETWEEN ALL TRADES AND SUBCONTRACTORS, SO AS TO PRESENT A COMPLETE AND FINISHED PRODUCT

ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES AND ORDINANCES, AS AMENDED, AND SHALL BE DONE TO THE HIGHEST STANDARDS OF CRAFTSMANSHIP BY JOURNEYMEN OF THEIR RESPECTIVE TRADES.

THESE DOCUMENTS DO NOT INCLUDE PROVISIONS FOR JOB SITE SAFETY. JOB SITE SAFETY AND PROTECTION OF ADJACENT PROPERTIES DURING CONSTRUCTION SHALL BE CONTRACTORS

RESPONSIBILITY

ALL CONTRACTORS SHALL CARRY WORKMAN'S COMPENSATION, CONTRACTORS LIABILITY, PERSONAL INJURY AND COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. SENERAL CONTRACTOR TO CARRY "BUILDERS RISK" INSURANCE. OWNER TO CARRY FIRE INSURANCE ON THE COMPLETED STRUCTURE

THE GENERAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL BUILDING PERMITS, USE TAX, SALES TAX, AND INSPECTION FEES. SPECIAL INSPECTORS WHEN REQUIRED, SHALL BE EMPLOYED BY THE WHER ENGINEER RESPONSIBLE FOR THE DESIGN OR AN AGENT OF THE OWNER, BUT NOT BY THE CONTRACTOR OR ANY OTHER PERSON RESPONSIBLE FOR THE WORK.

ALL MATERIALS, EQUIPMENT AND WORKMANSHIP SHALL BE SUBJECT TO A ONE YEAR WARRANTY. BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS OR APPROVED BUILDING IDENTIFICATION GRAVEL BALLAST, RUFCO "SUPER SAMPSON" OR "TU TUF #4" MEMBRANES OR "BARRIER X5". PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD

FRONTING THE PROPERTY. (IRC R319.1) GENERAL CONTRACTOR IS TO PROVIDE THE OWNER WITH A BOUND COPY OF ALL INSPECTION REPORTS, BUILDING DEPARTMENT CORRESPONDENCE; EQUIPMENT MANUALS, DATED WARRANTIES AND INSTALLATION & MAINTENANCE INSTRUCTIONS: CERTIFICATE OF OCCUPANCY, AND LIEN WAIVERS OR RELEASES FROM ALL SUBCONTRACTORS AND MATERIAL SUPPLIERS PRIOR TO FINAL PAYMENT THE GENERAL CONTRACTOR SHALL FAMILIARIZE THE OWNER WITH THE OPERATION OF ALL

EQUIPMENT AND APPLIANCES AND CLEARLY LABEL ALL SAFETY VALVES AND CONTROLS FOR THE MAJOR HOUSE SYSTEMS. MATERIAL SIZES NOTED ON THE PLANS ARE THE MINIMUM ACCEPTABLE. THE USE OF LARGER SIZE,

OR STRONGER MATERIALS IS ACCEPTABLE FOR EASE OF CONSTRUCTION OR AESTHETICS. VERIFY THE USE OF ALL SUBSTITUTED MATERIALS WITH THE ENGINEER OF RECORD AND JAKE'S DRAFTING SERVICE, INC 2. SITE WORK

CONTRACTOR SHALL PROVIDE NECESSARY LABOR, MATERIALS AND EQUIPMENT TO PERFORM ALL SITE WORK SHOWN OR SPECIFIED IN THESE DOCUMENTS

ALL FOOTING BEARING FLEVATIONS SHOWN ARE ASSUMED EXACT BEARING ELEVATIONS SHALL BE VERIFIED IN THE FIELD WITH ACTUAL CONDITIONS, BY THE CONTRACTOR, AND WITH THE APPROVAL OF THE ENGINEER AND THE OWNER.

LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALLA MINIMUM OF & INCHES WITHIN THE FIRST TO FEET (IRCR 407:3)

- ALL UTILITY LINES EXIST FROM THE BUILDING TO THE UTILITY CONNECTION AS REQUIRED. CO-ORDINATE WITH THE APPROPRIATE UTILITY COMPANY AND BURIED CABLE LOCATION SERVICE AT 800.922.1987
- ELECTRIC FROM METER BOX TO TRANSFORMER, CO-ORDINATE WITH YAMPA VALLEY ELECTRIC ASSOCIATION, 970.879.1160.
- SEWER FROM 5 FEET OUTSIDE THE FOUNDATION TO SEPTIC TANK TO LEACH FIELD, SEE DESIGN BY
- OTHERS, MAINTAIN 5' MINIMUM COVER & 2% MIN SLOPE. WATER - FROM 5 FEET OUTSIDE THE FOUNDATION TO 2 500 GALLON BURIED STORAGE TANK OR
- WELL HEAD, SEE DESIGN BY OTHERS. MAINTAIN 7' MINIMUM COVER. TELEPHONE - FROM TELEPHONE BOX TO PEDESTAL CO-ORDINATE WITH U.S. WEST
- COMMUNICATIONS, 800.244.1111. MAINTAIN 18" MINIMUM COVER.

GAS - FROM POINT OF CONNECTION TO BURIED LPG TANK, SEE SITE PLAN. MAINTAIN 18" MINIMUM

CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS AND EQUIPMENT TO COMPLETE ALL CONCRETE SHOWN OR NOTED IN THESE DOCUMENTS.

AS NOTED IN THE SOILS REPORT, EXPANSIVE SOILS WERE ENCOUNTERED AT THIS SITE. EXISTING CONCRETE PADS WERE NOT DESIGNED FOR EXPANSIVE SOILS AND WERE NOT FROST PROTECTED OPTIONAL CONCRETE PADS TO BE FOUNDED "IN-KIND" AND OWNER ACCEPTS RESPONSIBILITY FOR OUNDATION SETTLEMENT AND EXPANSION

FORMS SHALL RESULT IN A FINAL STRUCTURE THAT CONFORMS TO SHAPES, LINES, AND DIMENSIONS OF THE MEMBERS AS REQUIRED BY THE DESIGN DRAWINGS, AND SPECIFICATIONS.

CENTER ALL FOOTINGS UNDER WALLS OR COLUMNS UNLESS OTHERWISE NOTED ON PLANS. ALL CONCRETE WORK AND REINFORCEMENT DETAILING SHALL BE IN ACCORDANCE WITH AC BUILDING CODE 318-89. ALL EXPOSED EDGES OF CONCRETE SHALL HAVE A 3/4" CHAMFER.

