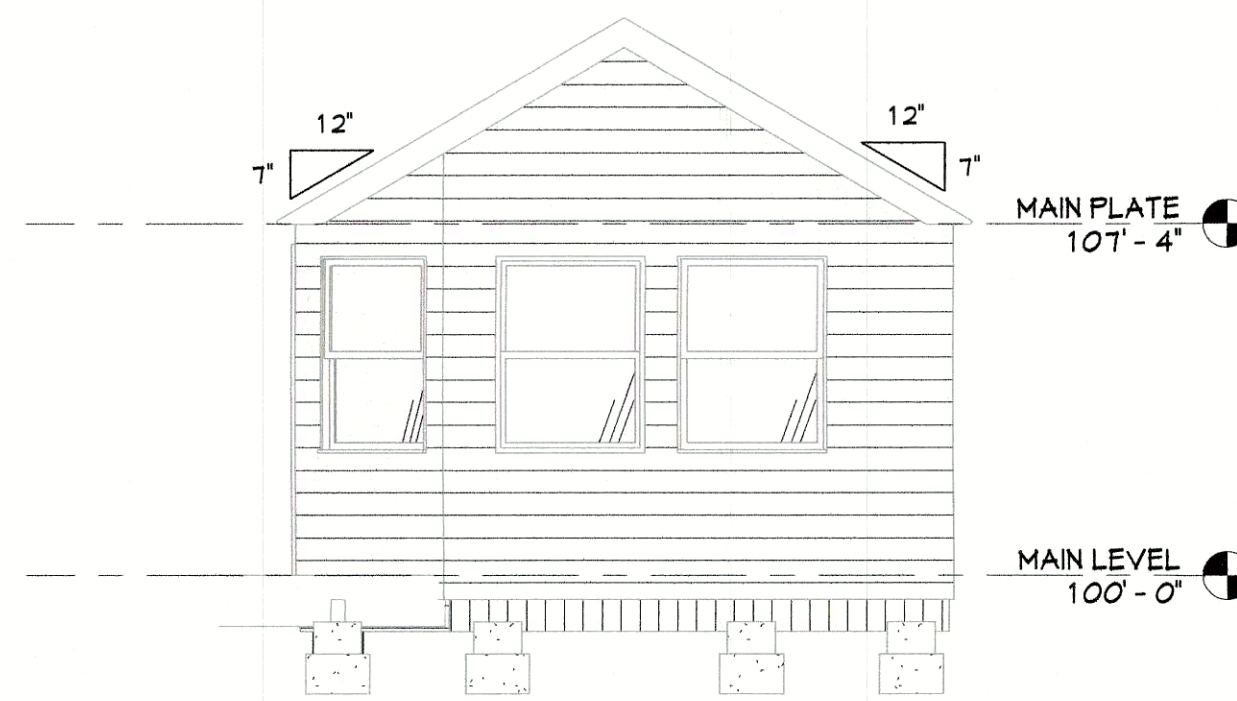
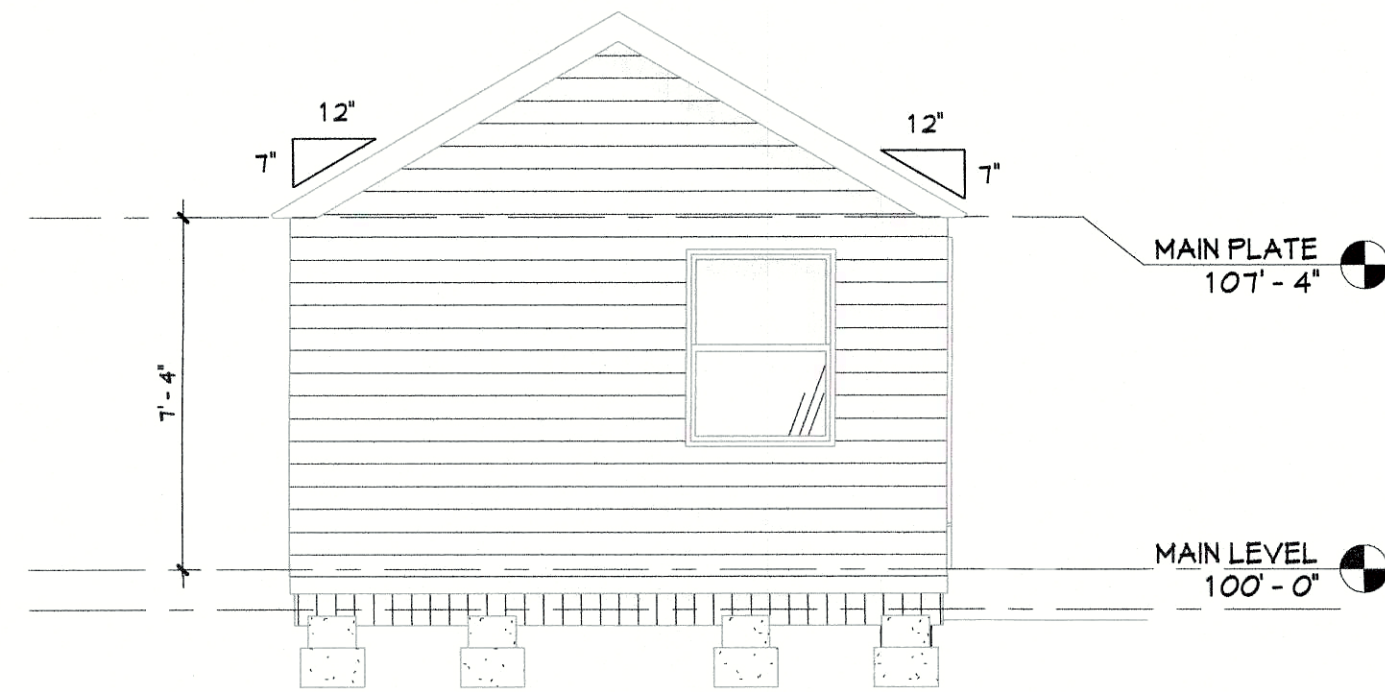


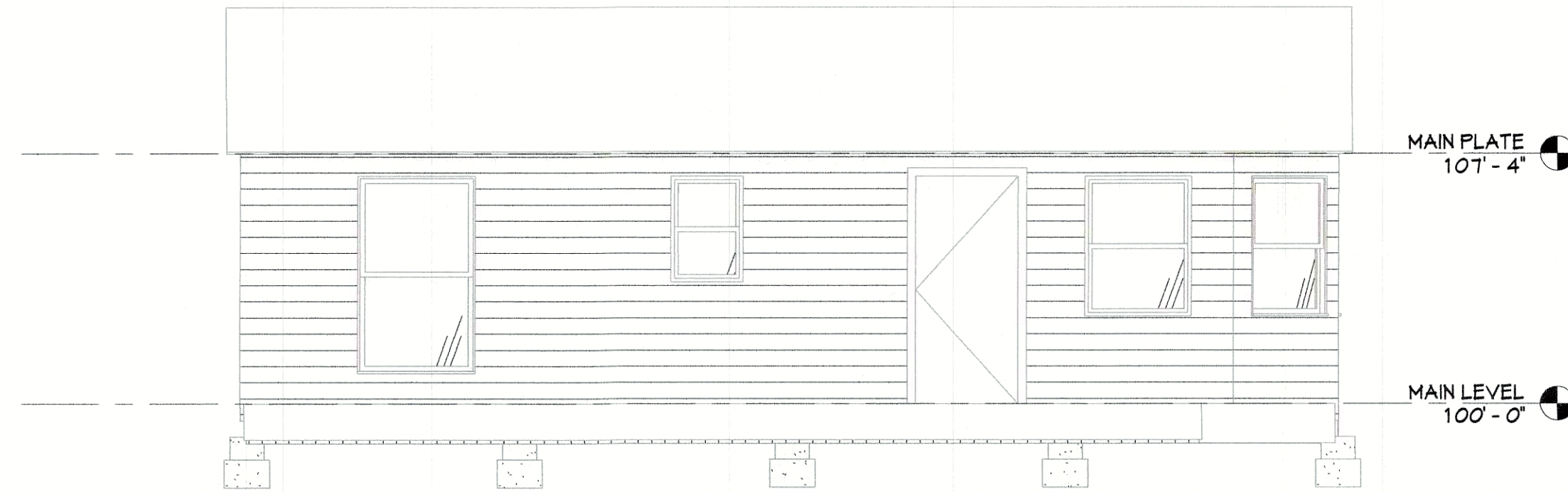
5 North
1/4" = 1'-0"



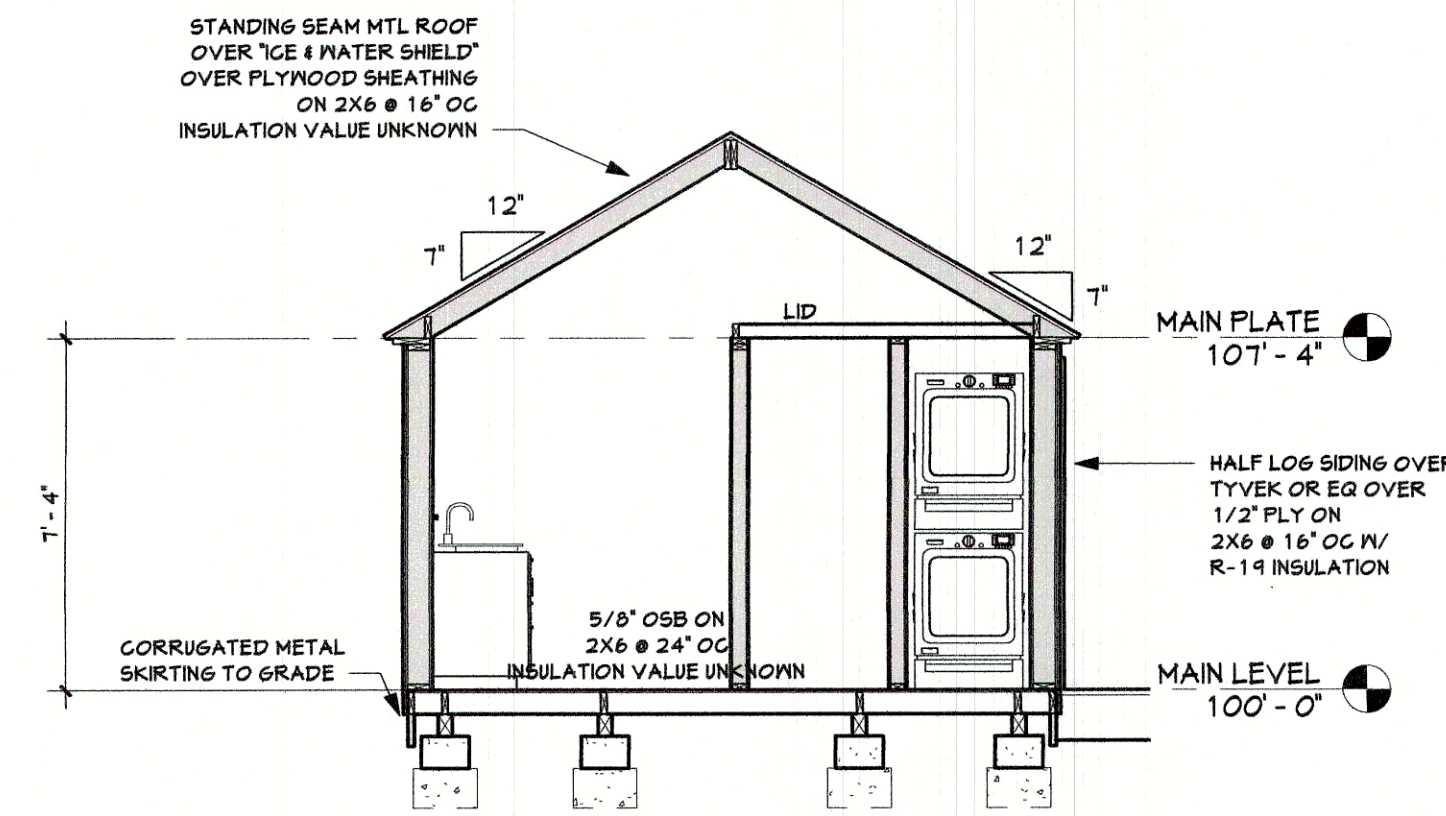
7 West
1/4" = 1'-0"



