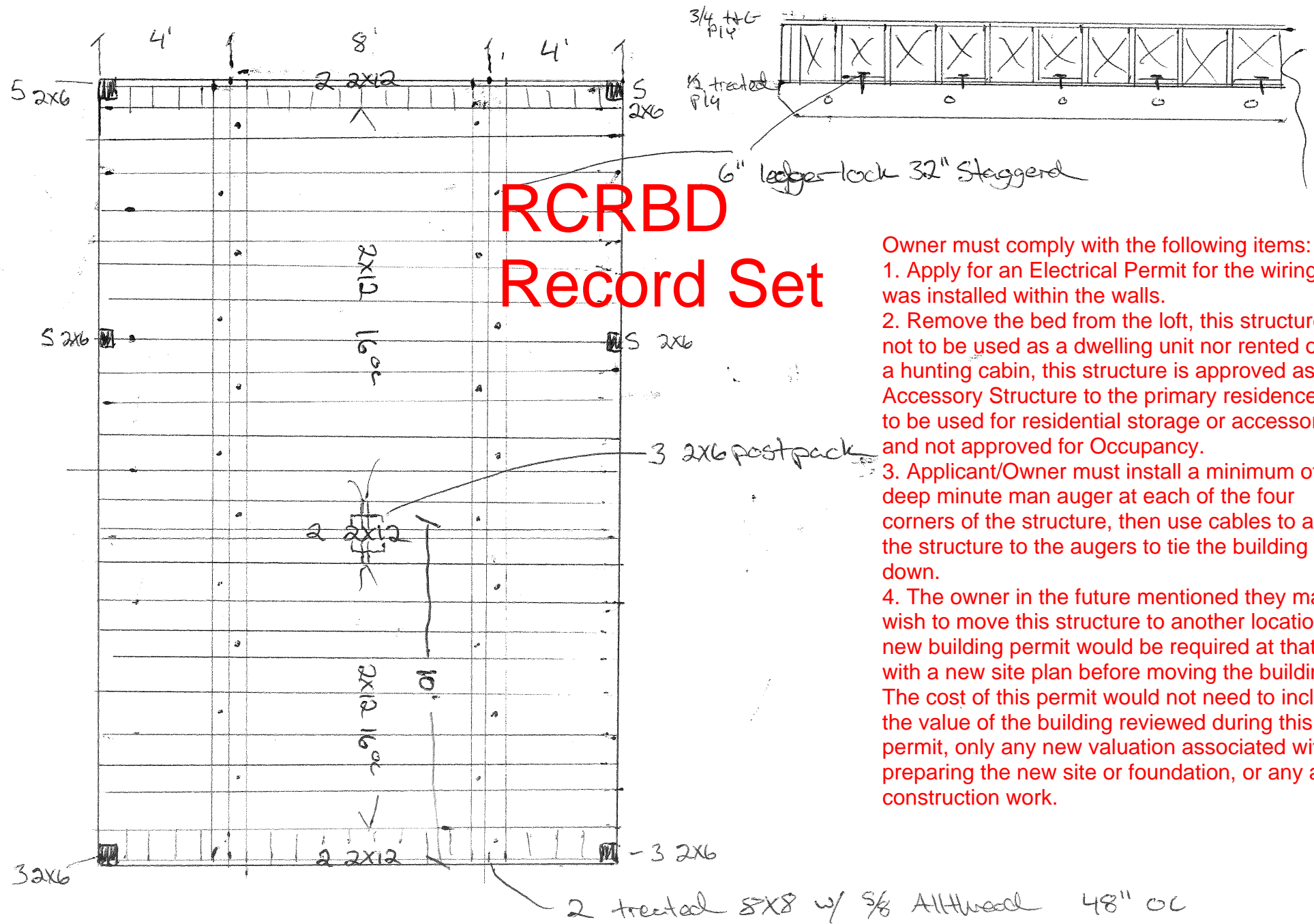


Floor

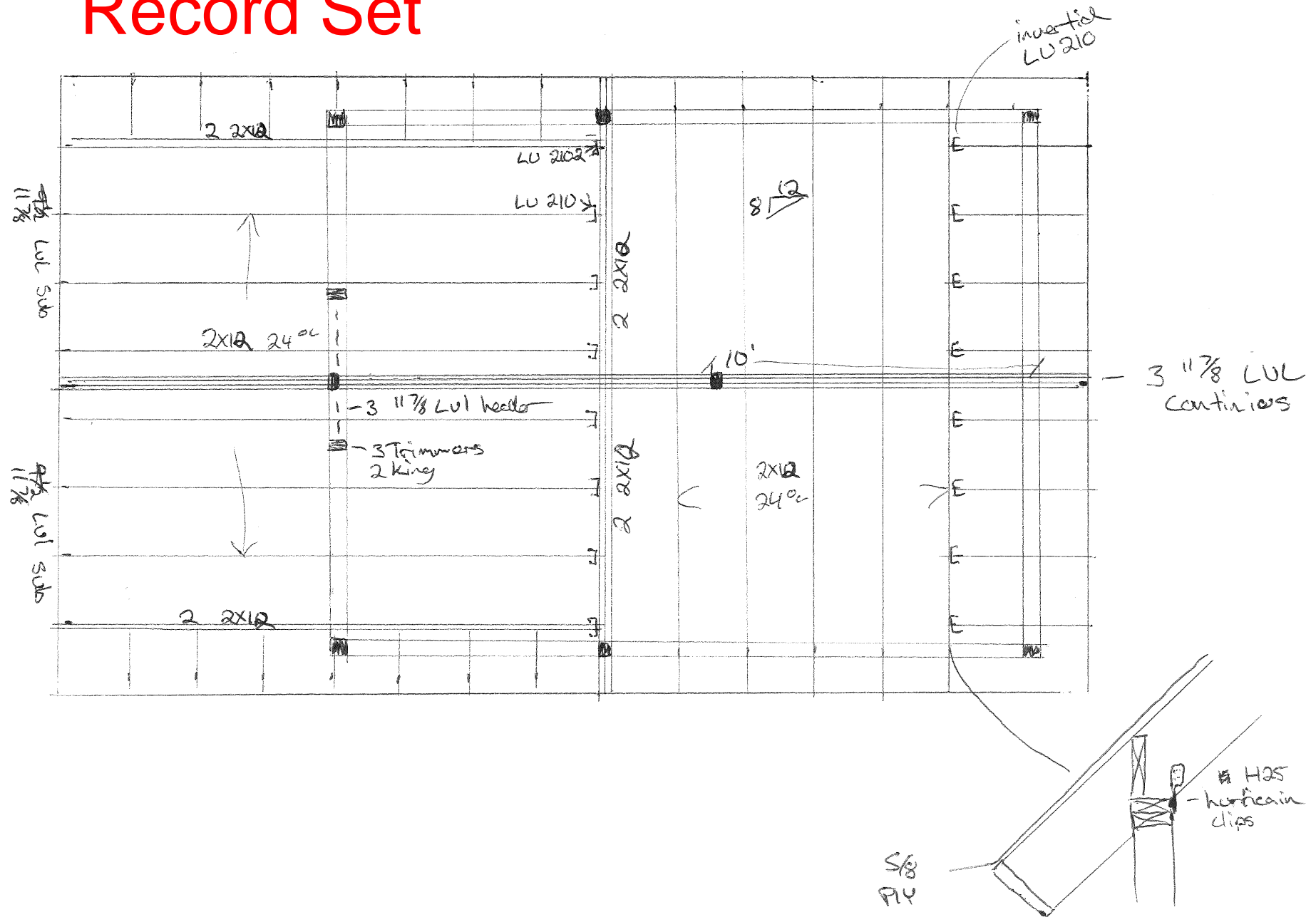


Owner must comply with the following items:

1. Apply for an Electrical Permit for the wiring that was installed within the walls.
2. Remove the bed from the loft, this structure is not to be used as a dwelling unit nor rented out as a hunting cabin, this structure is approved as an Accessory Structure to the primary residence and to be used for residential storage or accessory use and not approved for Occupancy.
3. Applicant/Owner must install a minimum of a 3' deep minute man auger at each of the four corners of the structure, then use cables to attach the structure to the augers to tie the building down.
4. The owner in the future mentioned they may wish to move this structure to another location, a new building permit would be required at that time with a new site plan before moving the building. The cost of this permit would not need to include the value of the building reviewed during this permit, only any new valuation associated with preparing the new site or foundation, or any added construction work.