ALL REINFORCING SHALL BE HIGH STRENGTH DEFORMED BARS CONFORMING TO ASTM A615-73 AND SHALL BE GRADE 40 MINIMUM OR AS SHOWN ON THE PLANS. ALL REINFORCEMENT SHALL BE COLD BENT UNLESS OTHERWISE PERMITTED BY THE BUILDING OFFICIAL

THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT, CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3" CONCRETE EXPOSED TO EARTH OR WEATHER = 1-1/2"

- CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND SLABS, WALLS, JOISTS = 3/4" BEAMS, COLUMNS = 1-1/2
- DEPTH OF FOOTING ABOVE BOTTOM REINFORCEMENT SHALL BE 6" MINIMUM.

PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCING AT POSITIONS SHOWN ON THE PLANS AND IN ACCORDANCE WITH ACI 3 18-89. WHERE PROVIDED IN SLABS ON GROUND REINFORCEMENT SHALL BE SUPPORTED TO REMAIN IN PLACE FROM THE CENTER TO THE UPPER 1/3 OF THE SLAB FOR THE DURATION OF THE CONCRETE PLACEMENT. (R506.2.4)

ALL CAST-IN-PLACE CONCRETE SHALL BE MADE WITH TYPE II A PORTLAND CEMENT, FIVE-SACK MIX, WITH 5% MINIMUM TO 7% MAXIMUM ENTRAINED AIR AND 3/4" MAXIMUM STONE AGGREGATE SIZE. CONCRETE SHALL DEVELOP 2,500 PSI COMPRESSIVE STRENGTH IN 28 DAYS FOR BASEMENT SLABS, 3,000 PSI FOR WALLS AND 3,500 PSI FOR PATIOS, STEPS, GARAGE SLAB AND WEATHER EXPOSED CONCRETE. MATERIALS USED TO PRODUCE CONCRETE AND TESTING THEREOF SHALL COMPLY WITH THE APPLICABLE STANDARDS LISTED IN CHAPTER 3 OF ACI 318 OR ACI 332. CONCRETE SHALL BE PLACED WITH A 4" MAXIMUM SLUM, SHALL NOT BE PLACED ON FROZEN, MUDDY OR SATURATED SOIL AND SHALL BE PROTECTED FROM FREEZING FOR 7 DAYS.

DURING COLD WEATHER, PROVIDE TEMPORARY HEAT AS REQUIRED TO PREVENT "FROST DAMAGE" TO ALL FOOTINGS, WALLS, SLABS AND PIERS

CONCRETE SHALL BE THOROUGHLY CONSOLIDATED DURING PLACEMENT AND BE THOROUGHLY WORKED AROUND REINFORCEMENT AND EMBEDDED FIXTURES AND INTO CORNERS OF FORMS. 4. MASONRY - NO WORK THIS SECTION

5. METALS

ALL STRUCTURAL STEEL AND MISCELLANEOUS EMBEDDED ITEMS SHALL CONFORM TO ASTM A36 ALL BOLTS (INCLUDING ANCHOR BOLTS) SHALL CONFORM TO ASTM A30

MISCELLANEOUS CLIPS, ANCHORS AND CONNECTORS SHALL BE SIMPSON "STRONG TIE" OR ICBO APPROVED EQUAL, UNLESS OTHERWISE NOTED. REFER TO SIMPSON CATALOG FOR APPROPRIATE NAILING WHEN NOT SPECIFIED ON PLANS. PRODUCTS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS

The two cabins with darker roofs are the one-bedroom cabins B-17-613 and B-17-614 (see previous set) and the cabin with the white roof is the studio cabin B-17-615 (this set). The darker roof cabins have the same exact construction and floor plan. We are not are not offering the lodge for lodging. Any structures that are not a house or the cabins are agriculture buildings.

6. CARPENTRY

RC R502.8

R601.3

(IRC R316.5.2

FOLLOWING APPLIES:

R502.10 & R802.9)

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO FRAME UP, SHEATH AND TRIM OUT BUILDING AS SHOWN OR SPECIFIED IN THESE DOCUMENTS.

ALL 2" FRAMING LUMBER SHALL BE STRESS RATED, S-DRY DOUGLAS FIR OR LARCH (DF-L) 545, #2 OR BETTER ALL SOLID TIMBER BEAMS AND POSTS SHALL BE S-DRY DOUGLAS FIR OR LARCH (DF-L) 545, # 1 OR BETTER

PREFABRICATED WOOD MEMBERS SHALL BE OF THE TYPE NOTED ON THE PLANS AND SHALL BE MICRO-LAM (LVL), TIMBERSTRAND (LSL), PARALLAM (PSL), OR TJI AS MANUFACTURED BY TRUS-JOIST MACMILLAN OR APPROVED EQUAL I-JOISTS AND LAMINATED LUMBER SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS.

ALL LUMBER AND PLYWOOD USED IN EXTERIOR FOUNDATION WALLS (EXCEPT THE UPPER TOP PLATE), SHALL BE PRESSURE-PRESERVATIVE TREATED IN ACCORDANCE WITH AMPA UI AND SHALL 3EAR THE LABEL OF AN ACCREDITED AGENCY SHOWING 0.60 RETENTION. (IRC R402.1.2) WOOD COLUMNS SHALL BE APPROVED WOOD OF NATURAL DECAY RESISTANCE OR APPROVED

PRESSURE PRESERVATIVE TREATED WOOD. EXCEPTION: COLUMNS EXPOSED TO WEATHER OR IN BASEMENTS OR CRAWL SPACES WHEN SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING 1" ABOVE A CONCRETE

FLOOR AND 6" ABOVE EXPOSED EARTH AND THE EARTH IS COVERED BY AN APPROVED PERVIOUS MOISTURE BARRIER. (IRC R3 17.1.4) FASTENERS IN PRESSURE PRESERVATIVE & FIRE RETARDANT TREATED WOOD ABOVE GRADE SHALL BE HOT DIPPED ZINC COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR

COPPER. (IRC R317.3.1) EXCEPTION 1/2" DIAMETER OR GREATER STEEL BOLTS.

THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1-1/2 INCHES BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE EXCEPT WHERE SUPPORTED BY THE USE OR APPROVED JOIST HANGERS. JOISTS FRAMING FROM OPPOSITE SIDES OVER A BEARING SUPPORT SHALL LAP A MINIMUM OF 3 INCHES AND BE NAILED TOGETHER W/ A MINIMUM OD (3) 10d FACE NAILS. JOISTS FRAMING INTO THE SIDE OF A BEAM OR GIRDER, SHALL BE SUPPORTED BY APPROVED FRAMING ANCHORS OF THE APPROPRIATE SIZE AND CAPACITY. (IRC

NOTCHES IN SOLID LUMBER JOISTS, RAFTERS OR BEAMS SHALL NOT EXCEED 1/6 OF THE MEMBER

MIDDLE 1/3 OF THE SPAN. NOTCHES AT THE ENDS OF THE MEMBER SHALL NOT EXCEED 1/4 OF THE

MEMBER DEPTH. THE TENSION SIDE OF MEMBERS 4" OR GREATER SHALL NOT BE NOTCHED EXCEPT

NOT EXCEED 1/3 THE DEPTH OF THE MEMBER. HOLES SHALL NOT BE CLOSER THAN 2 INCHES TO THE

DEPTH, SHALL NOT BE LONGER THAN 1/3 OF THE MEMBER DEPTH AND NOT BE LOCATED IN THE

AT THE ENDS OF THE MEMBERS. THE DIAMETER OF HOLES BORED OR CUT INTO MEMBERS SHAL

OPENINGS IN FLOOR CEILING AND ROOF FRAMING SHALL BE FRAMED WITH A HEADER AND

SHALL BE TREATED IN THE FIELD IN ACCORDANCE WITH AMPA M4. (R317.1.1)

MINIMUM NAILING SHALL BE AS SPECIFIED IN TABLE R602.3(1)

7. THERMAL AND MOISTURE PROTECTION

OR SPECIFIED IN THESE DOCUMENTS.