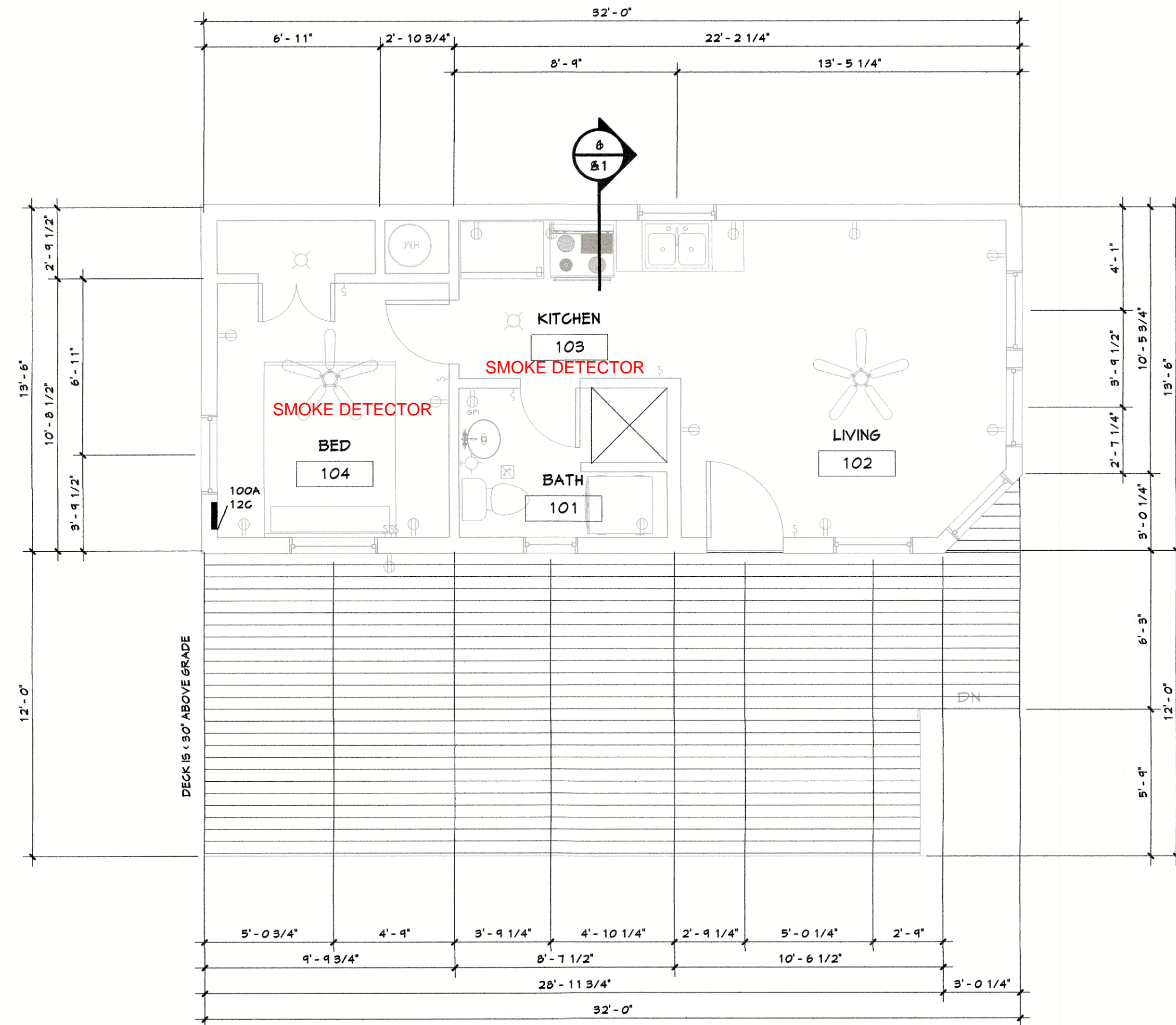
3 East
1/4" = 1'-0"



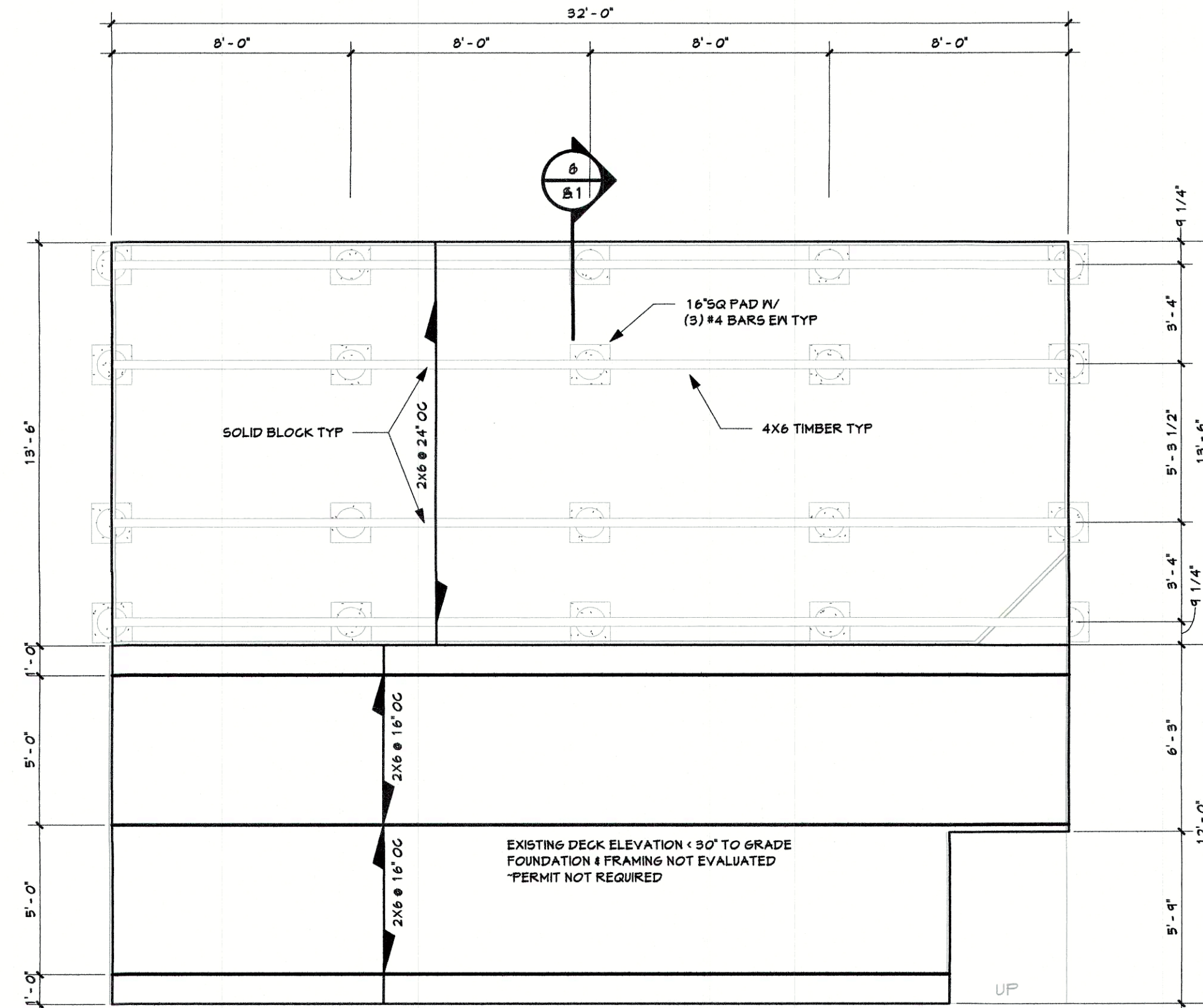
6 South
1/4" = 1'-0"



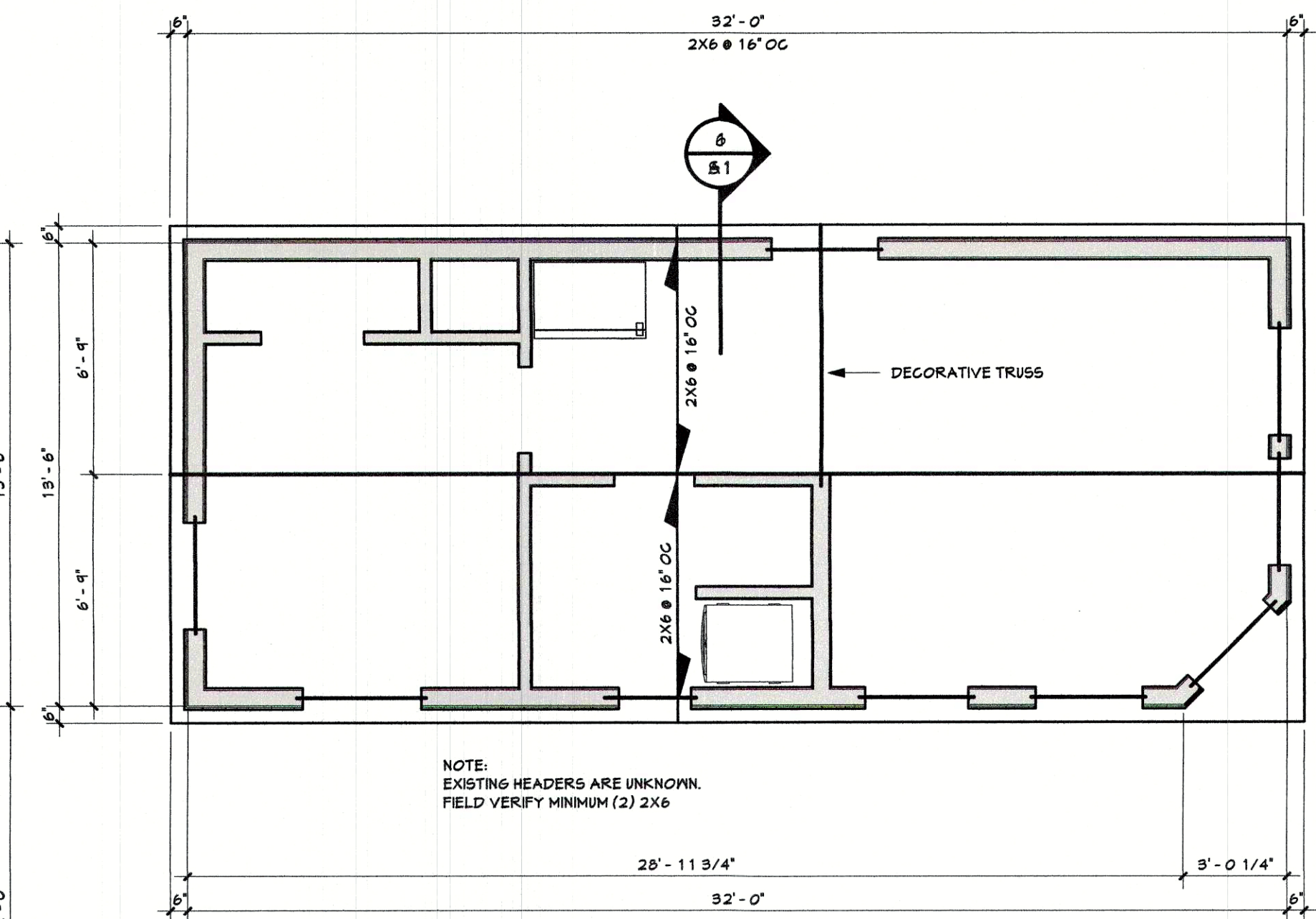
1 EXISTING CONDITIONS SECTION
1/4" = 1'-0"



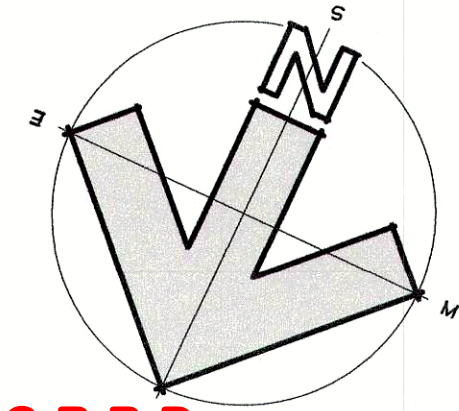
4 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



2 FOUNDATION & FRAMING PLAN
1/4" = 1'-0"



8 ROOF FRAMING PLAN
1/4" = 1'-0"



RCRBD
RECORD SET
B-17-613 and B-17-614

Jake's
CELEBRATING 30 YEARS
IN BUSINESS 1987-2017

COLORADO LICENSED
PROFESSIONAL ENGINEER
11-2-17
"STRUCTURE ONLY"

AS BUILT FLOOR PLANS, ELEVATIONS, & SECTION FOR
DWAYNE MOSADCHUK TRUST, C2 & C3
23850 TOBIANO TRL
ROUTT COUNTY CO
OWNER/ CONTRACTOR 846-5592

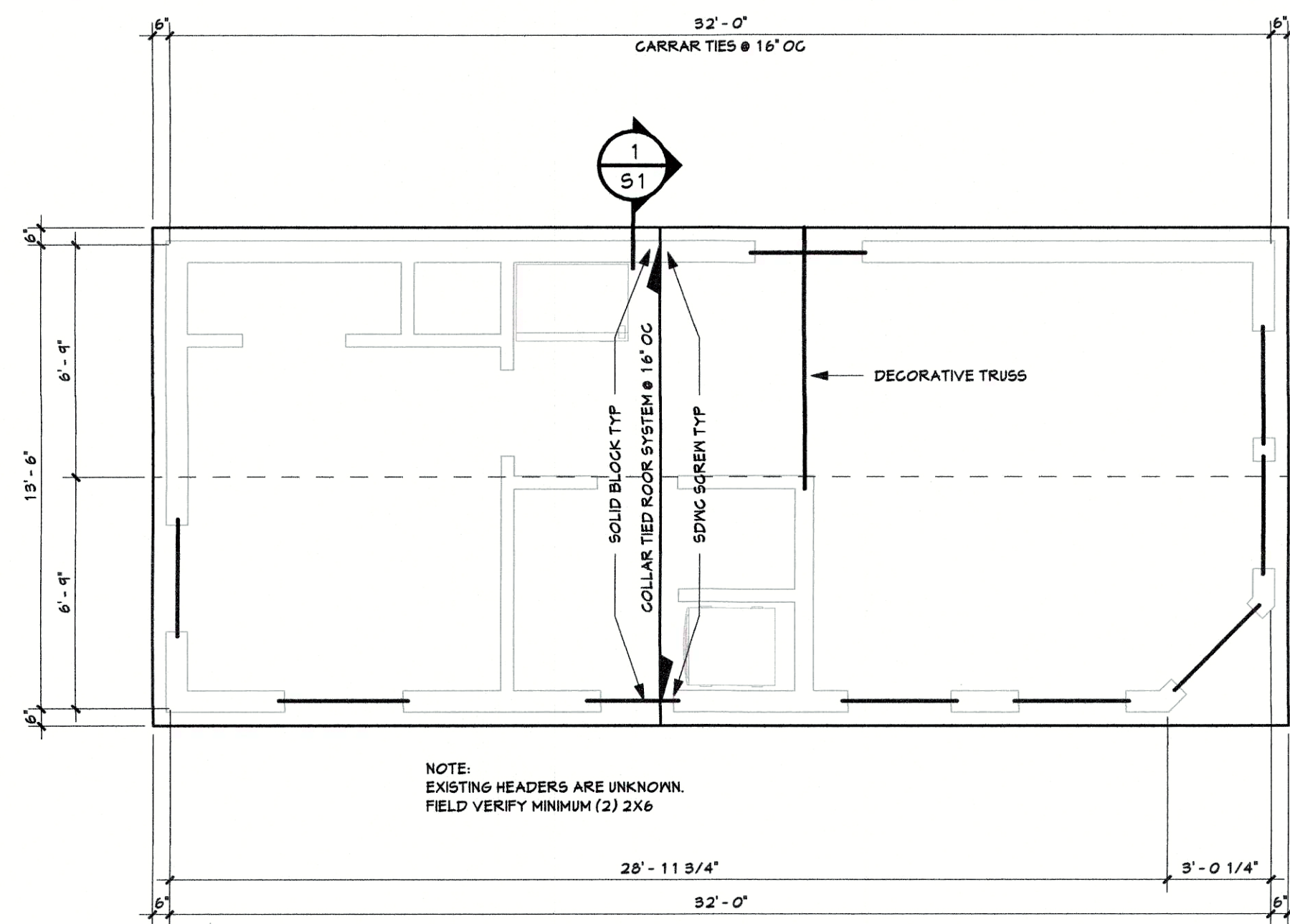
Job # 17.050
File 17.050A10
Date 2NOV17
Drawn KAB
Checked JMH
Re'd 2NOV17
Rev'd