Roofing underlayment is high temp Grace Ice + water shield under metal roofing  
Roof

# RCRBD Record Set





Proudly Serving Rural Routt County \* City of Steamboat Springs \* Town of Hayden \* Town of Oak Creek \* Town of Yampa \* Routt County

Date: 1/25/2019

Address: 43905 COUNTY ROAD 46, STEAMBOAT	Property Use: AGRES
Owner: ROSSO, ANTHONY R. ERIN (JT)	Lot Area: 40
Parcel ID: 931232002	Year Built: 0
Zoning: AF	Book Page: WARRANTY



Building TB-19-126

To: ROSSO, ANTHONY

**Design information:**

Occupancy Classification: R3, U  
Character and Use: New single family residence  
Number of Stories: 1 w/Machinery Garage/Horse Barn  
Type of Construction: VB  
Occupant Load: <10

Dear Anthony,

The following items and questions below will need to be addressed prior to the Building Permit being issued. Please respond by email or phone to the below items.

1. Page 4 of the Rosso Site Building Plan showing Building Sections and Details appears to be missing the following information:

- **Foundation details** such as 2x12 floor joist with bearing details, tie-downs and support for column. *Main 4 Beams? Connection*
- Existing and proposed grade to include relationship between finished floor elevation and existing grade. This is also important to determine pressure treatment requirements for wood. *Elevation Above Grade to main Floor*
- Grade and species of lumber used (pictures indicate this may have been constructed).
- 3 pieces 1 3/4"x11 7/8" LVL appears overstressed. May we discuss reducing the importance of accessory structure to Risk 1 or not important such as a storage only shed? *Show - 20' in for support*

ROUTT County Regional Building Department

136 Sixth Street, PO Box 773840 Steamboat Springs, CO 80477 PH: 970-870-5566 Fax 970-870-5489



2. Roofing details. (underlayments and roof covering materials)

3. Stairway construction details (material specifications, handrails) to include interior stairway - may need to be removed unless it can be demonstrated to meet Appendix Q for tiny house.

4. This project is in the concurrent review process with the other Departments. Review comments in Viewpermit, as applicable, when available.

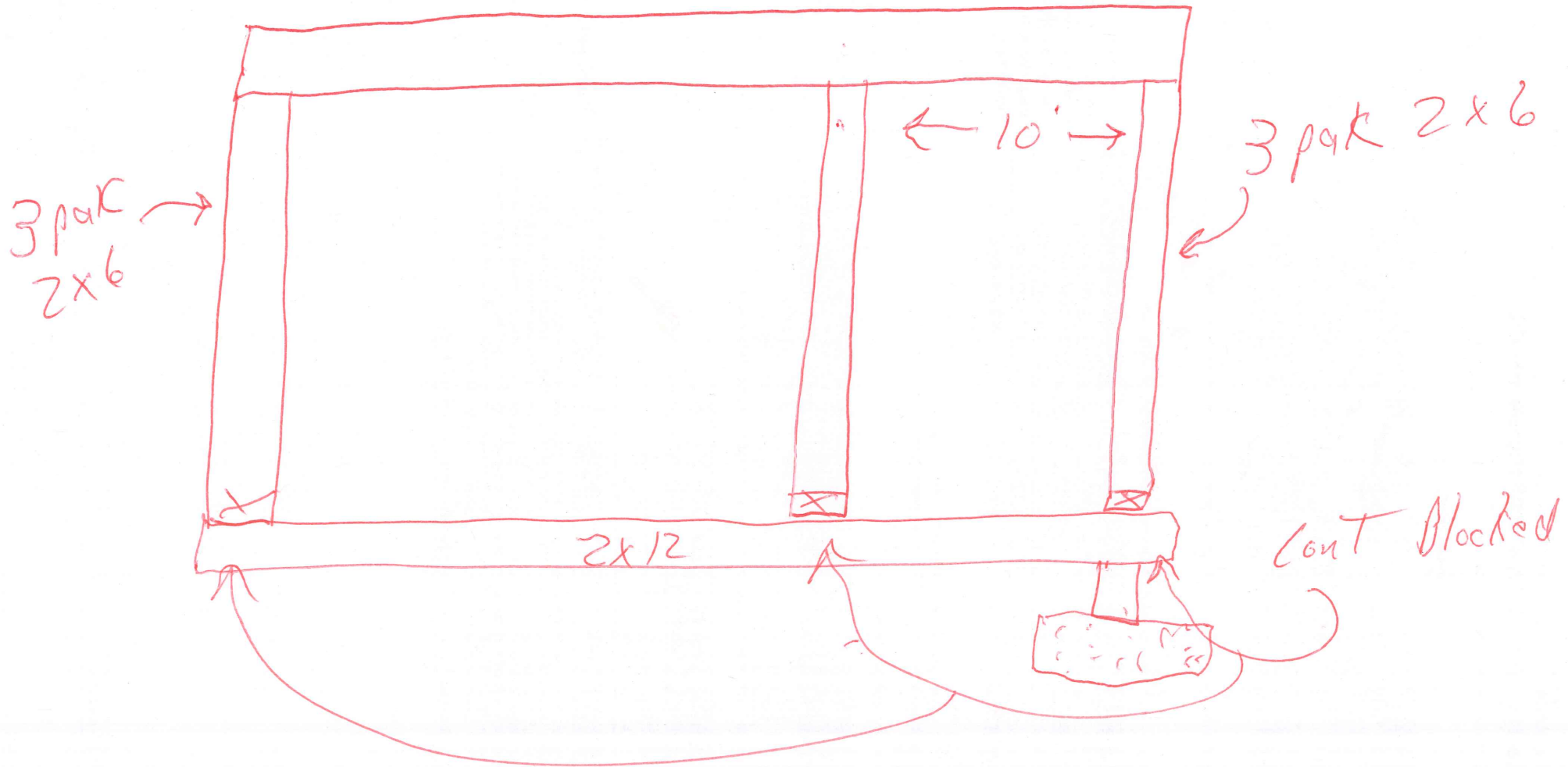
5. An unimportant structure, such as a shed described above is multiplied by \$50 resulting in a valuation of \$19200 or slightly more than \$15000 as submitted. Otherwise, the valuation used in the application appears to be in error and should comply with RCRBD valuation method as follows: When the gross square footage (384 square feet) is multiplied by the average dwelling construction price of \$145 /s.f. results in a valuation of \$55,680 that should be assumed for construction of the cabin (without department head approval based on list of material cost).

