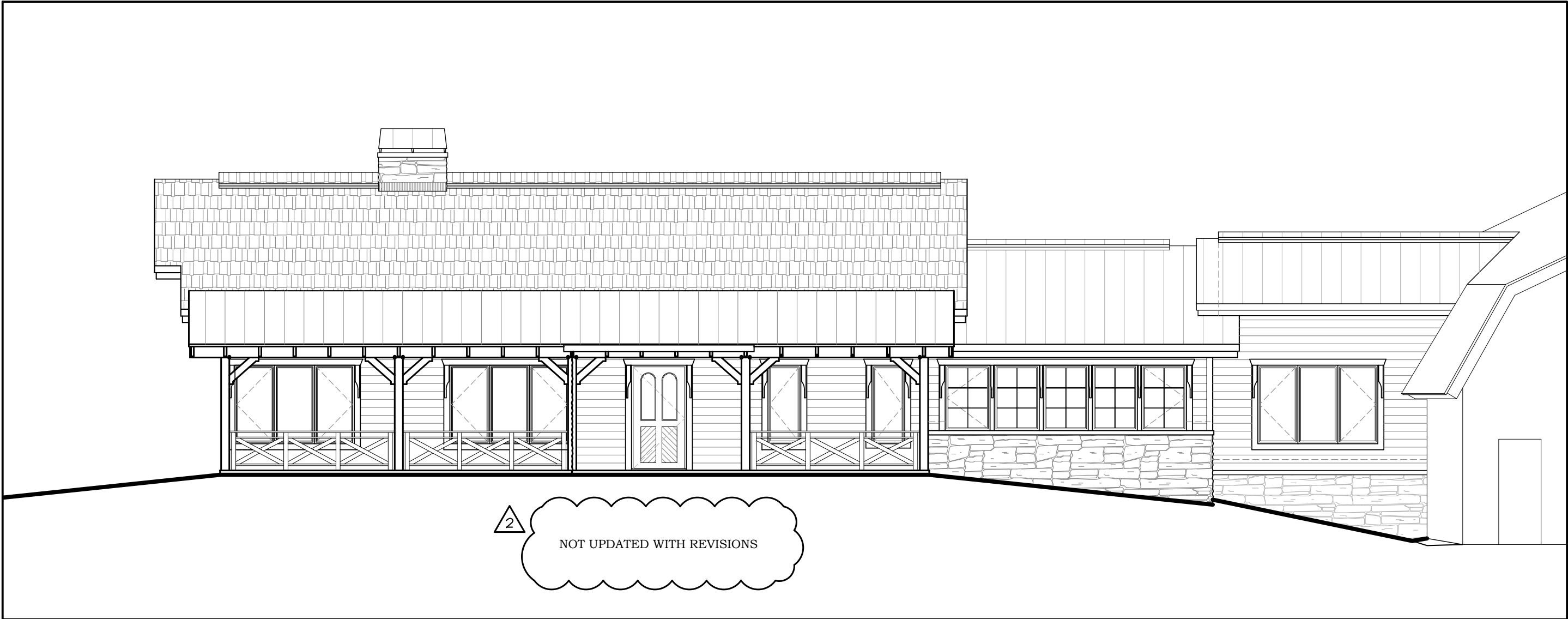


A Single Family Residence for David and Jane Blandford

Lot B8, Marabou, Routt County, Colorado

ELEVATION



CODE ANALYSIS

LEGAL DESCRIPTION

Maribou Lot B8, F1

PROJECT DESCRIPTION

The project is located on Lot B8 in Marabou, Routt County, Colorado. The new residence will be a one-story ranch with partial basement and two story garage. The structure will be wood frame and utilize exterior materials that were outlined in the Marabou Design Guidelines. The living spaces will be separated by a one-hour separation from the garage per IRC.