Sheet Number

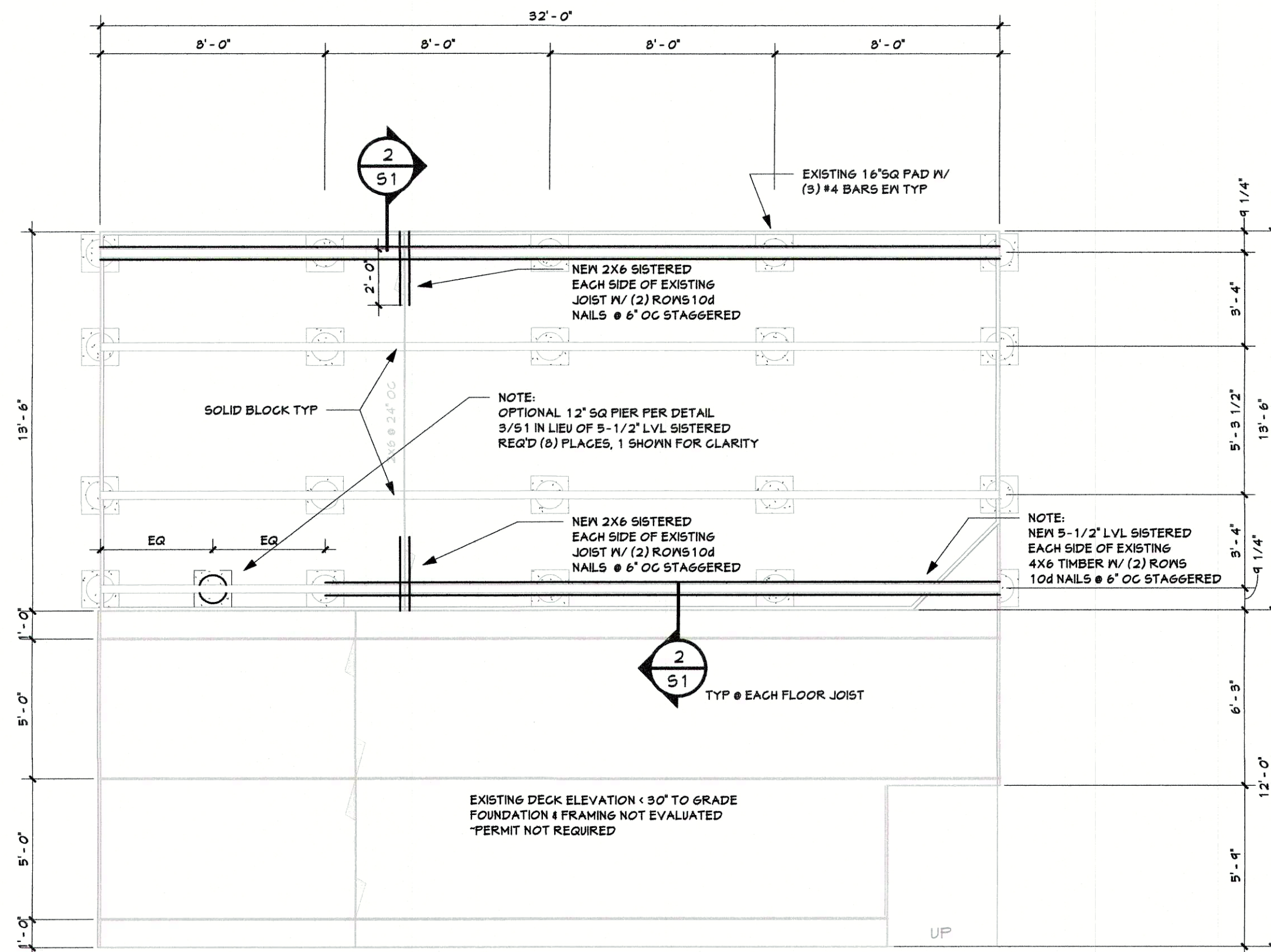
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SHEET 2 OF 3

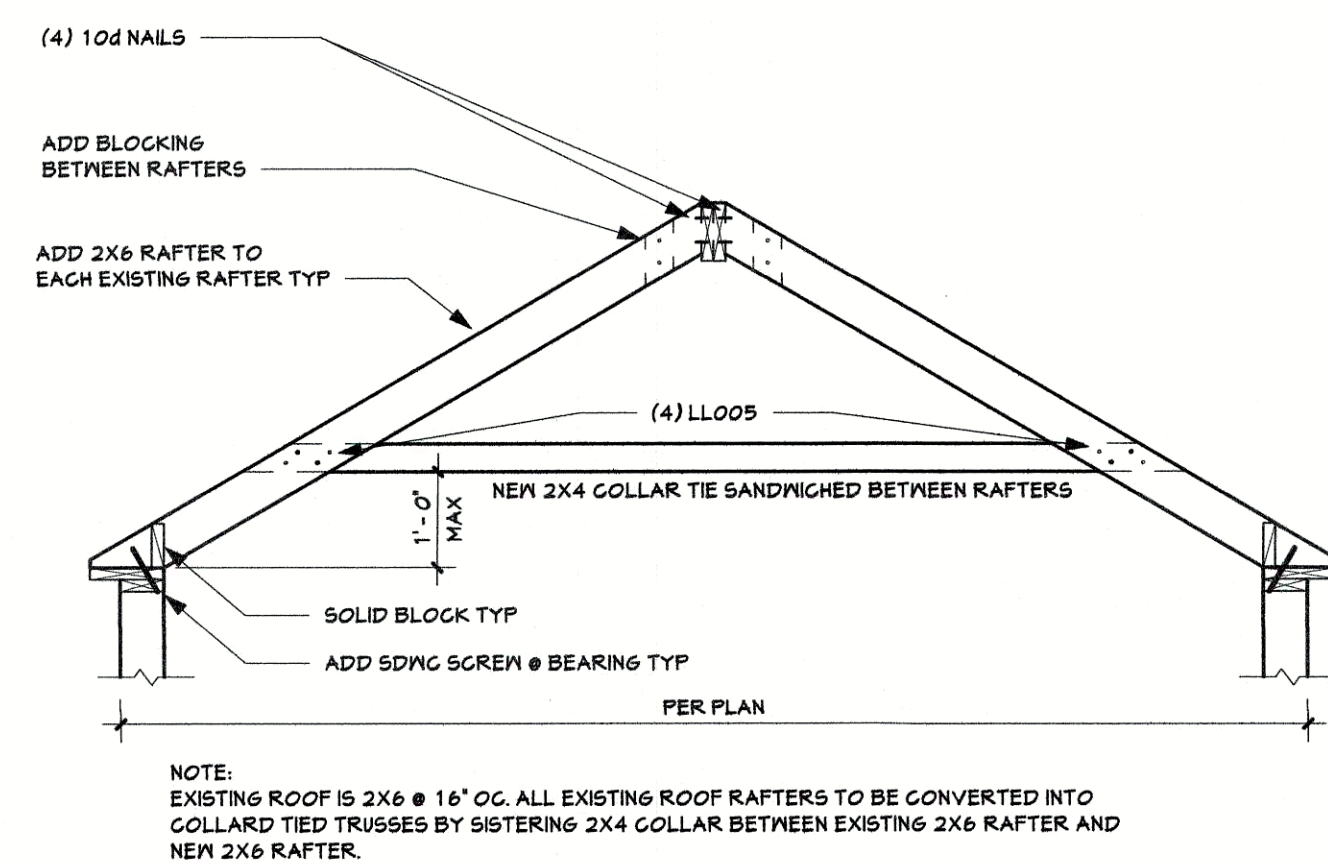
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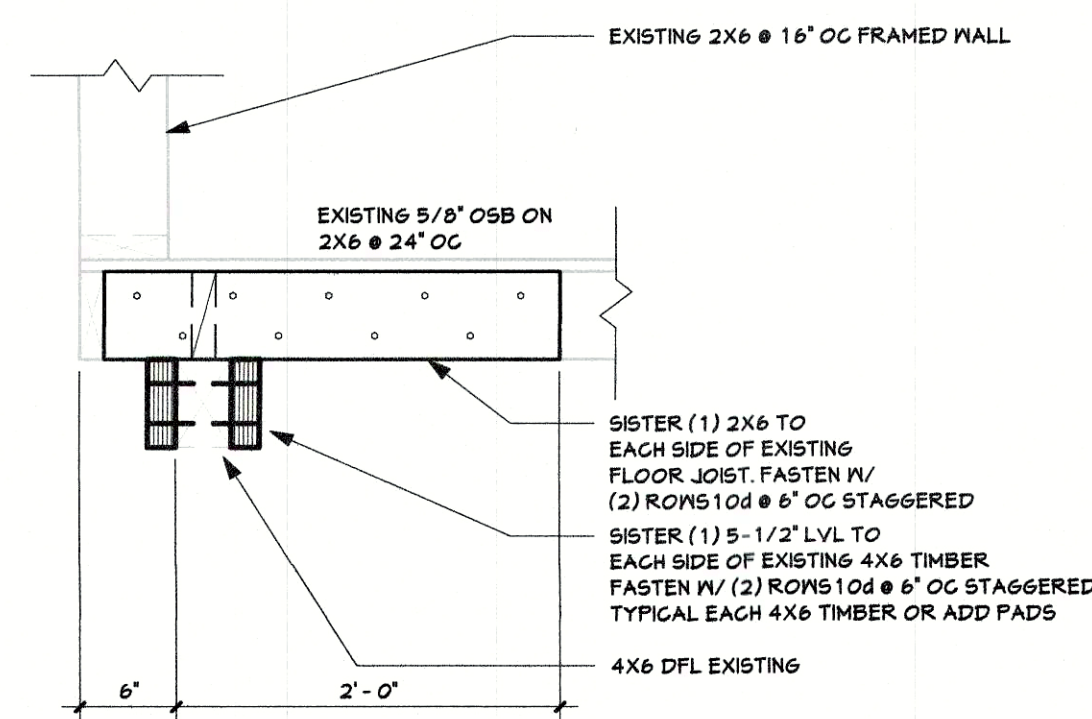
5 ROOF FRAMING REPAIR PLAN
1/4" = 1'-0"



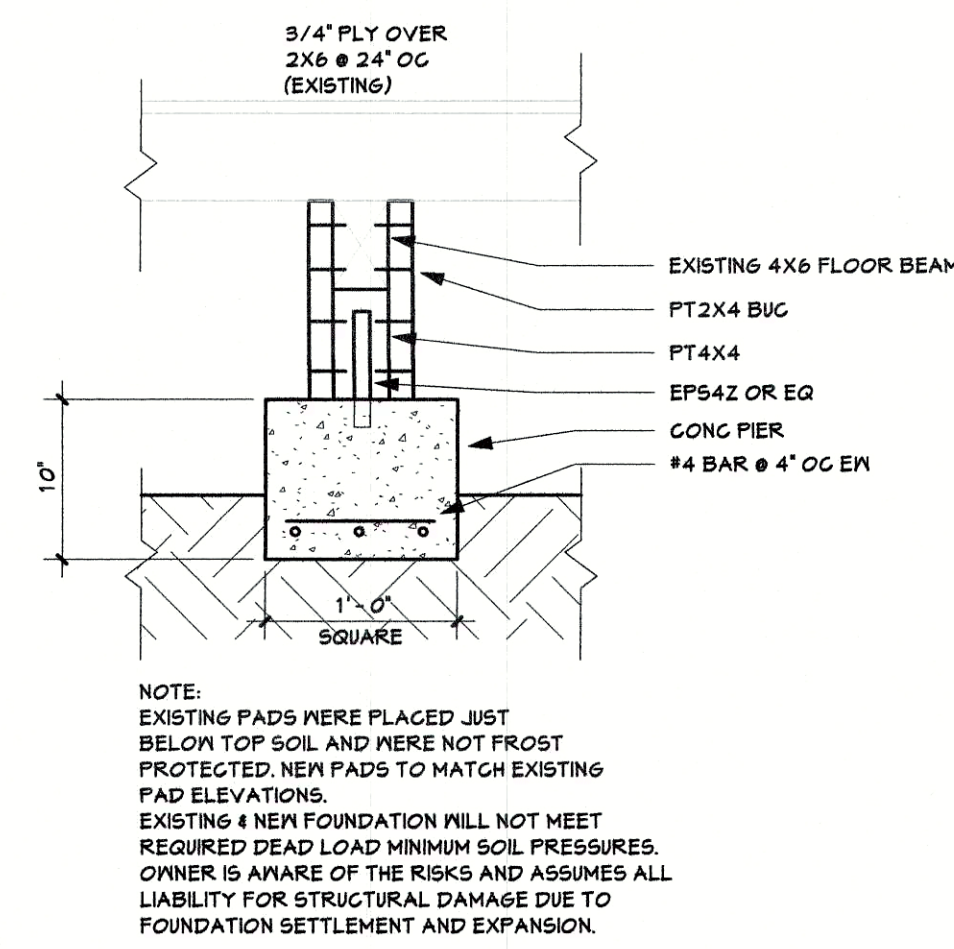
4 FOUNDATION & FRAMING REPAIR PLAN
1/4" = 1'-0"