NOT TO EXCEED 450. (IRC R302.10)

2. CELLULOSE LOOSE-FILL INSULATION

APPROVED THERMAL BARRIER. (IRC R316.4)

LESS THAN .0160". (IRC R316.5.3 \$.4)

TESTED IN ACCORDANCE WITH SECTION R3 16.6

OF THE HEADER. PROVIDE DOUBLED "KING STUDS" AT ALL OPENINGS OVER 10' WIDE.

TOP OR BOTTOM OF THE MEMBER OR TO ANY OTHER HOLE OR NOTCH LOCATED IN THE MEMBER

TRIMMER JOISTS AND SHALL BE DOUBLED OR OF EQUIVALENT CROSS SECTION WHEN THE SPAN OF

BY FRAMING ANCHORS OR JOIST HANGERS, UNLESS BEARING ON A BEAM, PARTITION OR WALL. (IRC

FIELD CUT ENDS, NOTCHES AND DRILLED HOLES OF PRESSURE PRESERVATIVE TREATED WOOD

EACH END OF A HEADER SHALL HAVE A MINIMUM BEARING LENGTH OF 1-1/2" FOR THE FULL WIDTH

OF THE HEADER. LVL HEADERS SHALL HAVE A MINIMUM BEARING LENGTH OF 3" FOR THE FULL WIDTH

CONTRACTOR SHALL PROVIDE ALL LABOR MATERIALS AND EQUIPMENT TO INSTALL INSULATION

VAPOR BARRIERS & RETARDERS, FLASHINGS, WATERPROOFING AND ROOF COVERING AS DETAILED

WALL OR EXTERIOR WALLS. THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS

VAPOR RETARDER MATERIAL IS USED THE MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NO

BE LESS THAN 1 SQUARE FOOT FOR EACH 1,500 SQUARE FEET OF UNDER-FLOOR SPACE AREA ONE

SUCH VENTILATING OPENING SHALL BE LOCATED WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

(IRC R408.1) OPENINGS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH

OPENINGS OF 1/8" OR LESS. (IRC R408.2) THE REQUIRED OPENINGS SHALL BE PLACED SO AS TO

PROVIDE CROSS-VENTILATION OF THE SPACE. THE INSTALLATION OF OPERABLE LOUVERS SHALL

NOT BE PROHIBITED. APPROVED VAPOR RETARDERS ARE 6 MIL POLYETHYLENE FILM WITH 2" PEA

THE VAPOR RETARDER SHALL OVERLAP 6" AND SHALL BE SEALED OR TAPED AND THE EDGES

EXTEND UP THE STEM WALL AT LEAST 6" MINIMUM AND ARE ATTACHED AND SEALED TO THE STEM

2. CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATOR OR CONDITIONED AIR SUPPLY

COMMON AREA VIA DUCT OR TRANSFER GRILL, FOUNDATION PERIMETER WALLS SHALL BE

INSULATED IN ACCORDANCE WITH SECTION N1102.2.9. (IRC R408.3)

EXCEPTION: BASEMENT OR BELOW GRADE PORTION OF ANY WALL.

INSTALLED IN SUBSTANTIAL CONTACT WITH THE SURFACE OF THE FINISH.

FOAM PLASTIC INSULATION SHALL COMPLY WITH IRC R3 16.1 U

SIZED TO DELIVER 1 CFM FOR EACH 50 SF OF CRAWL SPACE AREA. PROVIDE AIR PATHWAY TO THE

A CLASS I OR I VAPOR RETARDERS ARE REQUIRED ON INTERIOR SIDE OF FRAMED WALLS. (IRC

INSULATION MATERIALS, INCLUDING FACINGS SUCH AS VAPOR RETARDERS OR VAPOR PERMEABLE

MEMBRANES SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DENSITY

1. WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES PROVIDING THE FACING IS

SECTION R3 16.5 OR R3 16.6, FOAM PLASTIC SHALL BE SEPARATED FROM THE INTERIOR OF THE

BUILDING BY AN APPROVED THERMAL BARRIER OF MINIMUM 1/2 INCH GYPSUM WALLBOARD. OR A

THE THERMAL BARRIER IS NOT REQUIRED WHEN THE FOAM PLASTIC IS IN A ROOF ASSEMBLY AND

SEPARATED FROM THE INTERIOR BY T&G WOOD PLANKS OR WOOD STRUCTURAL PANEL SHEATHING.

THE THERMAL BARRIER IS NOT REQUIRED IN ATTICS OR CRAWL SPACES WHEN EACH OF THE

FOLLOWING IGNITION BARRIER MATERIALS; 1-1/2" THICK MINERAL FIBER INSULATION; 1/4" THICK

WALLBOARD OR CORROSION RESISTANT SHEET METAL HAVING A BASE METAL THICKNESS OF NOT

FIBER-CEMENT, FIBER MAT REINFORCED CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER

RECOMMENDATIONS SHALL BE USED AS BACKERS FOR WALL TILE IN TUB AND SHOWER AREAS AND

ALL PANELS IN SHOWER AREAS, WATER RESISTANT GYPSUM BACKING BOARD MAY BE USED FOR

CEILINGS WHERE FRAMING SPACING DOES NOT EXCEED 12" OC FOR 1/2" THICK OR 16" OC FOR 5/8"

CLASS LOR IL VAPOR RETARDER WATER RESISTANT GYPSIM BACKING BOARD SHALL NOT BE USED

HUMIDITY. REGULAR GYPSUM WALLBOARD IS PERMITTED UNDER TILE OR WALL PANELS IN OTHER

WHERE THERE WILL BE DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH

EXTERIOR OPENINGS EXPOSED TO WEATHER SHALL BE FLASHED SO AS TO BE WATERPROOF

THE BUILDING STRUCTURAL COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE

AT INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO

5. WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OR FLOOR ASSEMBLY OF

APPROVED CORROSION RESISTANT FLASHING SHALL BE APPLIED SHINGLE FASHION IN SUCH A MANNER TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PENETRATION OF WATER TO