CODE COMPLIANCE

2015 International Residence Code

LAND USE ZONING

AF Agricultural and Forestry

OCCUPANCY TYPE

Main Residence.....Group R, Division 3

Main Garage.....Group U, Division 1

DESIGN CRITERIA

Table R301.2(1) Climate & Geographic Design Criteria

- Roof Snow Load - 85 PSF
- Wind Speed - 90 MPH
- Seismic Design Category -
 - Exempt per IBC 1613.1 and IRC R301.2.2
- Subject to Damage by Weathering - Severe
- Subject to Damage by Frostline Depth - 48 inches
- Subject to Damage by Termite - None to slight
- Subject to Damage by Decay - None to slight
- Winter Design Temperature - -15°F (-26°C)
- Ice Shield Underlayment Required - Yes
- Flood Hazard - FIRM, February 4, 2005
- Air Freeze Index - Steamboat 2239
- Mean Annual Temperature - 40° to 45°F

CONSTRUCTION TYPE

Type V, Non-rated, Sprinklered

GEOTECHNICAL REPORT:

Northwest Colorado Consultants, Inc. (NWCC)

Soils Report #17-10957 Dated January 29, 2018

PROJECT SETBACKS

In accordance with the building envelope shown, that indicates the confined area of building. Refer to the site plan for location.

SITE STATISTICS

Site Area:.....295,337 s.f.
or 6.78 acres
Building Envelope:.....38,333 s.f.
or .88 acres

BUILDING STATISTICS

Main Level Square Footage Breakdown (Gross s.f.)
Living:.....3,490 s.f.
Garage:.....1,192 s.f.
Exterior covered Patio:.....1,174 s.f.
Total Main Level Square Footage:.....4,682 s.f.

Lower Level Square Footage Breakdown (Gross s.f.)
Stair:.....42 s.f.
Storage:.....58 s.f.
Mechanical:.....865 s.f.
Total Lower Level Square Footage:.....965 s.f.

Upper Level Square Footage Breakdown: (Gross s.f.)
Unfinished:.....1,550 s.f.
Total Upper Level Square Footage:.....1,550 s.f.

Total Patio/Deck Square Footage:.....1,174 s.f.

Total Building Square Footage:.....3,490 s.f.
(including living area only)

Total Building Square Footage:.....4,455 s.f.
(including living area, storage and mechanical)

Total Building Square Footage:.....5,629 s.f.
(including garage)

Total Building Square Footage:.....7,179 s.f.
(including unfinished)

Building Height:
Max. Allowable Envelope Height To Ridge: 28'-0"
Actual Building Height:.....28'-0"

DISCIPLINE

OWNER

David and Jane Blandford
c/o Steamboat Architectural Associates (SAA)
345 Lincoln Avenue, Suite 200
P.O. Box 772910
Steamboat Springs, Colorado 80477
Phone: 970.879.0819
Fax: 970.879.3406
Email: SAA@steamboatarchitectural.com
Contact: William J. Rangitsch

GENERAL CONTRACTOR

Altitude Custom Builders, Inc
P.O. Box 883013
Steamboat Springs, CO 80488
Cell: 970.238.0630
Email: altitudecustombuilders@gmail.com
Contact: Nathan Reynolds

STRUCTURAL ENGINEER

Alpenglow Engineering Solutions, Inc
P.O. Box 773501
Steamboat Springs, Colorado 80477-3501
Phone: 970.879.1181
Fax: 970.879.3680
Email: ben@alpengloweng.com
Contact: Ben Schutt

MECHANICAL / PLUMBING

Utility Layout Drawings by SAA
Technical Data by Mechanical/Plumbing Contractor

ARCHITECT

Steamboat Architectural Associates (SAA)
345 Lincoln Avenue, Suite 200
P.O. Box 772910
Steamboat Springs, Colorado 80477
Phone: 970.879.0819
Fax: 970.879.3406
Email: SAA@steamboatarchitectural.com
Contact: William J. Rangitsch

GEOTECHNICAL ENGINEER

NWCC
2580 Copper Ridge Drive
Steamboat Springs, CO 80477
Phone: 970.879.7888
Fax: 970.879.7891
Email: blen@nwccusa.com
Contact: Brian D. Len, PE

BUILDING AUTHORITY

Routt County Building Dept.
136 6th Street
Steamboat Springs, Colorado 80487
Phone: 970.870.5566
Fax: 970.870.5489
Email: tallen@co.routt.co.us
Contact: Ted Allen