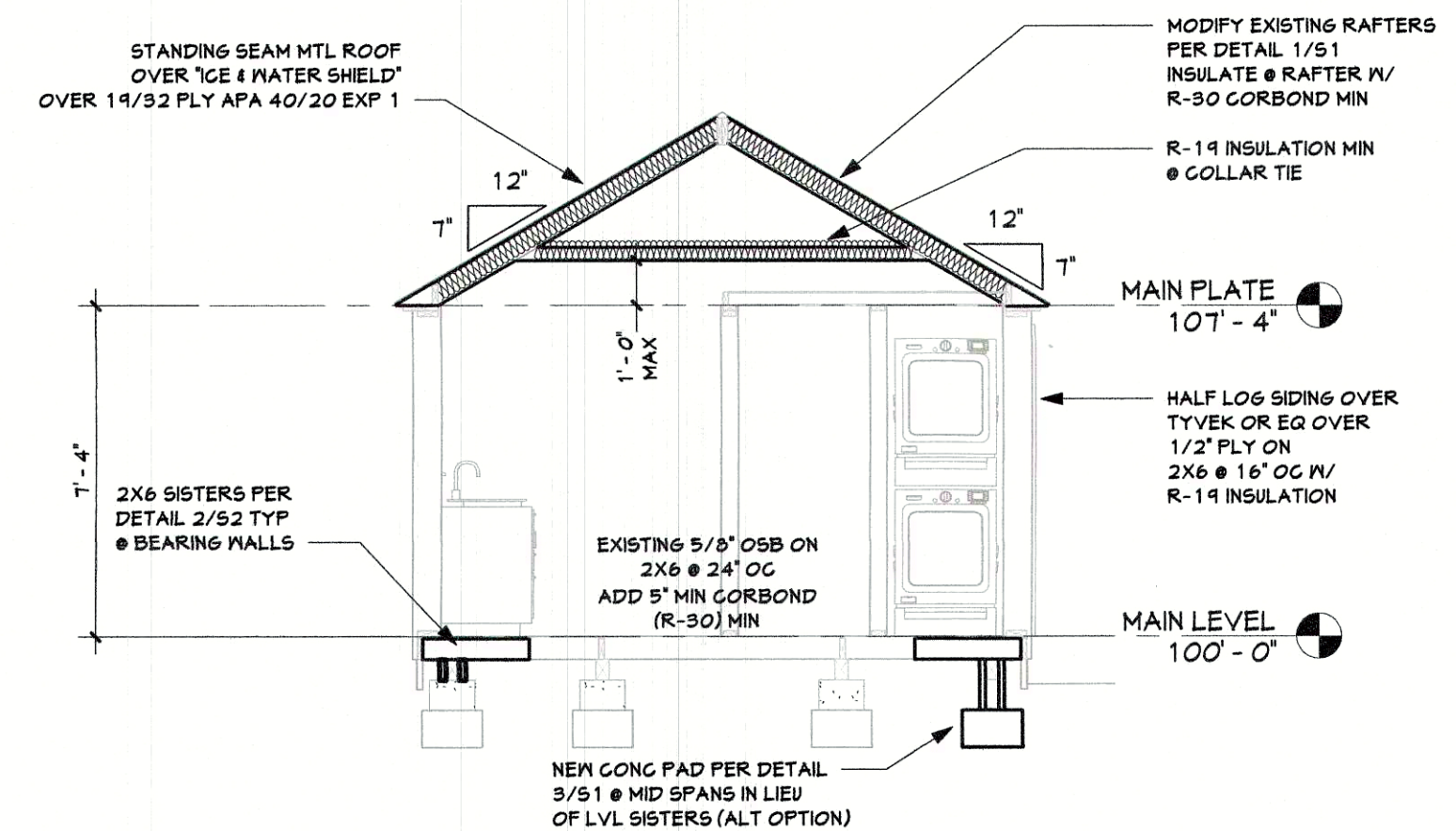
1 COLLAR TIE DETAIL
1/2" = 1'-0"



2 RIM DETAIL
1" = 1'-0"



3 OPTIONAL PAD DESIGN
1" = 1'-0"



6 NEW TYP SECTION
1/4" = 1'-0"

RCRBD
RECORD SET

DRAFTING SERVICE INC.
P.O. BOX 774121
426 OAK STREET
STEAMBOAT SPRINGS, COLORADO
81087-1211
FAX 970.879.8709
JAKES@SPRINGSIPS.COM

Jake's
CELEBRATING 30 YEARS
IN BUSINESS 1987-2017

COLORADO LICENSED
PROFESSIONAL ENGINEER
11-2-17
"STRUCTURE ONLY"

REPAIR DETAILS & SPECIFICATIONS
DWAYNE M OSADCHUK TRUST, C2 & C3
23850 TOBIANO TRL
ROUTT COUNTY CO
OWNER/ CONTRACTOR 846-55592

Job # 17.050
File 17.050510
Date 2NOV17
Drawn JMH
Checked JMH
Re'd 2NOV17
Rev'd

Sheet Number
S1
SHEET 3 OF 3

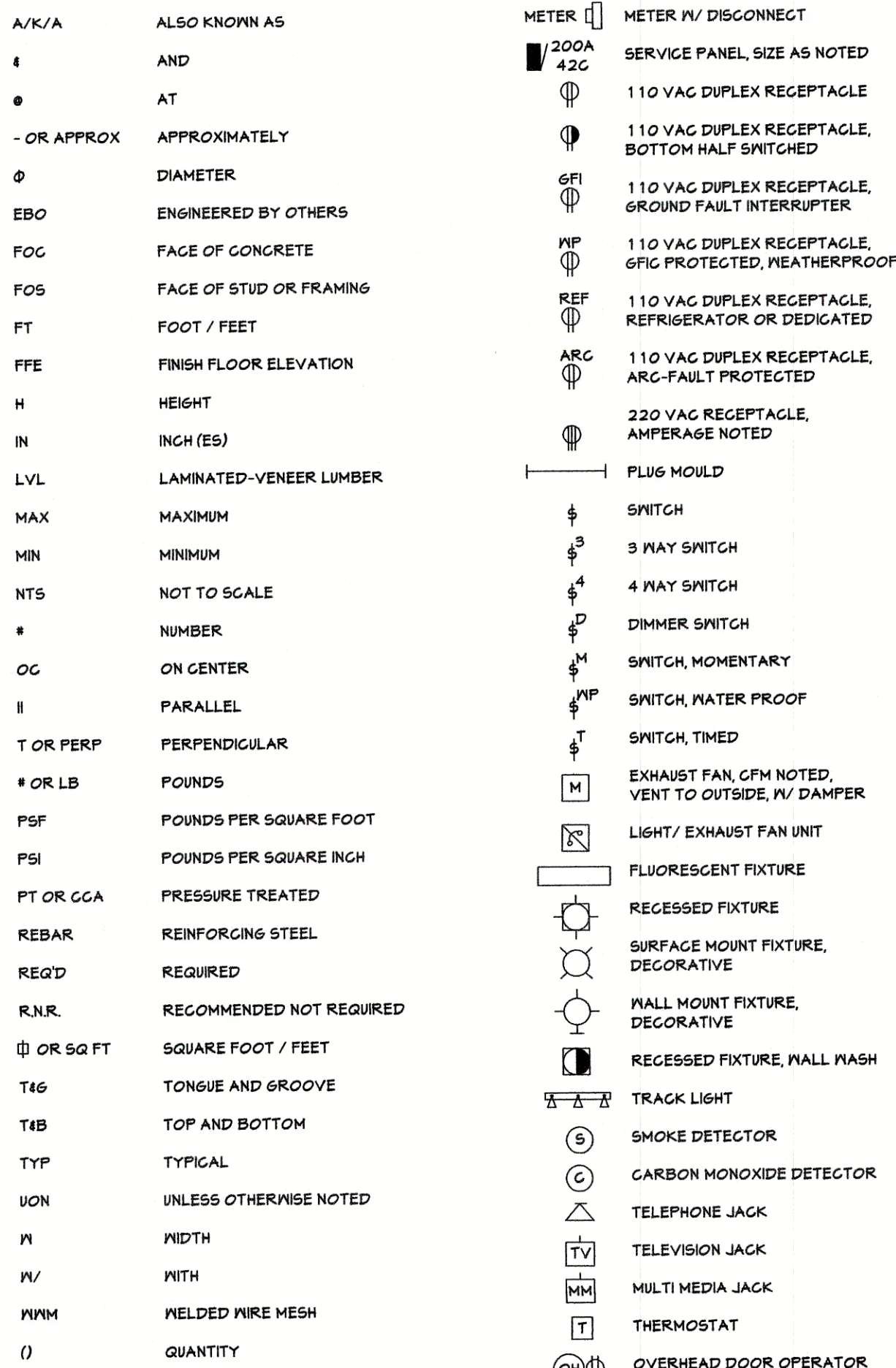


NOTES:
-ALL DISTURBED AREAS TO BE REVEGETATED
-GRADE AWAY FROM ADDITION 5' @ 2% SLOPE
-ALL CUT/ FILL SLOPES ARE 2:1 MAX
UNLESS OTHERWISE NOTED

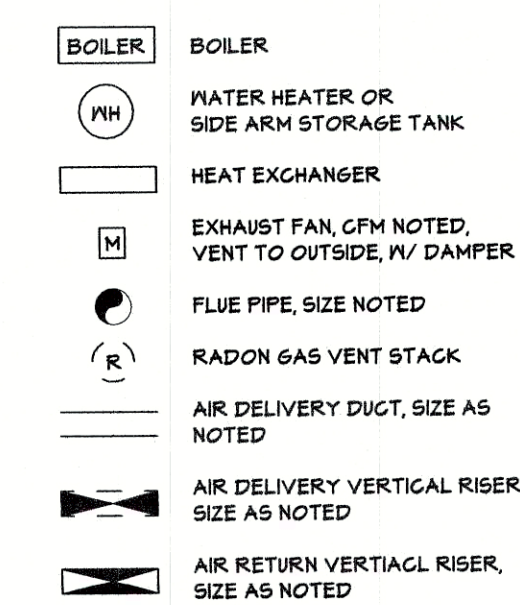
-THERE ARE NO WATER BODIES, RIVERS, STREAMS
LAKES, RESERVOIRS OR PONDS WITHIN 50' OF THE
POPOSED STRUCTURE

ZONED: AF
SETBACKS: 100' FRONTAGE, 50' SIDE & REAR
PARCEL ID#: 946312001
EET ADDRESS: 23850 TOBIANO TRAIL
DESCRIPTION: TRS IN 2N2E4, S2NE4 SEC 36-5-
S2N4, N25W4, S4N4E4, N44SE4

YAMPA VALLEY ELECTRIC ASSN. INC.
No changes to existing service or meter.
Approved: Jerry Nanio - YVEA.



MECHANICAL LEGEND



Electric, water, sewer and gas (if applicable) to be installed, tested and inspected to IRC to include nail plates, vent through roof (VTR) as site built.

[illegible][illegible]

DOORS AND WINDOWS

CONTRACTOR SHALL SUPPLY AND INSTALL ALL DOORS, WINDOWS AND GLAZING AS DETAILED, SCHEDULED AND/OR SPECIFIED IN THESE DOCUMENTS.

WINDOWS AND DOORS UNIT U-VALUE TO BE 0.95 MAXIMUM. ALL PERMITS SHALL BE PROVIDED WITH SCREENS. (RC 3.12.1)

ALL HABITABLE ROOMS SHALL HAVE AN ADEQUATE GLAZING AREA OF NOT LESS THAN 8 PERCENT OF THE ROOM AREA OF EACH ROOM. (RC 3.03.1)

EXCEPTION 2: THE GLAZED AREAS NEED NOT BE PROVIDED IN ROOMS WHERE ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF FLOODING AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES.

ALL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. (RS 10.1.1)

EXCEPTION : GRADE FLOOR OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.0 SQUARE FEET.

THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (RC 3.10.1.2)

THE MINIMUM NET CLEAR OPENING WIDTH SHALL BE 20 INCHES (RC 3.10.1.3)

EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT THE USE OF KEYS, TOOLS OR SPECIAL KNOWLEDGE. (RC 3.10.1.4)

SEE RC SECTION R308.4 FOR HAZARDOUS LOCATIONS WHERE SAFETY GLAZING IS REQUIRED.

ACCESS SHALL BE PROVIDED TO ALL UNDER FLOOR AREAS EITHER THROUGH AN 18" X 24" ACCESS PANEL, THROUGH FLOORS OF 8" B X 24" ACCESS PANEL, THROUGH A PERIMETER WALL (RC SECTION R406.4)

4. FINISHES

CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS TO FINISH ROOMS AND BUILDING EXTERIOR AS DETAILED, SCHEDULED AND /OR SPECIFIED IN THESE DOCUMENTS.

ROOFING MATERIAL TO BE 24 GAUGE STEEL, PRO-PANEL, BEING TO BE HALF LOG CEDAR, TRIM TO BE 1X4 WESTERN RED CEDAR, STAIN COLOR PER BID.

10. SPECIALTIES - NO WORK THIS SECTION

11. EQUIPMENT - NO WORK THIS SECTION

12. DEFENSIBLE SPACE - NO WORK THIS SECTION

13. ENERGY EFFICIENCY

THE ROUTT COUNTY REGIONAL BUILDING DEPARTMENT HAS ADOPTED THE 2009 INTERNATIONAL ENERGY CONSERVATION CODE (IECC) THIS PROJECT SHALL COMPLY WITH SECTIONS 401.402.4, 402.5 AND 403.1; 405.2.2, 405.2.3 AND 405.2.4 (REFERRED TO AS THE MANDATORY PROVISIONS) AND:

1. SECTIONS 402.1 THROUGH 402.3, 402.3.1 AND 404.1 (PRESERVATIVE); OR
2. SECTION 405.1.12 PERFORMANCE ALTERNATIVE PATH (PERFORMANCE).

THE DESIGNER HAS MET THESE REQUIREMENTS. THE FOLLOWING TABLES ARE THE MANDATORY TABLES 402.1.1, 402.1.2 FOR CLIMATE ZONE 1

PENESTRATION U-Factor	Skylight U-Factor	Glass/Panoramic Glazing U-Factor	Ceiling U-Factor	Roof U-Factor	Basement Slab U-Factor	Slab U-Factor	Drift U-Factor	Crack Space U-Factor
0.09	0.06	0.026	0.051	0.021	0.020	0.050		0.005

THERE ARE NO REQUIREMENTS FOR SOLAR HEAT GAINING COEFFICIENTS.
R-VALUES SHOWN ARE MINIMUMS; U-FACTORS SHOWN ARE MAXIMUMS.
C. THE FIRST R-VALUE IS FOR CONTINUOUS INSULATION. THE SECOND R-VALUE IS FOR CAVITY INSULATION. EITHER MEETS THE REQUIREMENT. NOT MEET PRESERVATIVE REQUIREMENTS.
R-8 SHALL BE ADDED TO THE SLAB EDGE R-VALUE FOR HEATED SLABS
g or INSULATION SUFFICIENT TO MEET THE FRAMING CAVEY R-15 MINIMUM.