PROVIDE BASE AND CAP, SIDEWALL AND OTHER FLASHINGS AT ALL ROOF AND VERTICAL

SURFACE INTERSECTIONS PER THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. (IRC 905.2.8)

AREA TO THE OUTDOORS SHALL BE 4 PERCENT OF THE FLOOR AREA BEING VENTILATED (IRC

VENTILATION SYSTEM CAPABLE OF PRODUCING 50 CFM FOR INTERMITTENT USE OR 20 CFM

NATURAL VENTILATION OF ALL HABITABLE ROOMS SHALL BE PROVIDED. THE MINIMUM OPENABLE

VENTILATION OF BATHROOMS, WATER CLOSET COMPARTMENTS AND SIMILAR ROOMS WITHOUT

OPERABLE WINDOW PROVIDING 1.5 SQUARE FEET OPENING, SHALL BE PROVIDED BY A MECHANICAL

ONTINUOUS VENTILATION, VENTILATION AIR FROM THE SPACE SHALL BE DIRECTLY EXHAUSTED TO

THE OUTSIDE. (IRC R303.3) PROVIDE ENERGY-STAR QUALIFIED BATHROOM FANS WITH A RATING OF

.5 SONES OR LESS WITH TIMER OR HUMIDISTAT CONTROL. SEE PLAN VIEW FOR REQUIRED CFM

ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED

DIRECTLY TO THE UNDERSIDE OF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE

SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW PER IRC

ECTION R806.1. OPENINGS SHALL BE COVERED WITH 1/8" CORROSION RESISTANT MESH. (IRC

INIMUM OF 1" SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING.

RETARDER IS INSTALLED ON THE WARM IN WINTER SIDE OF THE CEILING.

WHERE EVE VENTS ARE INSTALLED, INSULATION OR BLOCKING SHALL NOT BLOCK THE AIR FLOW. A

THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE SPACE BEING

VENTILATED EXCEPT THAT A REDUCTION TO 1/300 IS PERMITTED WHEN A CLASS I OR II VAPOR

THICK GYPSUM WALL BOARD. WATER RESISTANT GYPSUM BOARD SHALL NOT BE INSTALLED OVER A

REINFORCED GYPSUM BACKERS INSTALLED IN ACCORDANCE WITH THE MANUFACTURERS'

WALL AND CEILING AREAS WHEN INSTALLED IN ACCORDANCE WITH TABLE R 702.3.8.

3. UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS & SILLS

EXTERIOR WALL FINISH IN THE FOLLOWING LOCATIONS: (R 703.8)

EXTERIOR WINDOW & DOOR OPENINGS

6. AT WALL AND ROOF INTERSECTIONS.

WOOD FRAME CONSTRUCTION

SECTION R303.1

R806.1)

WALLS, WITH PROJECTING LIPS UNDER STUCCO COPING

4. CONTINUOUSLY ABOVE ALL PROJECTING WOOD TRIM.

THE ABOVE IGNITION BARRIER IS NOT REQUIRED WHERE THE FOAM PLASTIC INSULATION HAS BEEN

1. ACCESS IS REQUIRED BY SECTION R807.1 (ATTIC) OR R408.4 (CRAWL SPACE)

WHEN THE FOAM PLASTIC INSULATION IS PROTECTED FROM IGNITION USING ONE OF THE

WOOD STRUCTURAL PANELS: 3/8" PARTICLE BOARD: 1/4" HARDBOARD OR 3/8" GYPSUN

2. THE SPACE IS ENTERED ONLY FOR PURPOSES OF REPAIR OR MAINTENANCE.

HE EXPOSED EARTH IS COVERED WITH A CONTINUOUS CLASS 1 VAPOR RETARDER. JOINTS OF

VENTILATION OPENINGS IN UNDER FLOOR SPACES SHALL NOT BE REQUIRED WHERE

THAN 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDER-FLOOR SPACE AREA UNLESS THE

GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL. WHEN A CLASS 1

UNDER-FLOOR OR CRAWLSPACE AREAS SHALL HAVE VENTILATION OPENINGS IN THE FOUNDATION

THE HEADER EXCEEDS 4'. THE ENDS OF HEADER JOISTS MORE THAN 6' LONG SHALL BE SUPPORTED

8. DOORS AND WINDOWS CONTRACTOR SHALL SUPPLY AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED, SCHEDULED AND/OR SPECIFIED IN THESE DOCUMENTS.

WINDOWS AND DOORS UNIT U VALUE TO BE 0.35 MAXIMUM. ALL OPERABLE UNITS TO BE PROVIDED WITH SCREENS. (R612.1) L HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8

PERCENT OF THE FLOOR AREA OF SUCH ROOMS. (IRC R303.1) EXCEPTION 2: THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES. ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7

SQUARE FEET. (R310.1.1) EXCEPTION : GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE

THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (IRC 3 10.1.2) THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (IRC 3 10.1.3) EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. (IRC 310.1.4) SEE IRC SECTION R308.4 FOR HAZARDOUS LOCATIONS WHERE SAFETY GLAZING IS REQUIRED

ACCESS SHALL BE PROVIDED TO ALL UNDER FLOOR AREAS EITHER THROUGH AN 18" X 24" ACCESS PANEL THROUGH FLOORS OR 16" X 24" ACCESS PANEL THROUGH A PERIMETER WALL (IRC

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO FINISH ROOMS AND BUILDING EXTERIOR AS DETAILED, SCHEDULED AND / OR SPECIFIED IN THESE DOCUMENTS. ROOFING MATERIAL TO BE 29 GAUGE STEEL PRO-PANEL IL SIDING TO BE HALF LOG CEDAR. TRIM

TO BE 1X4 WESTERN RED CEDAR, STAIN COLOR PER OWNER. 10. SPECIALTIES - NO WORK THIS SECTION 1 1. EQUIPMENT - NO WORK THIS SECTION

12. DEFENSIBLE SPACE - NO WORK THIS SECTION

SECTION R408.4)

13. ENERGY EFFICIENCY

0.35

POSSIBLE.

IMPORTANT NOTE

FOR INSPECTION

(IECC 402.5)

CALCULATIONS.

COMPLETED BY AN ACCREDITED RESNET RATER.

THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT HAS ADOPTED THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC). THIS PROJECT SHALL COMPLY WITH SECTIONS 401, 402.4, 402.5 AND 403.1, 403.2.2, 403.2.3 and 403.3 THROUGH 403.9 (REFERRED TO AS THE MANDATORY PROVISIONS) AND EITHER:

SECTIONS 402.1 THROUGH 402.3. 403.2.1 AND 404.1 (PRESCRIPTIVE): OR 2. SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH (PERFORMANCE, E DESIGNER MAY CHOOSE EITHER SECTION 402.1.2, 402.1.3 OR 402.1.4.