ELECTRICAL

Utility Layout Drawings by SAA
Technical Data by Electrical Contractor

SHEET INDEX

ARCHITECTURAL DRAWINGS

- A0.0 Cover Sheet
- A0.1 1/8" Plans
- A0.2 1/8" Plans
- A0.3 1/8" Elevations
- A1.0 Site Plans, Site Notes, Project Notes
- A1.1 Enlarged Site Plan
- A1.2 Construction Management Plan
- A2.0 Lower Level Floor Plan - Area "A"
- A2.1 Main Level Floor Plan - Area "A"
- A2.2 Main Level Floor Plan - Area "B"
- A2.3 Upper Level Floor Plan - Area "B"
- A2.4 Roof Plan - Area "A"
- A2.5 Roof Plan - Area "B"
- A2.6 Main Level Reflected Ceiling Plan - Area "A"
- A2.7 Main Level Reflected Ceiling Plan - Area "B"
- A2.8 Upper Level Reflected Ceiling Plan - Area "B"
- A3.0 Elevations
- A3.1 Elevations
- A3.2 Elevations
- A3.3 Elevations
- A4.0 Sections, Section Notes
- A4.1 Sections
- A4.2 Section, Stair Section, Fireplace Sections
- A5.0 Details
- A5.1 Details
- A6.0 Interior Elevations
- A6.1 Interior Elevations
- A8.0 Lower Level Utility Plan - Area "A"
- A8.1 Main Level Utility Plan - Area "A"
- A8.2 Main Level Utility Plan - Area "B", Utility Notes, Key to Symbols
- A8.3 Upper Level Utility Plan - Area "B"

LANDSCAPE DRAWINGS

- LS-1 Landscape Plan
- LS-2 Enlarged Landscape Plan

STRUCTURAL DRAWINGS

- S2.0 Foundation Plan - Area "A"
- S2.1 Foundation Plan - Area "B", General Notes
- S2.2 Floor Framing Plan - Area "A"
- S2.3 Floor Framing Plan - Area "B"
- S2.4 Lower Roof Framing Plan - Area "A"
- S2.5 Lower Roof and Upper Roof Framing Plan - Area "B"
- S2.6 Upper Roof Framing Plan - Area "A"
- S2.7 Upper Roof Framing Plan - Area "B"
- S5.0 Foundation Details
- S5.1 Details
- S5.2 Truss Profiles

ADDITIONAL NOTES

Contractor and Subcontractor shall be responsible for local code compliance, technical data and system component design as required for design.

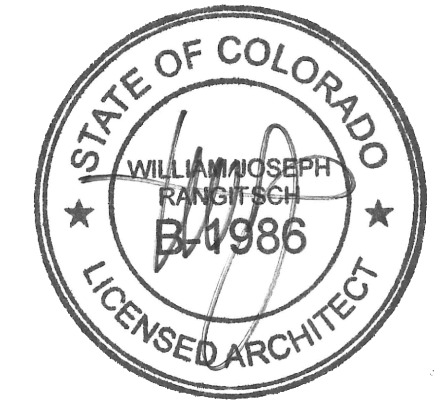
SUBMISSION

PERMIT
&
CONSTRUCTION
REVISION 1 & 2 SET

RCRBD Record Set
T.A.

11/13/2020

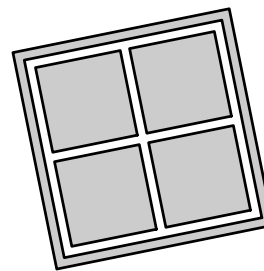
Elevation
Discipline
Sheet Index
Code Analysis
Vicinity Map
Submission