(Corrections have been made and approved. Date \_\_\_\_\_ By \_\_\_\_\_)

✓ **Items noted below do not require a response or comment back during the Plan Review in order for us to approve this permit. The Items below are required and will be checked by field inspectors. Please take time to review these items in advance of starting any work to ensure your project is ready for inspection.**

1. R321.1 Premises identification. Approved numbers or addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property.
2. Construction worker toilet facilities of the nonsewer type be provided for construction workers and such facilities shall be maintained in a sanitary condition per IPC 311.1 General. These shall not be used as permanent facilities and shall be removed from premise prior to final inspections.
3. R104.2.5 Final inspection. The building shall have a final inspection and shall not be occupied until approved. The final inspection shall include verification of the installation of all required building systems, equipment and controls and their proper operation and the required number of high-efficacy lamps and fixtures as applicable.

Reviewed by: Ted Allen







**RCRBD  
RECORD SET**

Accessory structure



A photograph of a log cabin with a dark blue metal roof and two windows with flower boxes. The cabin is built from horizontal logs and sits on a gravel base. The text "RCRBD Record Set" is overlaid in red.

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A photograph of a wooden interior, likely a cabin or dormitory, featuring a wooden ladder and bunk beds. A red arrow points to the ladder. The text is overlaid on the right side of the image.

Handrails  
needed per IRC  
on ships ladder,  
or remove  
ladder. Beds  
must be  
removed, this is  
an accessory  
structure not to  
be used for  
Occupancy.



# Single Family Residential One Story Detached Garage

Note: For roofs with slopes less than 4:12, follow manufacturer's instructions for low slope application of roofing material.

☐ Truss or 2x 12 rafter spaced 34" O.C. (example: Put checkmark in box - or - 2 x 10 Rafters Spaced 24" (example: 1 x 12)

Minimum 1x ridge board (example: 1 x 12)

Sheathing 5/8 OSB (example: 1/2" exterior plywood)

Roof covering metal (example: Class A 3 tab shingles)

Underlayment 1/2" (example: 1 layer #15 felt)

12 pitch 8

Ceiling Insulation R-38 (if heated - example: R-38)

2x10 ceiling joists @ 16" O.C. (example: 2 x 8 @ 24" O.C.)