TABLES 402.1.1 \$ 402.1.3 FOR CLIMATIC ZONE 7 FENESTRATION SKYLIGHT CEILINGS RAMED MASS FLOORS BASEMENT SLAB CRAWL SPACE WALLS FACTOR FACTOR R-49 R-21 R-19/21 R-38 R-15/R-19 R-10,4 R-10/R-13 0.60 0.026 0.057 0.057 0.028 0.050 0.065 THERE ARE NO REQUIREMENTS FOR SOLAR HEAT GLAZING COEFFICIENTS

a. R-VALUES SHOWN ARE MINIMUMS, U-FACTORS SHOWN ARE MAXIMUM C. THE FIRST R-VALUE IS FOR CONTINUOUS INSULATION, THE SECOND R-VALUE IS FOR CAVITY INSULATION, EITHER SYSTEM MEETS THE REQUIREMEN d. R-5 SHALL BE ADDED TO THE SLAB EDGE R-VALUE FOR HEATED SLABS 9. OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19 MINIMUM

THE THICKNESS OF BLOWN IN OR SPRAYED (FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES ON MARKERS WITH NUMBERS 1" TALL, MARKERS SHALL FACE THE ATTIC ACCESS OPENING AND BE PROVIDED FOR EACH 300 SF OF ATTIC AREA. (N1 101.4.1)

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL OR HE WALL NEAREST THE FURNACE/BOILER LISTING THE PREDOMINANT R-VALUES OF INSULATION INSTALLED BY COMPONENT, U-FACTORS FOR FENESTRATION AND THE TYPE AND EFFICIENCY OF HEATING, COOLING AND WATER HEATING EQUIPMENT. (IECC 401.3)

TO MEET THE PRESCRIPTIVE REQUIREMENTS, THE BUILDING THERMAL ENVELOPE SHALL MEET THE REQUIREMENTS OF TABLE 402.1.1. BUILDING WILL NOT MEET PRESCRIPTIVE REQUIREMENTS TO MEET THE TOTAL UA ALTERNATIVE REQUIREMENTS, THE TOTAL BUILDING THERMAL ENVELOPE UA MUST BE LESS THAN OR EQUAL TO THE TOTAL UA RESULTING FROM USING THE U-FACTORS IN

TABLE 402.1.3, THE BUILDING SHALL BE CONSIDERED IN COMPLIANCE WITH TABLE 402.1.1 SEE ATTACHED RESCHECK COMPLIANCE REPORT WHERE CEILINGS HAVE ATTIC SPACES, R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 MHENEVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EVES. (IECC 402.2.1) - PROVIDE R-49 BATT INSULATIN AS SHOWN ON DETAIL

FOR CEILINGS WITHOUT ATTIC SPACES, WHERE SECTION 402.1.1 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30 BUT SHALL BE LIMITED TO 500 SF OF CEILING AREA MAXIMUM (IECC 402.2.2) - PROVIDE R-30 CORBOND OR EQ AT RAKED CEILING PER DETAIL 1/51

ATTIC ACCESS NOT REQUIRED PER IRC R807 FLOOR INSULATION SHALL BE INSTALLED TO MAINTAIN PERMANENT CONTACT WITH THE UNDERSIDE OF THE SUBFLOOR DECKING. (IECC 402.2.6) - PROVIDE R-30 SPRAY FOAM INSULATION MEETING THE REQUIREMENTS OF IRC R316.6 SPECIFIC APPROVAL THERMAL BARRIER PER R316.5.4 IS NOT

THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE OLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

JOINTS, SEAMS, PENETRATIONS; SITE BUILT WINDOWS, DOORS AND SKYLIGHTS; OPENINGS BETWEEN INDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING: UTILITY PENETRATIONS; DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE; KNEE WALLS; WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES; BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS; COMMON WALLS BETWEEN DWELLING UNITS; ATTIC ACCESS OPENINGS; RIM JOIST JUNCTION AND OTHER SOURCES OF AIR INFILTRATION. (IECC 402.4.1)

BUILDING ENVELOPE AIR TIGHTNESS AND INSULATION SHALL BE DEMONSTRATED TO COMPLY WITH EITHER THE TESTING OPTION (IECC 402.4.2.1) OR THE VISUAL TESTING OPTION (IECC 402.4.2.2) SEE "ENERGY CODE CHECKLIST FOR RESIDENTIAL CONSTRUCTION" PROVIDED BY RCRBD. FAILURE TO OMPLY WITH BOTH OPTIONS WILL REQUIRE A SIMULATED PERFORMANCE TEST PER SECTION 405 TESTING BY SPECIAL INSPECTION BY AN APPROVED PARTY. NOTIFY MOUNTAIN ENERGY, INC. CHAD FEAGLER 970.393.2202

TESTING OPTION 402.4.2.1 - BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION SHALL 3E CONSIDERED ACCEPTABLE WHEN TESTED AIR LEAKAGE IS <7 ACH50. TESTING SHALL OCCUR AFTER ROUGH INSPECTION TESTING BY SPECIAL INSPECTION BY AN APPROVED PARTY, NOTIFY MOUNTAIN ENERGY, INC. CHAD FEAGLER, 970.393.2202

VISUAL INSPECTION METHOD 402.4.2.2 - BUILDING ENVELOPE TIGHTNESS AND INSULATION INSTALLATION SHALL BE CONSIDERED ACCEPTABLE WHEN ALL ITEMS LISTED IN TABLE 402.4.2 ARE IELD VERIFIED VISUAL INSPECTIONS WILL BE PERFORMED BY THE RCRBD. REQUEST INSPECTION FOR EACH COMPONENT OF TABLE 402.4.2 WHILE THE COMPONENT IS STILL VISIBLE & AVAILABLE

WINDOWS, SKYLIGHTS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT AND SWINGING DOORS NOT MORE THAN 0.5 CFM PER SQUARE FOOT (IECC 402.4.4)

EXCEPTIONS: SITE BUILT WINDOWS, SKYLIGHTS AND DOORS

RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES, SHALL BE IC RATED LABELED AS MEETING ASTM E 283 AND SEALED W/ A GASKET OR CAULK BETWEEN THE HOUSING AND WALL OR CEILING COVERING. (IECC 402.4.5)

THE AREA WEIGHTED AVERAGE MAXIMUM FENESTRATION U-FACTOR USING TRADE-OFFS FROM ECTION 402.1.4 OR 405 SHALL BE 0.40 FOR VERTICAL FENESTRATION AND 0.75 FOR SKYLIGHTS.