William J. Rangitsch

970.879.0819

p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

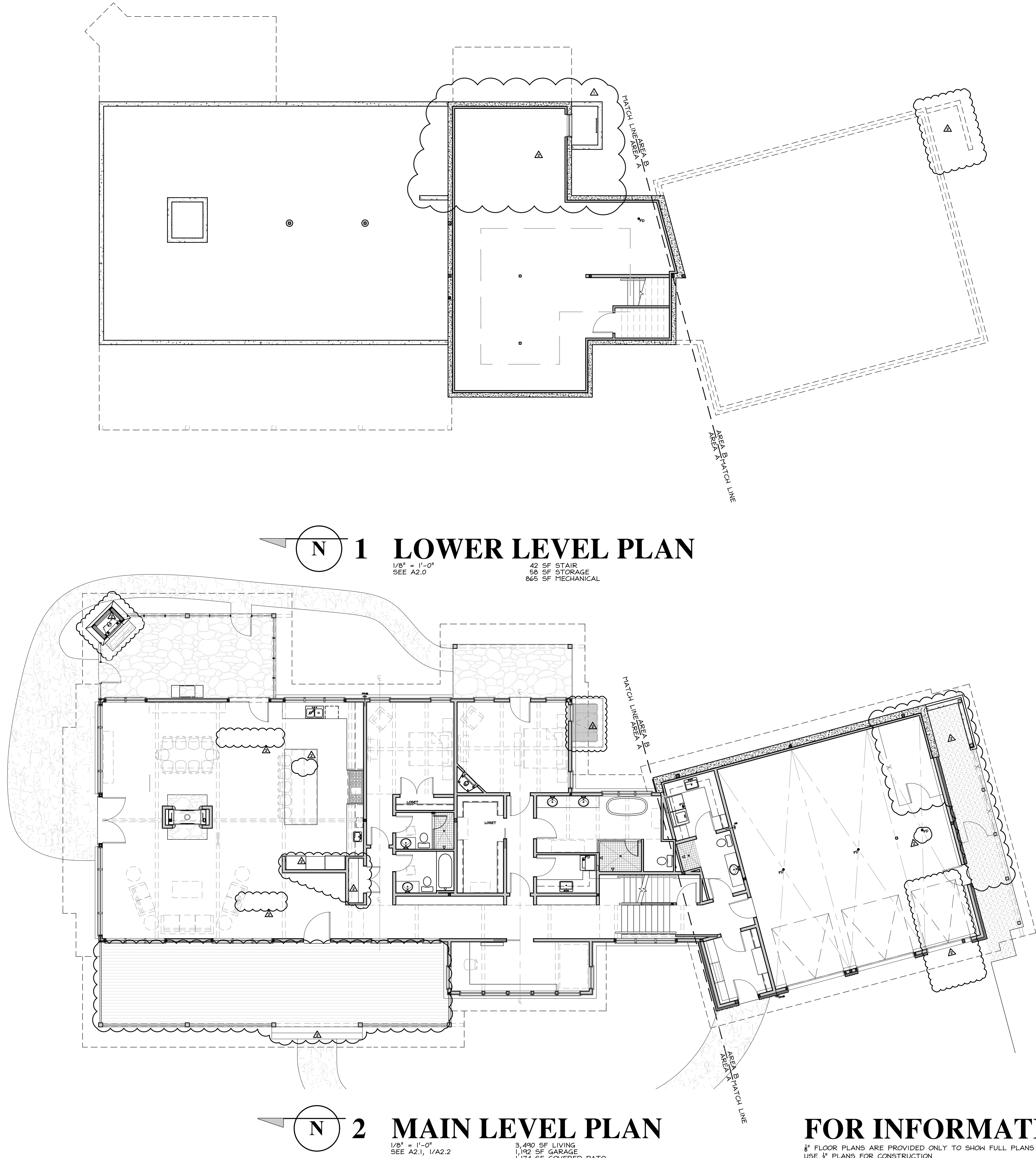
A Single-Family Residence for

David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado

A0.0

15-22



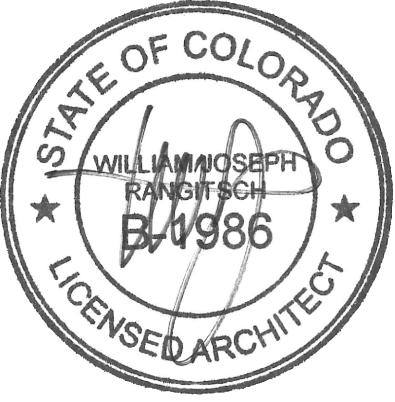
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.