THE THICKNESS OF BLOWN IN INSULATED FIBERGLASS OR CELLULOSE SHALL BE WRITTEN IN BRACKETS ON MARKERS WHEN 3" TALL. MARKERS SHALL FACE THE ATTIC ACCESS OPENING AND BE PROVIDED FOR EACH 300 SF OF ATTIC AREA. (N 101.1.4)

A PERMANENT CERTIFICATE SHALL BE POSTED ON OR IN THE ELECTRICAL DISTRIBUTION PANEL OR NEAREST ELECTRICAL CONTROL CENTER, LISTING THE PRESCRIPTIVE R-VALUES OF INSULATION INSTALLED BY COMPONENT; U-FACTORS FOR PENESTRATION AND THE VALUE AND EFFICIENCY OF HEATING, COOLING AND WATER HEATING EQUIPMENT. (ECG 401.3)

TO MEET THE PREScriptive REQUIREMENTS, THE BUILDING THERMAL ENVELOPE SHALL MEET THE R-VALUES AND U-FACTORS 402.1.1 BUILDING ENVELOPE NOT MEET PREScriptive REQUIREMENTS

TO MEET THE TOTAL U-FACTOR ALTERNATIVE REQUIREMENTS, THE TOTAL BUILDING THERMAL ENVELOPE SHALL BE LESS THAN OR EQUAL TO THE TOTAL U-FACTOR RESULTING FROM USING THE U-FACTORS IN TABLE 402.1.3. THE BUILDING SHALL BE CONSIDERED IN COMPLIANCE WITH TABLE 402.1.3 SEE CALCULATED COMPLIANCE REPORT.

WHERE CELINGS HAVE ATTIC SPACES, R-30 SHALL BE DONE TO SATISFY THE REQUIREMENT FOR R-40. THENEVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL PLATE AT THE EYES (EGC 402.2.1). PROVIDE R-4+ R-30 INSULATION AS SHOWN ON DETAIL 1/8"

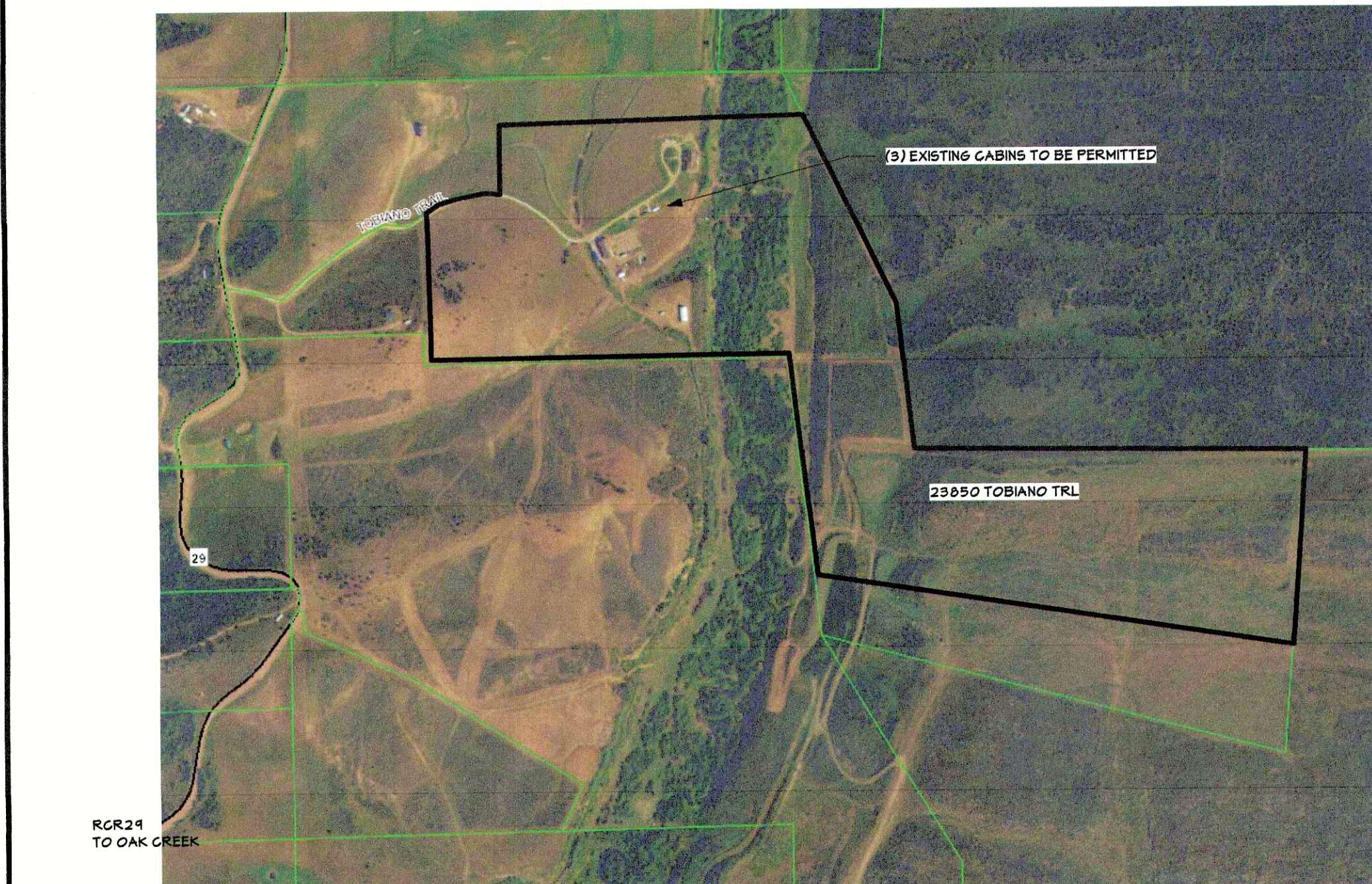
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DRAFTING SERVICE INC.
P.O. BOX 774121
426 OAK STREET
STEAMBOAT SPRINGS, COLORADO
970.879.1929
FAX 970.879.1909
JAKES66DRAFTING.COM

COLORADO LICENSED
PROFESSIONAL ENGINEER
11.2.17
0669

"STRUCTURE ONLY"



1 SITE PLAN
1" = 300'-0"

The two cabins with darker roofs are the one-bedroom cabins B-17-613 and B-17-614 (see previous set) and the cabin with the white roof is the studio cabin B-17-615 (this set). The darker roof cabins have the same exact construction and floor plan. We are not offering the lodge for lodging. Any structures that are not a house or the cabins are agriculture buildings.

SITE PLAN & SPECIFICATIONS
DWAYNE M OSADCHUK TRUST, C1
23850 TOBIANO TRL
ROUTT COUNTY CO
OWNER/ CONTRACTOR 846-5592

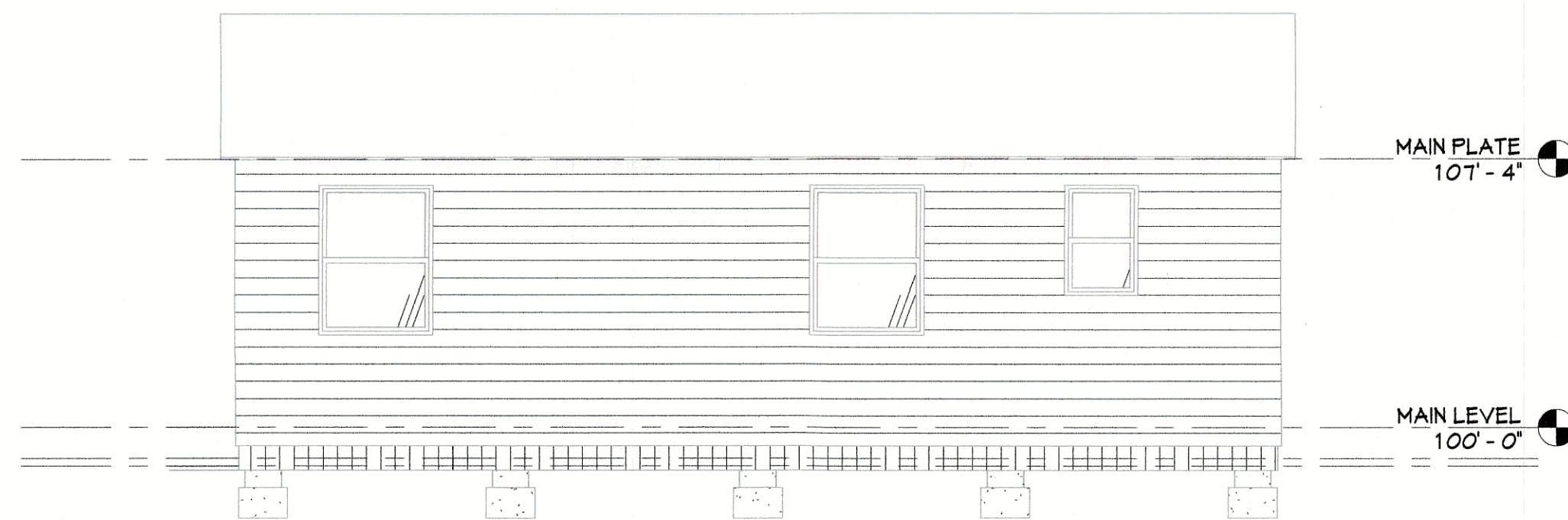
Job # 17.050
File 17.050C10
Date 2NOV17
Drawn KAE
Checked JMK
Rel'd 2NOV17
Rev'd

Sheet Number

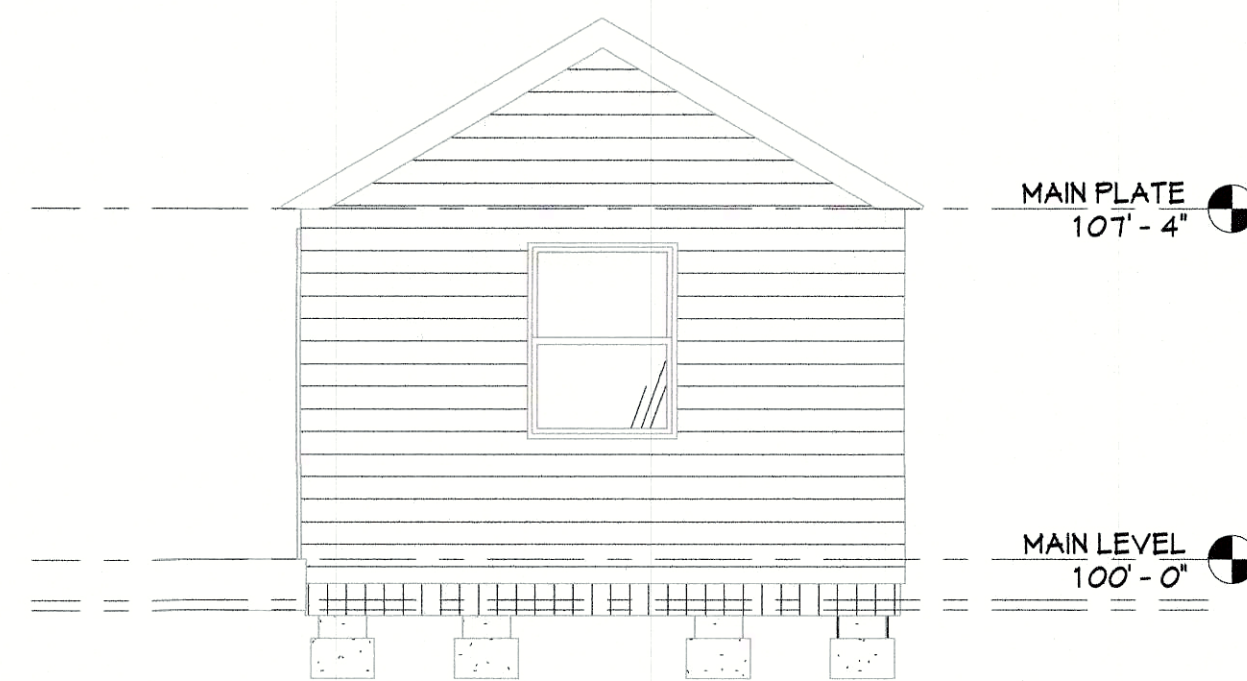
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SHEET 1 OF 3