ALL DUCTS, AIR HANDLERS, FILTER BOXES AND BUILDING CAVITIES USED AS DUCTS SHALL BE SEALED. JOINTS AND SEAMS SHALL COMPLY WITH SECTION M1601.4.1 OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) (IECC 403.2.2) DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER A PRECONSTRUCTION TEST OR A ROUGH-IN TEST, BOTH REQUIRE SPECIAL INSPECTION BY AN APPROVED PARTY, NOTIFY MOUNTAIN ENERGY CONSULTANTS, INC. CHAD FEAGLER, 970.393.2202.

EXCEPTION: DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE. (IECC 403.2.2)

BUILDING FRAMING CAVITIES SHALL NOT BE USED AS SUPPLY DUCTS. (IECC 403.2.3) MECHANICAL SYSTEM PIPING CAPABLE OF CARRYING FLUIDS ABOVE 105 DEGREES F OR BELOW 55 DEGREES F SHALL BE INSULATED TO R-3 MINIMUM. (IECC 403.3)

ALL CIRCULATING SERVICE HOT WATER PIPING SHALL BE INSULATED TO R-2 MINIMUM. SYSTEMS SHALL INCLUDE AN AUTOMATIC OR READILY ACCESSIBLE MANUAL SWITCH TO TURN OFF THE CIRCULATING PUMP WHEN THE SYSTEM IS NOT IN USE. (IECC 403.4)

UTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AN AUTOMATIC OR GRAVITY DAMPER THAT CLOSES WHEN THE VENTILATION SYSTEM IS NOT OPERATING. (IECC 403.5)

HEATING AND COOLING EQUIPMENT SHALL BE SIZED IN ACCORDANCE WITH SECTION M1401.3, OF THE IRC.; ACCA MANUAL J OR OTHER APPROVED METHODOLOGY. (IECC 403.6) MECHANICAL CONTRACTOR TO PROVIDE CALCULATIONS BY DEFERRED SUBMITTAL SEE ATTACHED HEAT LOSS

A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICACY LAMPS. (IECC 404) AS DESIGNED THIS HOUSE WILL NOT COMPLY WITH THE PRESCRIPTIVE PATH, SECTIONS 402.1 THRU 403.6. THE HOME MUST BE EVALUATED UNDER SECTION 402.1.4 TOTAL UA ALTERNATIVE PATH OR

SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH (PERFORMANCE). AS DESIGNED THIS HOUSE WILL COMPLY WITH THE UA ALTERNATIVE PATH, SECTIONS 402.1.4. IF FIELD DECISIONS OR SUBSTITUTIONS ARE MADE RESULTING IN FAILURE TO COMPLY WITH SECTION 402.1.4, TOTAL VA ALTERNATIVE, SEE ATTACHED RESNET COMPLIANCE CERTIFICATE, THE HOME MUST BE EVALUATED UNDER SECTION 405 SIMULATED PERFORMANCE ALTERNATIVE PATH (PERFORMANCE). THIS EVALUATION OR TESTING WILL BE BY OTHERS AT THE OWNER'S EXPENSE AN SHALL REQUIRE A COMPLETED BUILDING RATING SHOWING COMPLIANCE WITH THE 2009 IECC TO BE SUBMITTED PRIOR TO "CERTIFICATE OF OCCUPANCY" AND THIRD PARTY INSPECTIONS TO BE

16. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND EQUIPMENT TO INSTALL ALL WIRING ND RELATED FIXTURES. ALL WORK SHALL COMPLY WITH IRC PART VIII - ELECTRICAL, CHAPTERS 3 THRU 41, THE 2011 NEC, STATE AND LOCAL CODES AND ORDINANCES.

THE ELECTRICAL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE FINAL DESIGN OF THE SYSTEMS AS WELL AS THE EXECUTION OF THE WORK ACCORDING TO ACCEPTED STANDARDS O NGINEERING, WORKMANSHIP AND REGULATORY REQUIREMENTS. ELECTRICAL CONTRACTORS TO ROVIDE ADDITIONAL DRAWINGS. SPECIFICATIONS AND ENGINEERS CERTIFICATION AS REQUIRED E FEDERAL, STATE, OR LOCAL LAWS AND BUILDING DEPARTMENT JURISDICTION.

VERIFY SERVICABILITY AND ADEQUATE CAPACITY OF EXISTING 100 AMP, 12 CIRCUIT SUB-PANEL WITH DISCONNECT, SERVICED FROM THE EXISTING HOUSE AT THE LOCATION NOTED ON THE PLANS. SERVICE PANELS SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIALS, SUCH AS LOTHES CLOSETS OR IN BATHROOMS. (IECC E3 705.7) SERVICE CONDUCTORS AND EQUIPMENT T BE SIZED PER IRC CHAPTER 36.

SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: (IRC R3 14.1) 1. IN EACH SLEEPING ROOM 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED THE DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. ALARMS SHALL BE HARD WIRED WITH BATTERY BACKUP

ALL SMOKE ALARMS SHALL BE LISTED AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THIS CODE AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. WHEN ALTERATIONS, REPAIRS OR ADDITIONS REQUIRING A PERMIT OCCUR, OR WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN EXISTING DWELLINGS, THE DWELLING UNIT SHALL BE

EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS. (IRC R3 14.3.1) EXCEPTION: INTERCONNECTED AND HARD WIRING OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALLS OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING AND

INTERCONNECTION. FOR NEW CONSTRUCTION AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE EACH SEPARATE SLEEPING AREA IN DWELLING UNITS WITHIN WHICH FUEL FIRED APPLIANCES ARE INSTALLED OR HAVE ATTACHED GARAGES. (IECC 315.1)

WHERE WORK REQUIRING A PERMIT OCCURS IN EXISTING DWELLINGS WITHIN WHICH FUEL FIRED APPLIANCES EXIST OR HAVE ATTACHED GARAGES CARBON MONOXIDE ALARM PROVIDED IN

SINGLE STATION CARBON MONOXIDE ALARMS SHALL BE LISTED AS COMPLYING WITH UL 2034 AND INSTALLED IN ACCORDANCE WITH THIS CODE AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS

SPECIAL NOTICE

ACCORDANCE WITH R3 15.1.

ANY DISCREPANCY IN DIMENSIONS AND/OR DRAWINGS AND/OR GRAPHIC REPRESENTATION AND/OR FIELD MEASUREMENTS SHALL BE BROUGHT TO THE ATTENTION OF JAKE'S DRAFTING SERVICE, INC. PRIOR TO THE COMMENCEMENT OF ANY WORK.