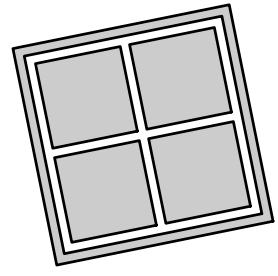
11/13/2020

1/8" FLOOR PLANS



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for

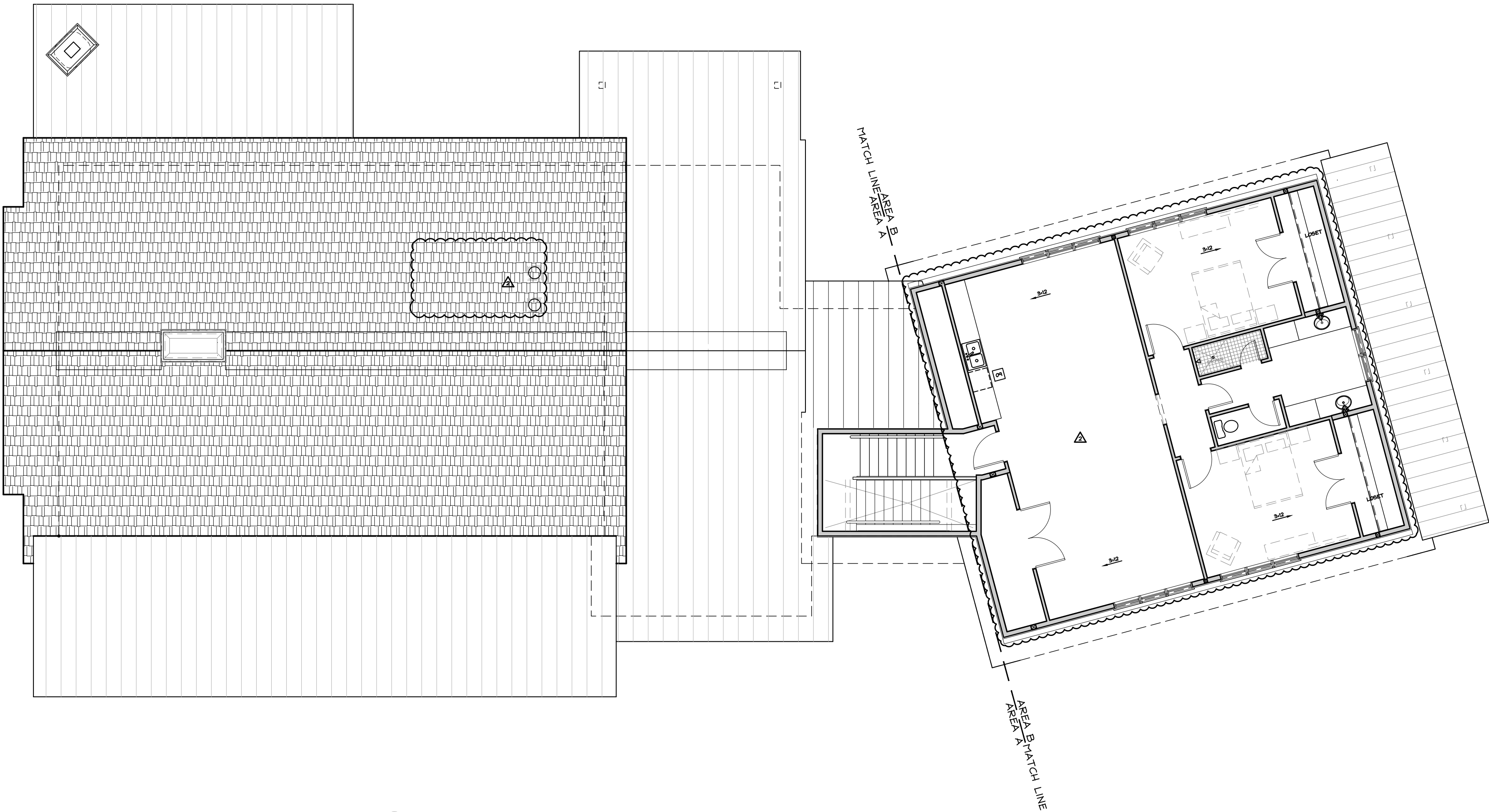
David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado