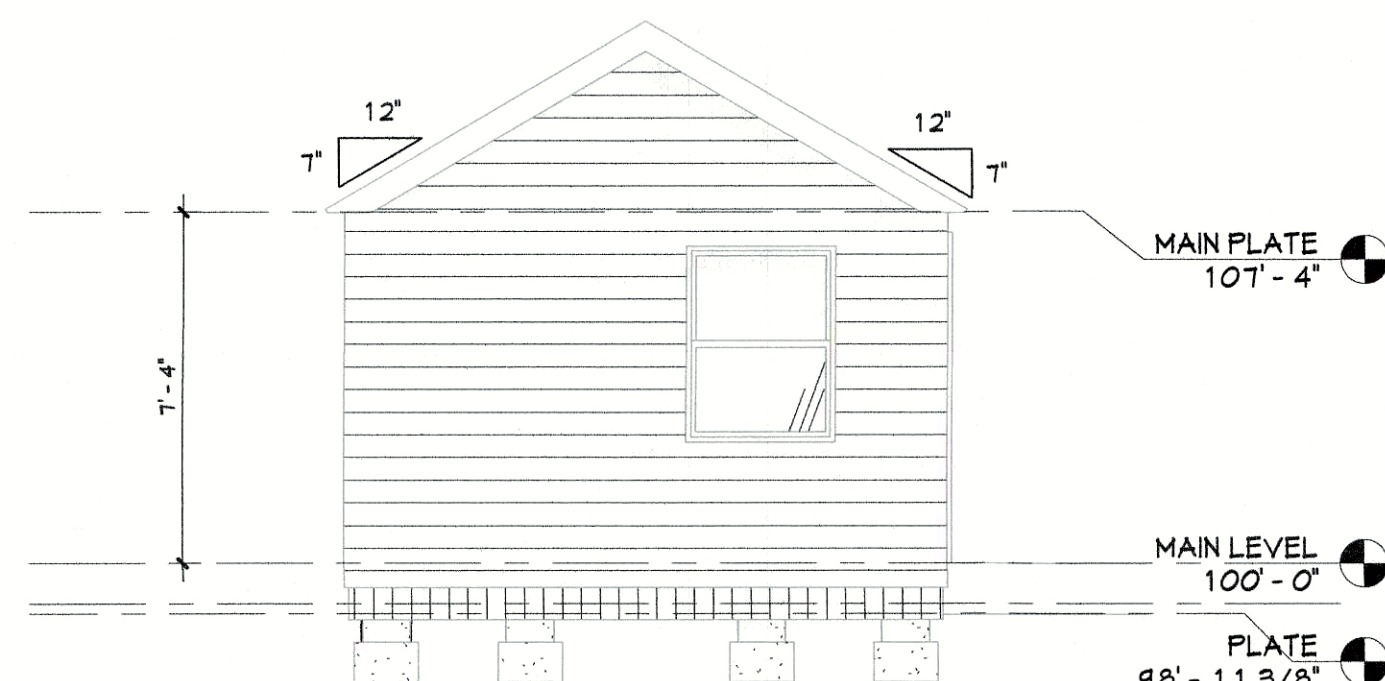
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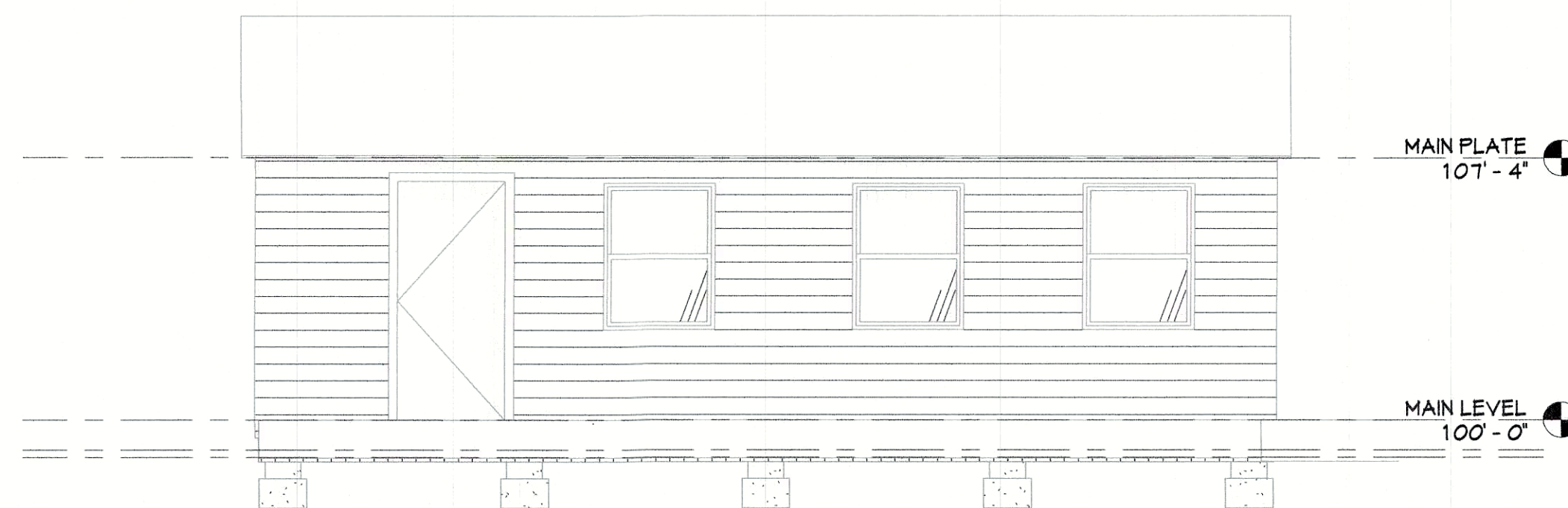
5 North
1/4" = 1'-0"



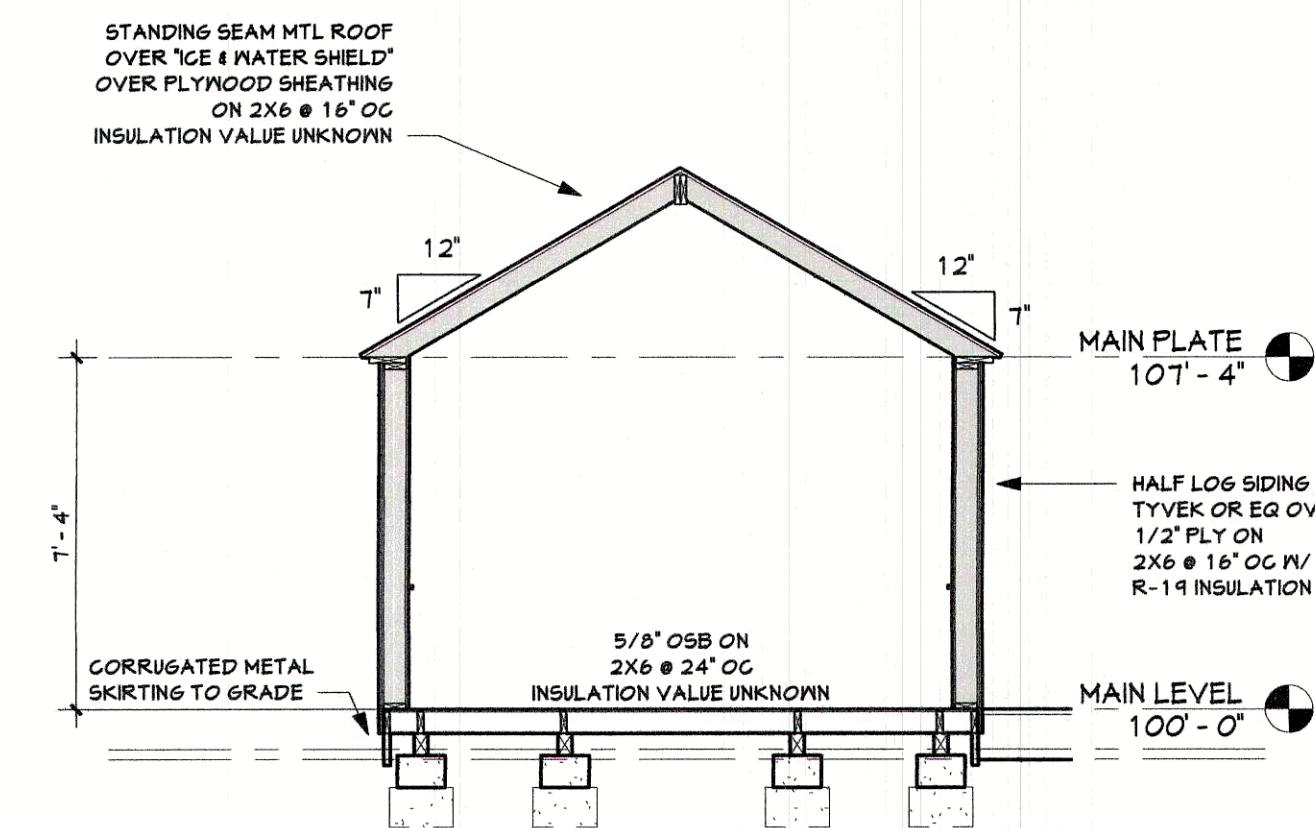
7 West
1/4" = 1'-0"



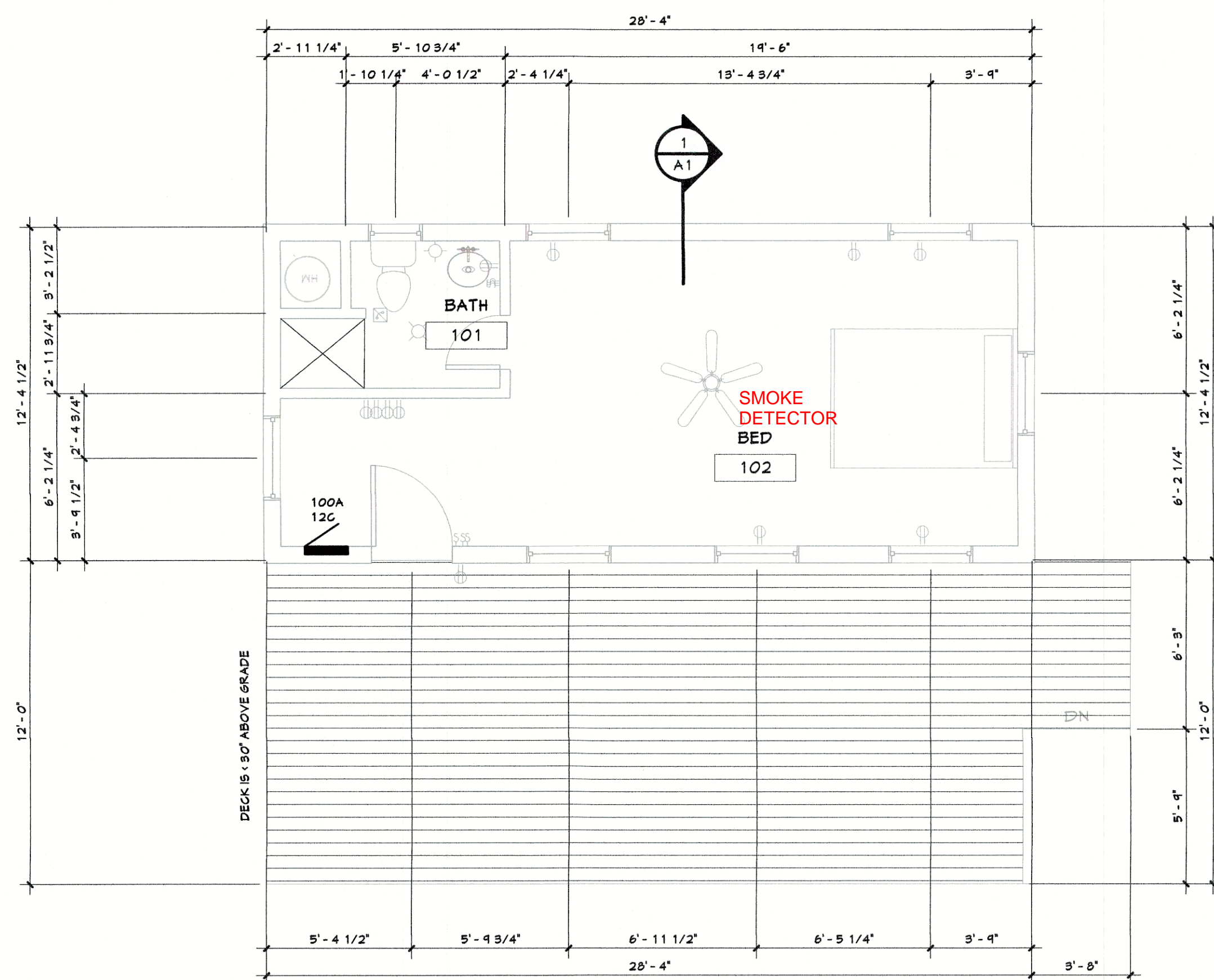
3 East
1/4" = 1'-0"



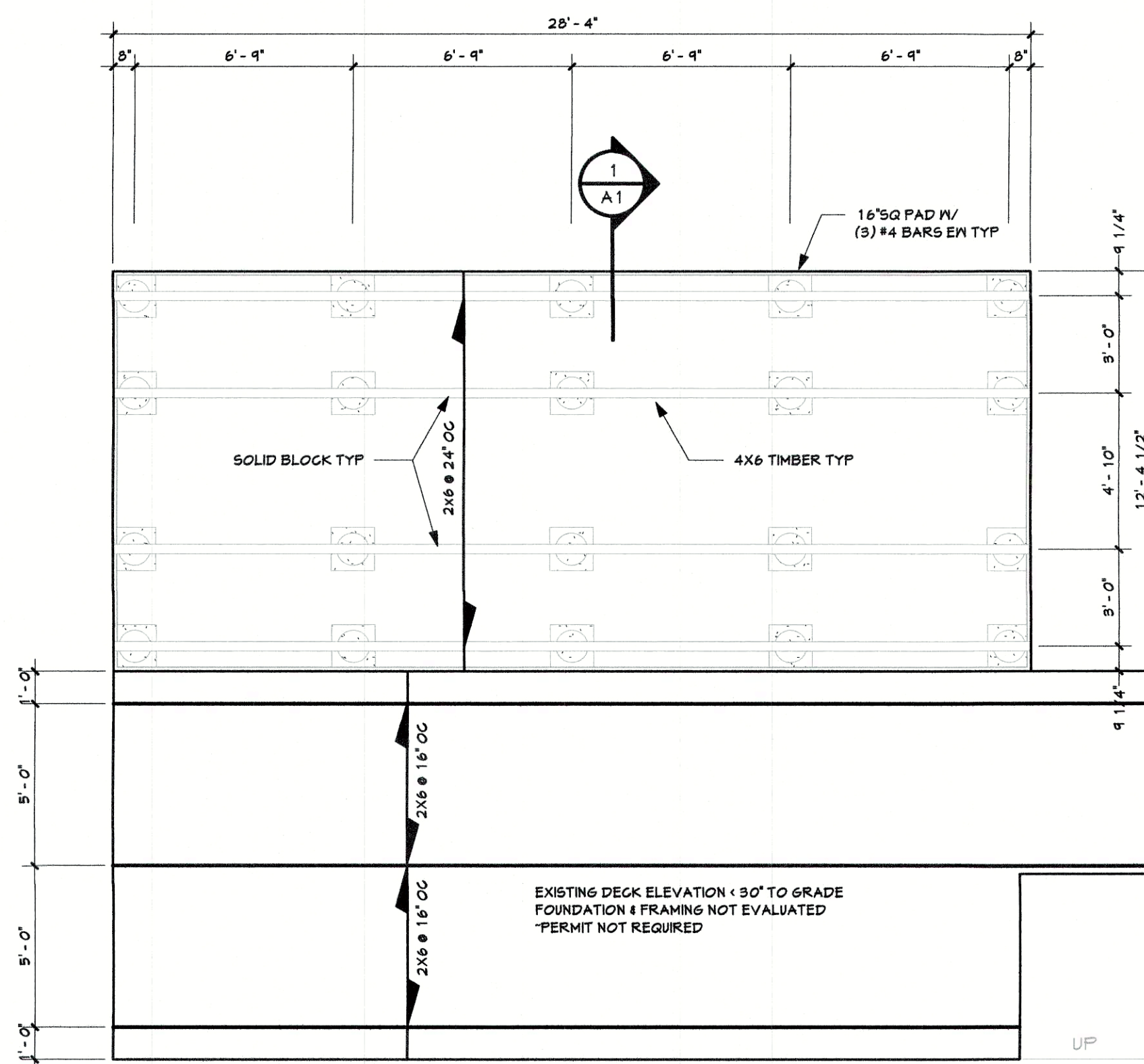
6 South
1/4" = 1'-0"