ANY DEVIATION FROM THESE PLANS IS EXPRESSLY FORBIDDEN WITHOUT PRIOR WRITTEN NOTIFICATION AND APPROVAL BY JAKE'S DRAFTING SERVICE, INC., AS THE DESIGNER; THE OWNER; THE ENGINEER AND THE GENERAL CONTRACTOR. THESE SPECIFICATIONS ARE GENERAL IN NATURE SOME DIVISIONS OR SECTIONS MAY NOT BE APPLICABLE. BULLDERS PLANS

THE CONTRACTOR WARRANTS TO JAKE'S DRAFTING SERVICE, INC. THAT HE POSSESSES THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING AND ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OWN COMPETENCE. THE CONTRACTOR OR OWNER HAS RESTRICTED JAKE'S DRAFTING SERVICE, INC.'S SCOPE OF PROFESSIONAL SERVICES. IN RELIANCE O THE CONTRACTOR'S WARRANTY AND AT THE EXPRESS REQUEST OF THE CONTRACTOR OR OWNER JAKE'S DRAFTING SERVICE, INC. HAS UNDERTAKEN A LIMITED SCOPE OF PROFESSIONAL SERVICES. THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE TERMED "BUILDER'S PLANS" IN RECOGNITION OF THE CONTRACTOR'S SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE "BUILDER'S PLANS" TO THE FIELD CONDITIONS ENCOUNTERED, AND MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE "BUILDER'S PLANS." IN THE EVENT ADDITIONAL DETAILS OR GUIDANCE ARE NEEDED BY THE CONTRACTOR OR OWNER, FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT, HE SHALL IMMEDIATELY NOTIFY JAKE'S DRAFTING SERVICE, INC. FAILURE TO GIVE A

SIMPLE NOTICE SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR THE

DUTY OF COOPERATION

CONSEQUENCES.

RELEASE OF THESE PLANS ANTICIPATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND JAKE'S DRAFTING SERVICE, INC. ALTHOUGH JAKE'S DRAFTING SERVICE, INC. AND ITS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY NOT GUARANTEE PERFECTION. ANY AMBIGUITY OR DISCREPANCY DISCOVERED SHALL BE REPORTED IN WRITING TO JAKE'S DRAFTING SERVICE, INC. IMMEDIATELY AND PRIOR TO THE COMMENCEMENT OF ANY WORK. FAILURE TO COOPERATE BY SIMPLE NOTICE TO JAKE'S DRAFTING SERVICE, INC. SHALL NOT RELIEVE THE CONTRACTOR FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF JAKE'S DRAFTING SERVICE, INC. ARE UNAUTHORIZED, AND SHALL RELIEVE JAKE'S DRAFTING SERVICE, INC. OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

IF JAKE'S DRAFTING SERVICE, INC., AS CLAIMANT OR A DEFENDING PARTY, IS AT ANY TIME A PARTY LITIGATION INVOLVING ANY CLAIM RELATED TO WORK CONTAINED IN THESE DRAWINGS, AND SHOULD CLAIMANT NOT PREVAIL SUBSTANTIALLY AGAINST DEFENDING PARTY IN SUCH LITIGATION; ALL LITIGATION EXPENSES, WITNESS FEES, COURT COSTS, AND ATTORNEY'S FEES INCURRED BY THE ENDING PARTY IN DEFENDING AGAINST SUCH A CLAIM, SHALL BE PAID BY THE CLAIMANT

THE DRAWINGS SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY JAKE'S DRAFTING SERVICE INC. (AS THE DESIGNER.) FOR THIS PROJECT ARE "INSTRUMENTS OF SERVICE", FOR USE SOLELY WITH RESPECT TO THIS PROJECT. JAKE'S DRAFTING SERVICE, INC., (AS THE DESIGNER) SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW. STATUTORY AND OTHER RESERVED RIGHTS, INCL PLANS AND SPECIFICATIONS, IN PART OR IN WHOLE, BY THE CLIENT OR HIS AGENT FOR BUILDING PERMIT APPLICATION SHALL BE DEEMED AS EVIDENCE OF ACCEPTANCE FOR FINAL PAYMENT C CONTRACT

THESE PLANS ARE FOR USE ONLY BY THE CLIENT AND ONLY AT THE SITE IDENTIFIED IN THE TITLE

ANY DUPLICATION REPRODUCTION OR OTHER USE NOT SPECIFICALLY PERMITTED HEREIN OF THE PLANS, IN PART OR IN WHOLE, IS STRICTLY PROHIBITED UNDER COPYRIGHT LAW. ENGINEERED DRAWINGS

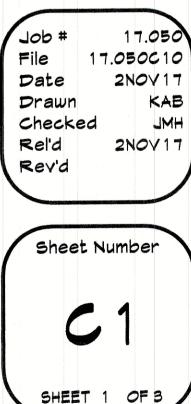
THE ENGINEERED DESIGN DRAWINGS ARE FOR STRUCTURAL ENGINEERING OF THE HOUSE AND PERMANENT FOUNDATION ONLY, DETACHED RETAINING WALLS ARE NOT PART OF THE ENGINEERED STRUCTURAL DRAWINGS AND ARE BY OTHERS. SLOPE STABILITY, EXCAVATION, SHORING, DRAINAGE SOILS ISSUES & CONSTRUCTION METHODS ARE NOT INCLUDED AND SHOULD BE ADDRESSED BY AN ENGINEER OR SPECIALIST OF THAT FIELD OF WORK. PROJECT ENGINEERING IS EXCLUDED.