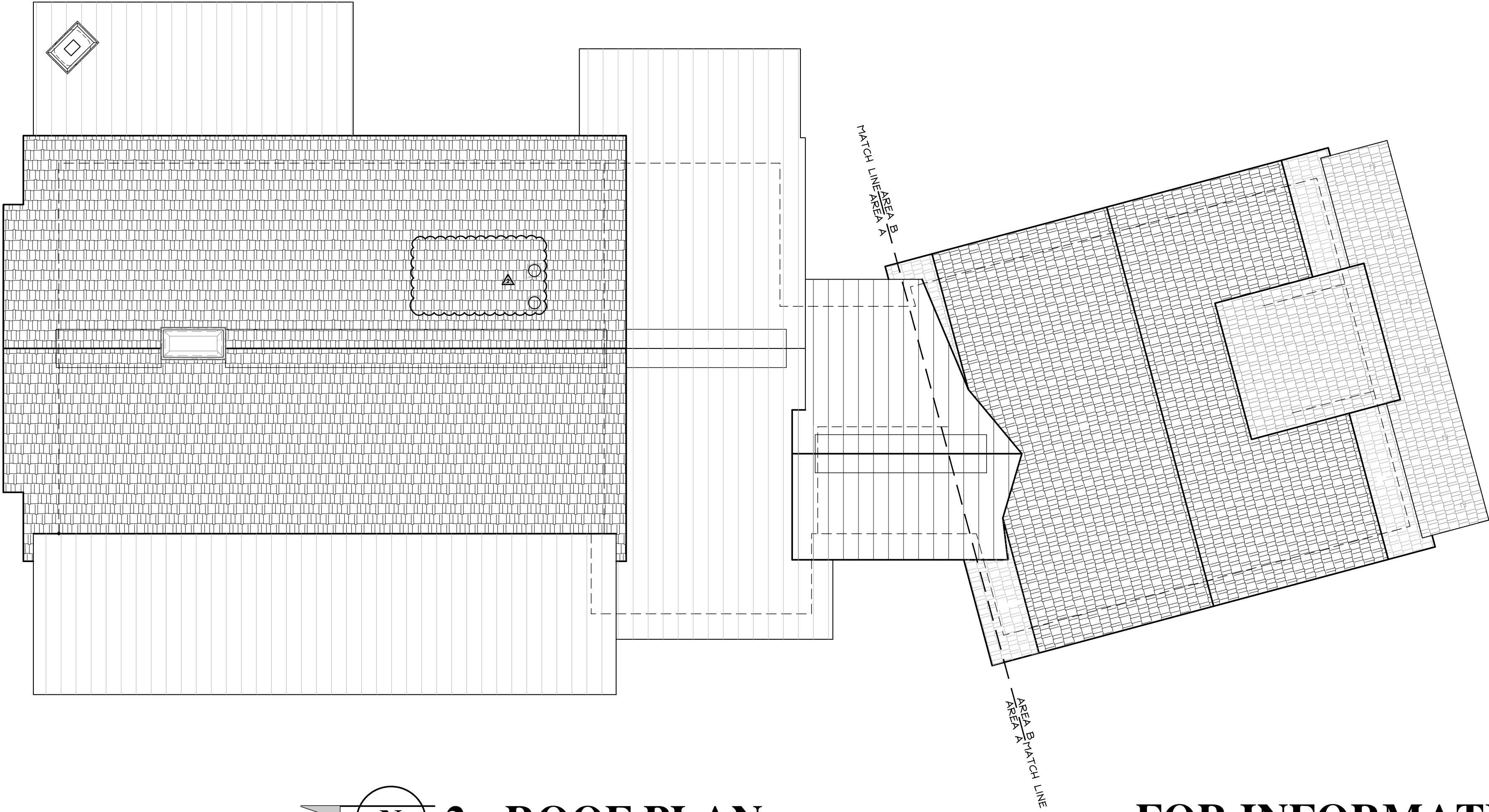
26 OCT 18

A0.1

15-22



1 UPPER LEVEL PLAN
1/8" = 1'-0"
SEE 2/A2.1
1,550 SF UNFINISHED



2 ROOF PLAN
1/8" = 1'-0"
SEE A2.3, 1/A2.4

FOR INFORMATION ONLY

8" FLOOR PLANS ARE PROVIDED ONLY TO SHOW FULL PLANS ON ONE SHEET
USE 1/4" PLANS FOR CONSTRUCTION

26 OCT 18

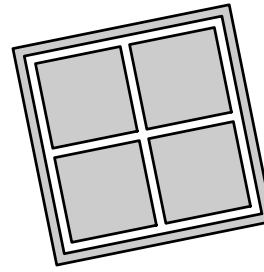
A0.2

15-22

A Single-Family Residence for

David & Jane Blandford

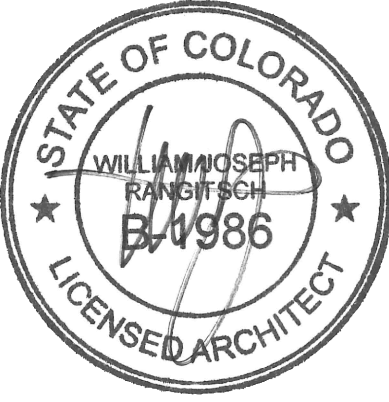
Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