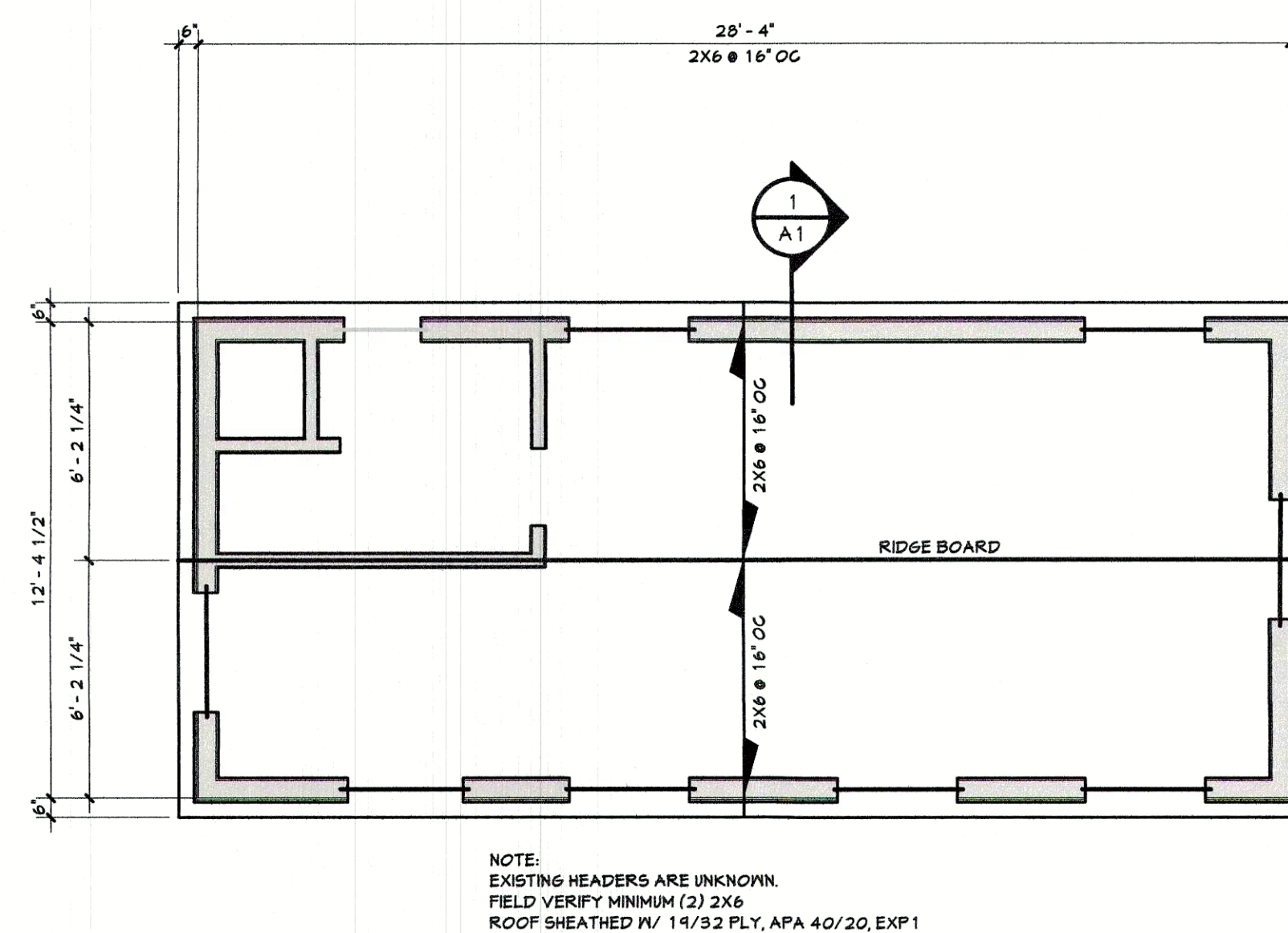
1 EXISTING CONDITIONS SECTION
1/4" = 1'-0"



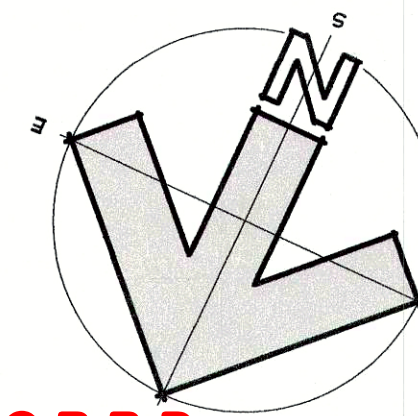
4 MAIN LEVEL FLOOR PLAN
1/4" = 1'-0"



2 FOUNDATION & FRAMING PLAN
1/4" = 1'-0"

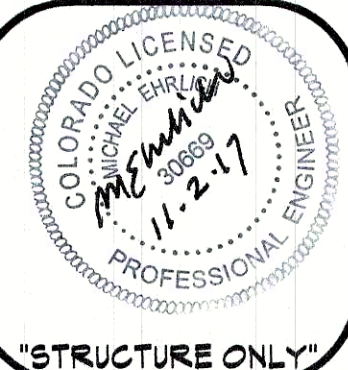


8 ROOF FRAMING PLAN
1/4" = 1'-0"



RCRBD
RECORD SET
B-17-615

DRAFTING SERVICE INC.
P.O. BOX 774121
426 OAK STREET
STEAMBOAT SPRINGS, COLORADO
970.879.7929
FAX 970.879.8709
JAKES@SPRINGSIPS.COM

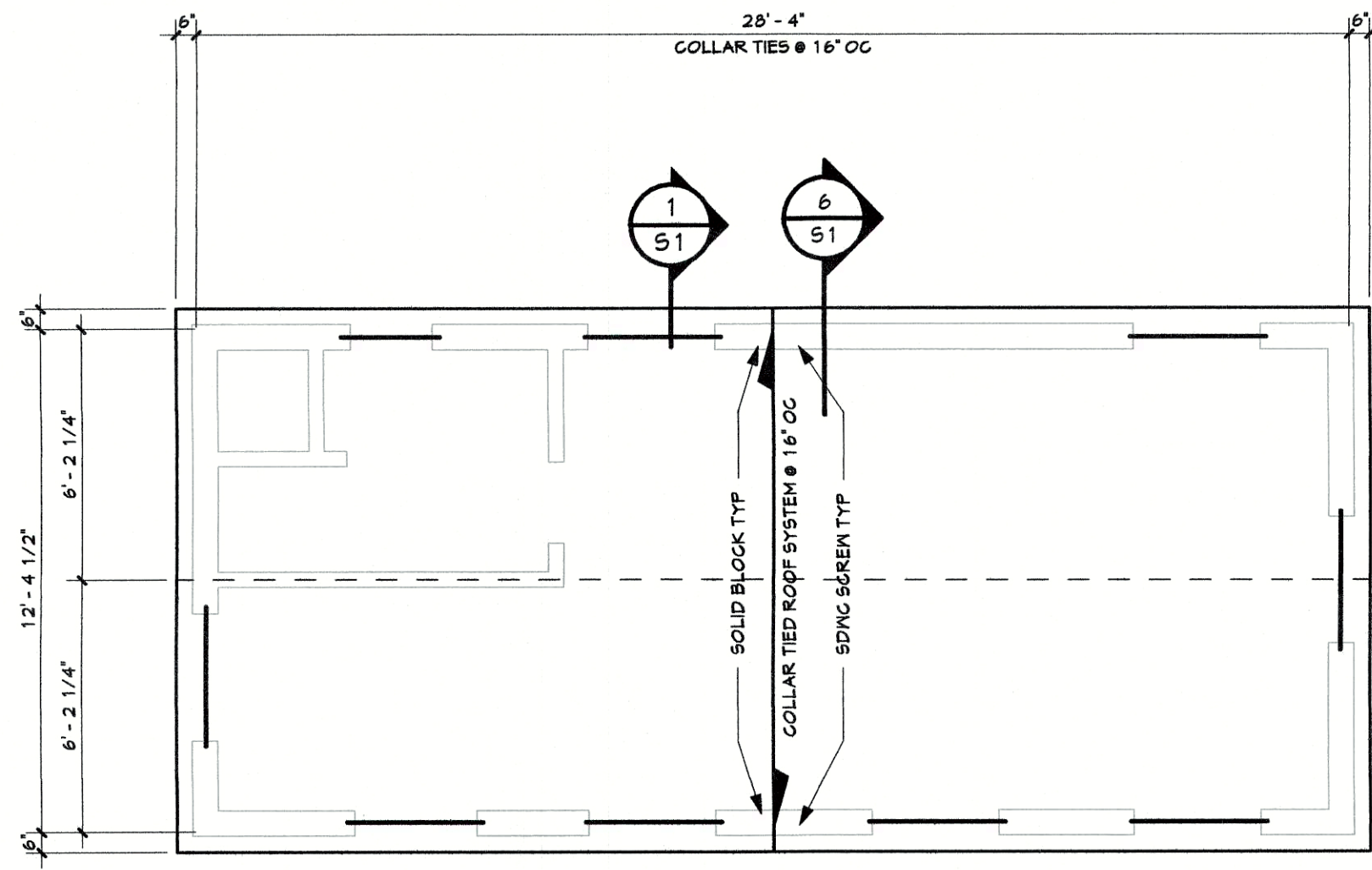


AS BUILT FLOOR PLANS, ELEVATIONS & SECTION FOR
DWAYNE M OSADCHUK TRUST, C1
28850 TOBIANO TRL
ROUTT COUNTY CO
OWNER/ CONTRACTOR 846-5592

Job # 17.050
File 17.050A10
Date 2NOV17
Drawn KAB
Checked JMH
Re'd 2NOV17
Rev'd

Sheet Number
A 1
SHEET 2 OF 3

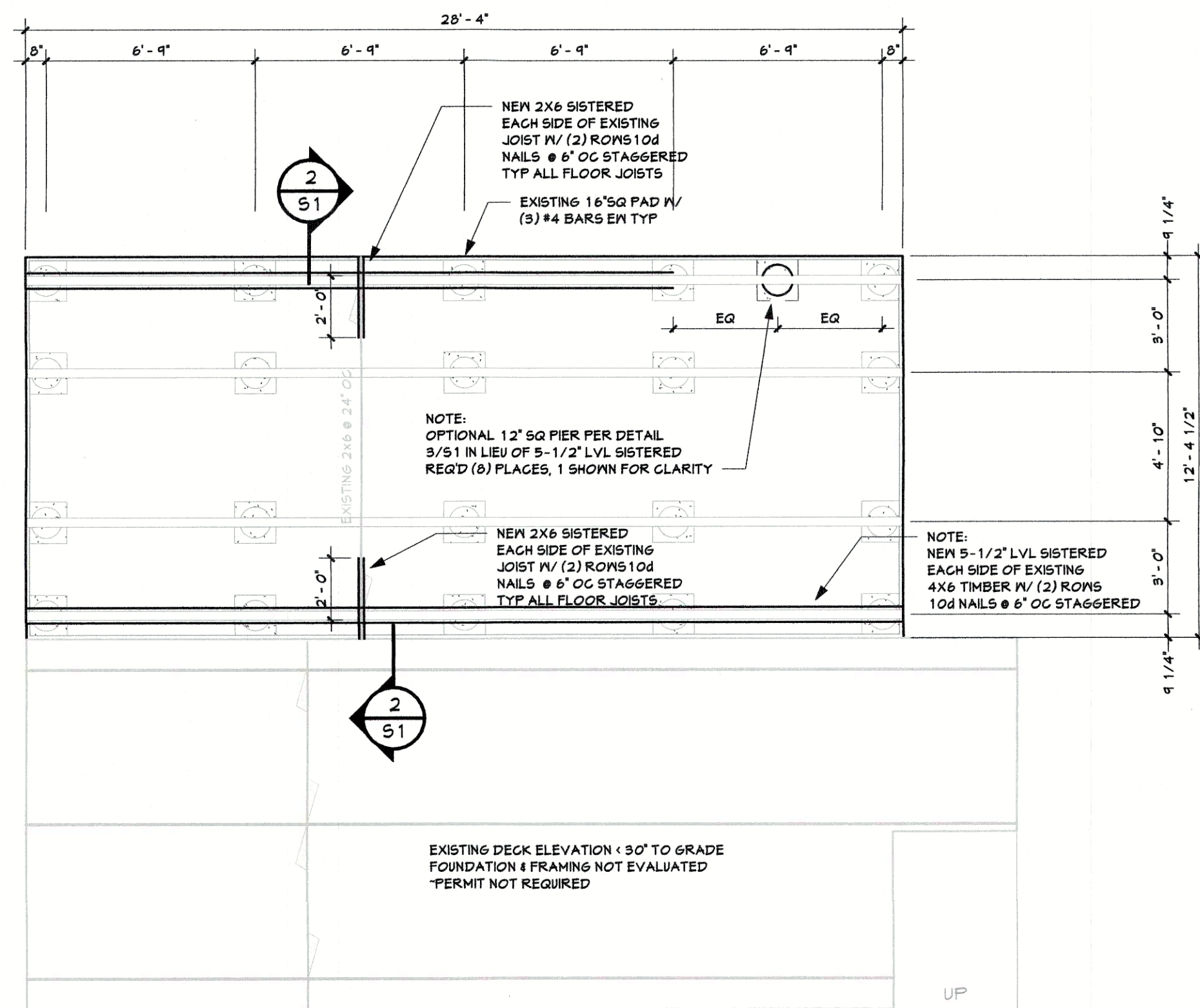
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5 ROOF FRAMING PLAN REPAIR