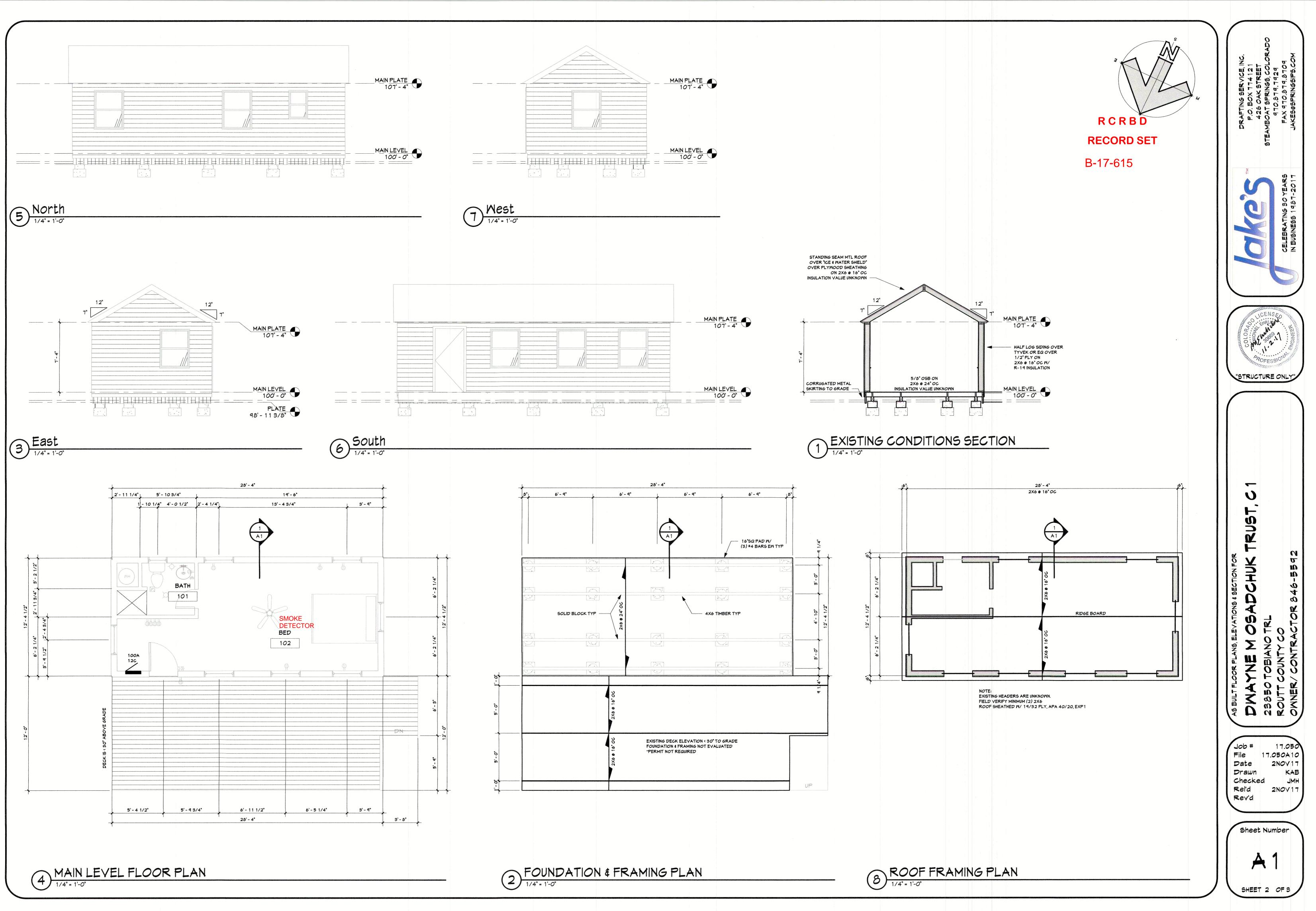
ALL SOILS ISSUES SHOULD BE BROUGHT TO THE ATTENTION OF THE SOILS ENGINEER. THE OWNER OR HIS REPRESENTATIVE ARE RESPONSIBLE FOR FOLLOWING THE SOILS REPORT, CONTACTING THE SOILS ENGINEER AND FOLLOWING THEIR RECOMMENDATIONS AND TO HAVE READ THE SOILS REPORT AND RECOGNIZE THE RISKS AND LIMITATIONS STATED THEREIN.

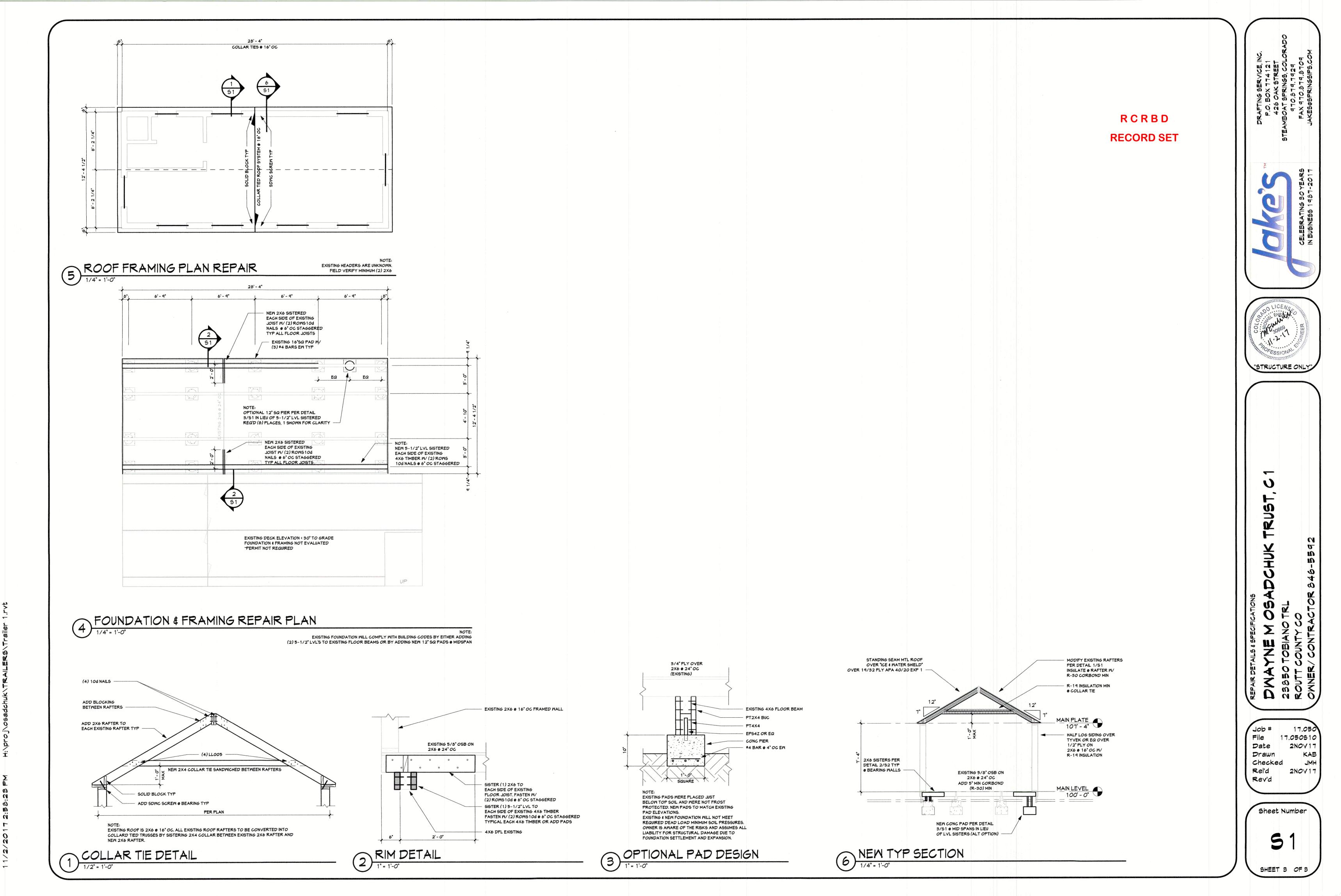
CONTACT THE SOILS ENGINEER AT TIME OF EXCAVATION TO VERIFY THAT ALL STRUCTURAL CONCRETE IS PLACED ON SUITABLE BEARING MATERIAL.

RCRBD **RECORD SET**

DОШ 1 0 F 11.2.1 SSIONP STRUCTURE ONL S 2 Ω Dak







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