1/8" FLOOR PLANS

**RCRBD Record Set
T.A.**

11/13/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

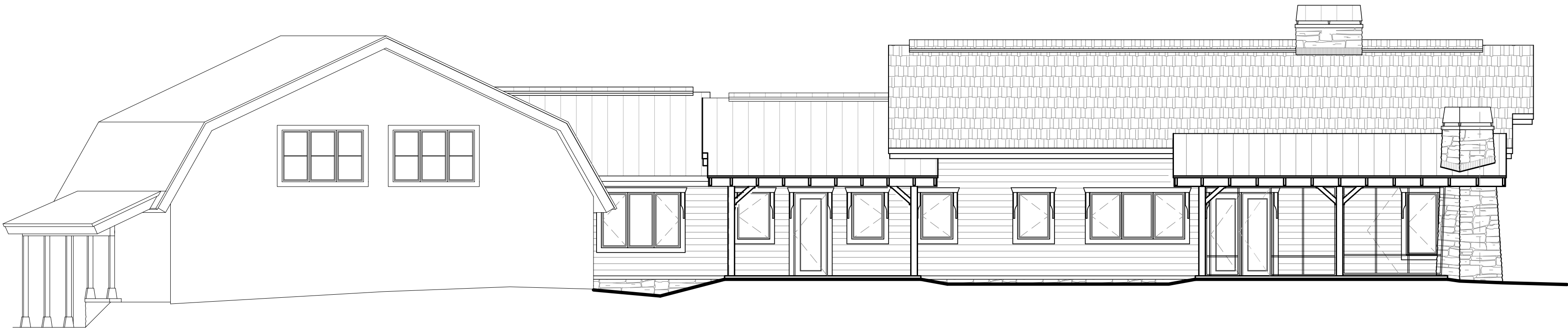
© Copyright 2015 SAA, P.C.



1 WEST ELEVATION

1/8" = 1'-0"
SEE A2.0 thru A2.4

THIS SHEET NOT UPDATED
WITH REVISIONS



2 EAST ELEVATION

1/8" = 1'-0"
SEE A2.0 thru A2.4

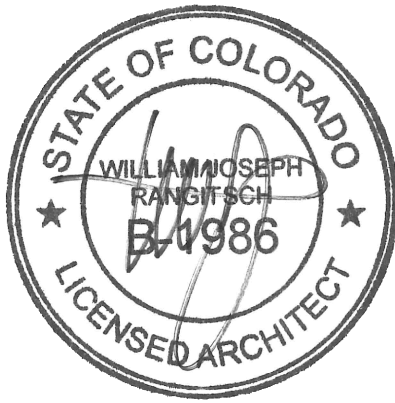
FOR INFORMATION ONLY

8" ELEVATIONS ARE PROVIDED ONLY TO SHOW FULL ELEVATIONS ON ONE SHEET
USE 1/4" ELEVATIONS FOR CONSTRUCTION

RCRBD Record Set
T.A.