Double 2x6 top plate (example: 2 x 6)

Span 15'1" (example: 23'5")

Ceiling height 8' (example: 8')

Siding 1/2" (example: lap or T-111)

Wall sheathing 1/2" OSB (example: 1/2" exterior plywood)

2x6 studs @ 16" O.C. (example: 2 x 6 @ 24" O.C.)

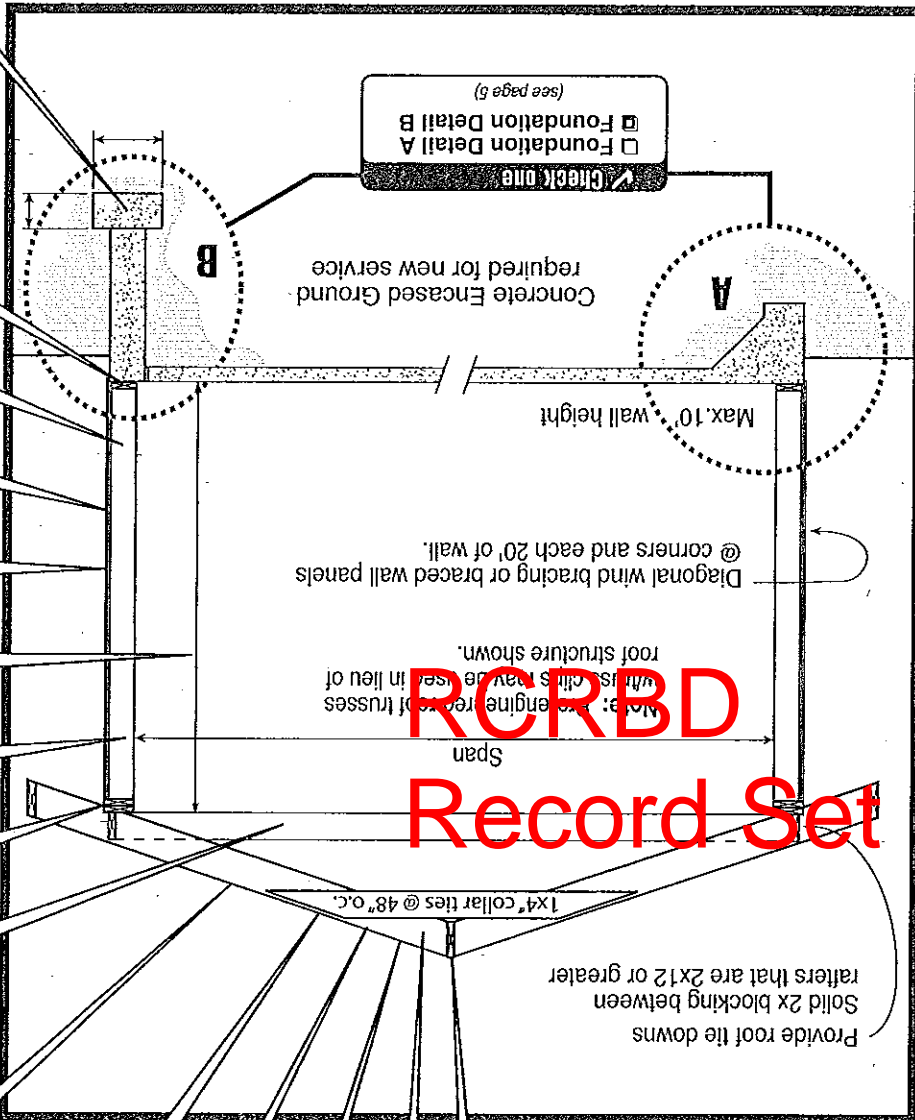
Cont. 2x6 sill plate (example: 2 x 6 decay resistant)

Wall Insulation R-20 (if heated - example: R-20 Fiberglass Batts)

Foundation Insulation NA (if heated - example: R-10)

Footing size 8" x 16" (example: 8" x 16")

## Building Section



This handout was developed by the Colorado Chapter of the International Code Council as a basic plan submittal under the 2015 International Residential Code. It is not intended to cover all circumstances. Check with your Department of Building Safety for additional requirements.

RCRBD  
Record Set