1/4" = 1'-0"

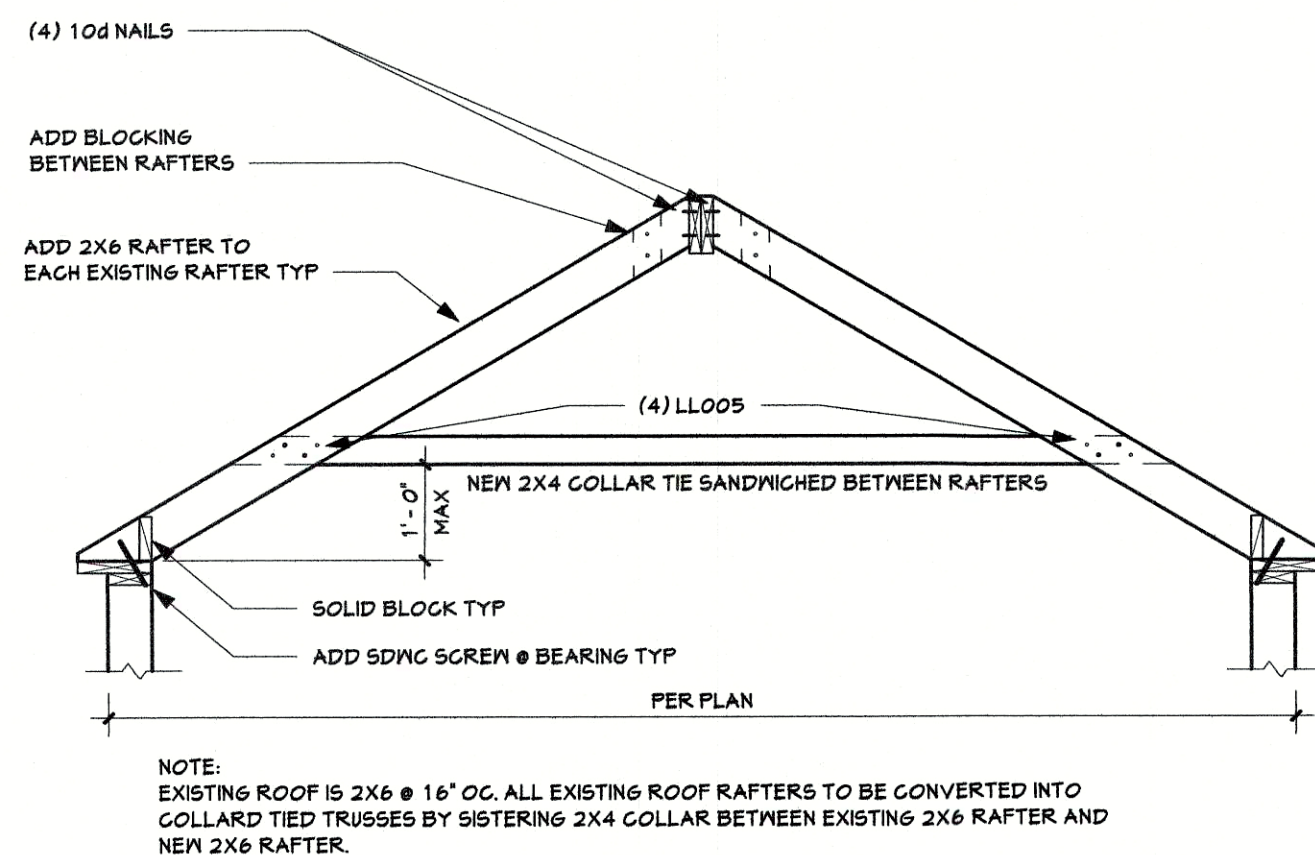
NOTE:
EXISTING HEADERS ARE UNKNOWN.
FIELD VERIFY MINIMUM (2) 2X6



4 FOUNDATION & FRAMING REPAIR PLAN

1/4" = 1'-0"

NOTE:
EXISTING FOUNDATION WILL COMPLY WITH BUILDING CODES BY EITHER ADDING
(2) 5-1/2" LVL'S TO EXISTING FLOOR BEAMS OR BY ADDING NEW 12" SQ PADS @ MIDSPAN

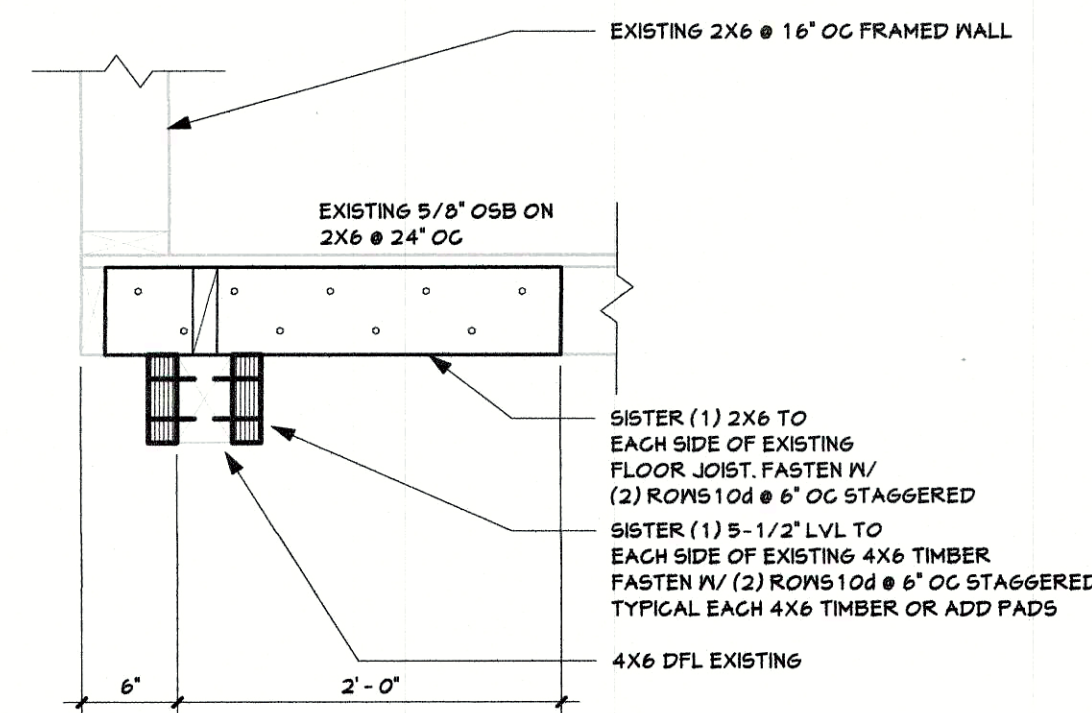


1 COLLAR TIE DETAIL

1/2" = 1'-0"

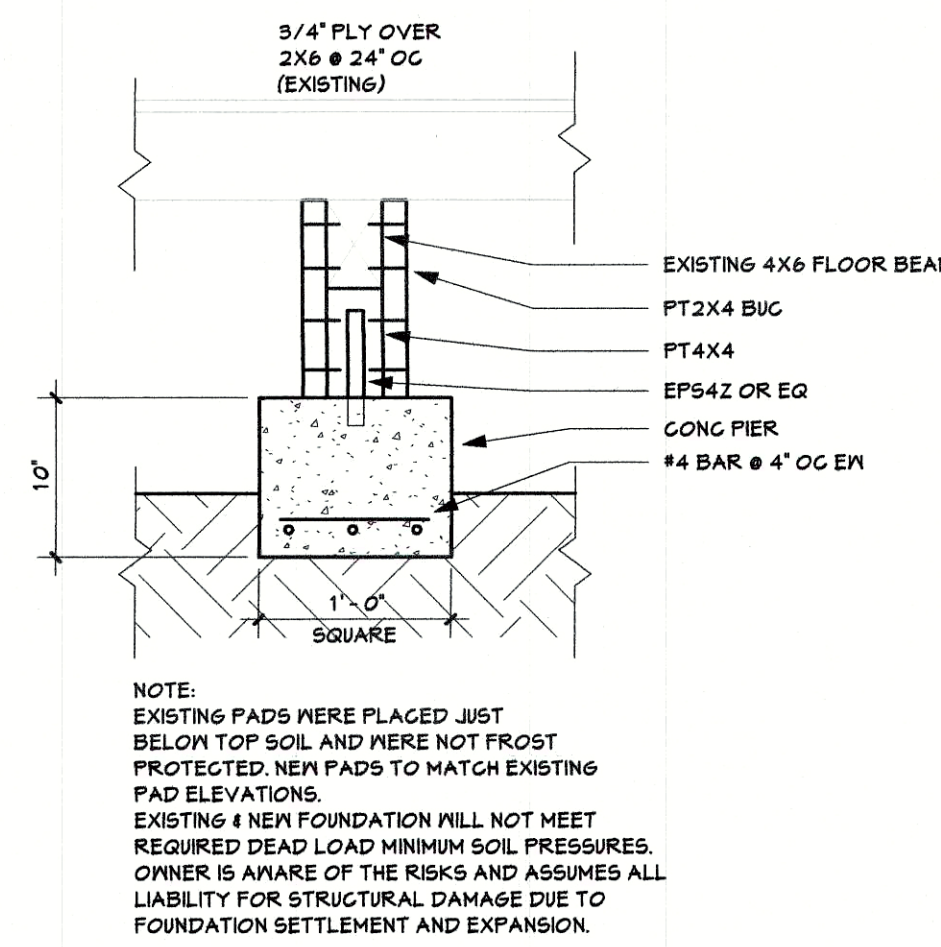
2 RIM DETAIL

1" = 1'-0"



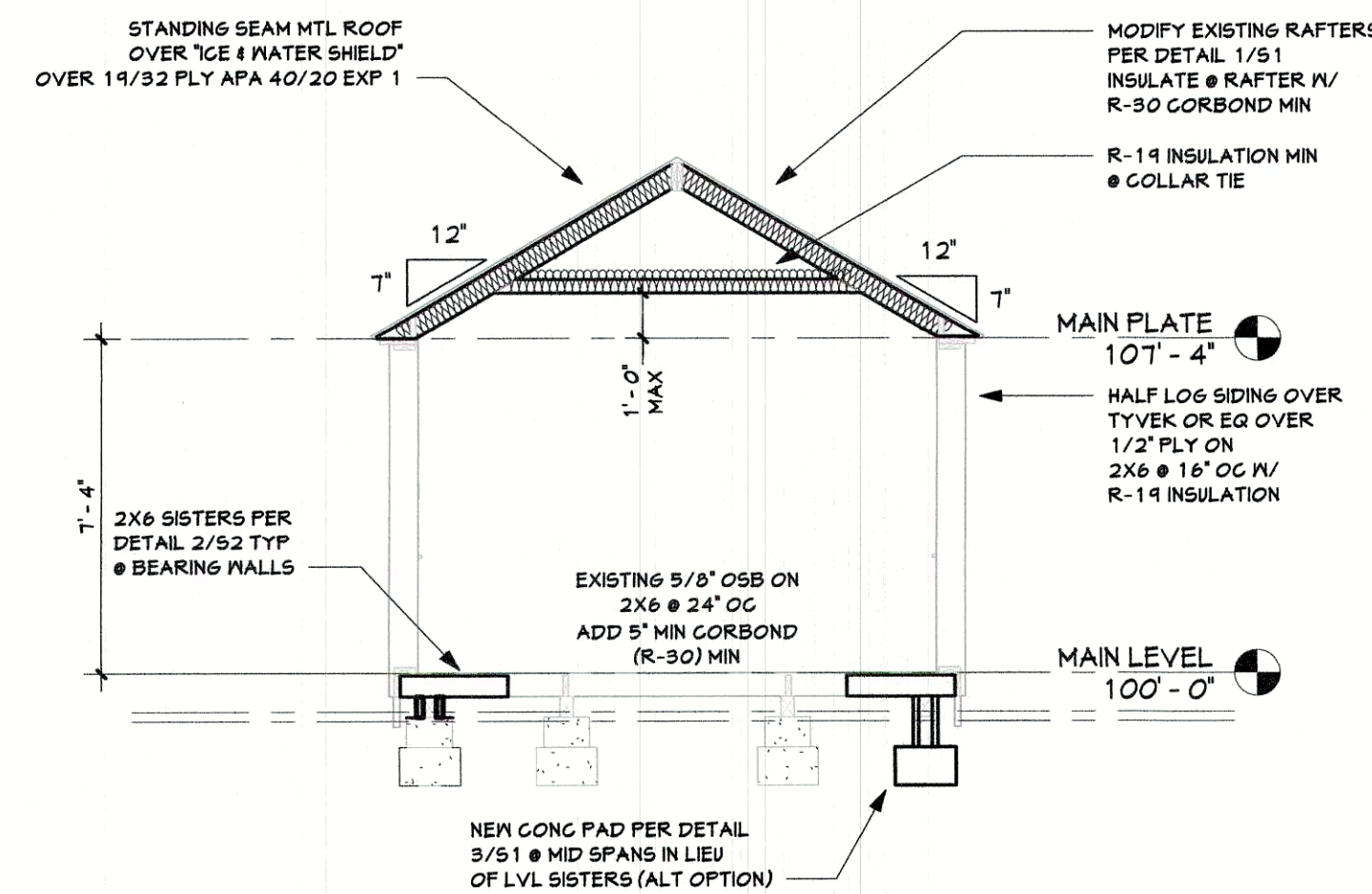
3 OPTIONAL PAD DESIGN

1" = 1'-0"



6 NEW TYP SECTION

1/4" = 1'-0"



RCRBD
RECORD SET

REPAIR DETAILS & SPECIFICATIONS

DWAYNE MOSADCHUK TRUST, C1

28850 TOBIANO TRL

ROUTT COUNTY CO

OWNER/ CONTRACTOR 846-5592

Job # 17.050
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Sheet Number

S1

SHEET 8 OF 8



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