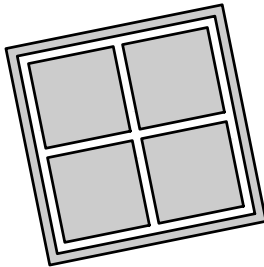
11/13/2020

1/8" ELEVATIONS



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for
David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado

26 OCT 18

A0.3

15-22

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.



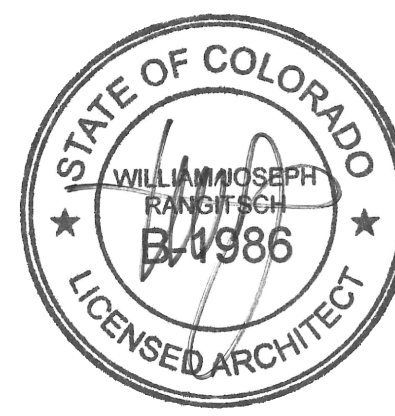
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.

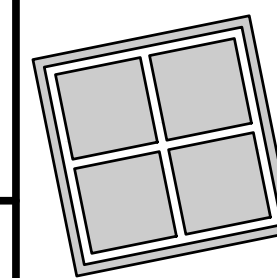
11/13/2020

SITE PLAN
SITE NOTES
PROJECT NOTES



William J. Rangitsch

970.879.0819
2910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTUR
ASSOCIATES

A Single-Family Residence for

David & Jane Blandford

**Lot B8, Marabou
Routt County, Colorado**

A1.0

15-22

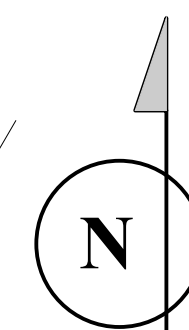
PROJECT NOTES

1. ALL WORK SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS, CODES AND ORDINANCES.
2. TEMPORARY SPACE HEATING SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE DONE IN A SAFE, SENSIBLE MANNER WITH PERIODIC CHECKS TO ALL SYSTEMS.
3. CONTRACTORS SHALL CARRY BUILDERS RISK, WORKMAN'S COMPENSATION, CONTRACTOR'S LIABILITY, PERSONAL INJURY, COMPREHENSIVE AUTOMOBILE AND PROPERTY DAMAGE INSURANCE. OWNER TO CARRY FIRE INSURANCE IN THE FRAMED STRUCTURE AND COMPLETED WORK IN PROGRESS.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN OF THESE DRAWINGS WITH THOSE AT THE SITE. ANY VARIATION WHICH REQUIRES A PHYSICAL CHANGE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
5. THESE DOCUMENTS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY: SAFETY, CARE AND UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND COMPLIANCE WITH FEDERAL AND STATE SAFETY REGULATIONS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
6. DO NOT DIG - VERIFY LOCATION OF ALL UTILITIES BEFORE DIGGING.
7. STRIP SITE OF TOP SOIL AND STOCKPILE BEFORE CONSTRUCTION BEGINS.
8. THE ORGANIZATION OF THE DRAWINGS AND SPECIFICATIONS INTO TYPES, SECTIONS, ARTICLES AND THE ARRANGEMENT OF THE DRAWINGS SHALL NOT CONTROL THE CONTRACTOR IN DIVIDING THE WORK INTO SUB-CONTRACTS OR IN ESTABLISHING THE WORK TO BE PERFORMED BY ANY TRADE.

SITE NOTES

NOT A CERTIFIED PLAT
EXISTING GRADE
FINISH GRADE 
CONTOUR INTERVAL = 2'-0"

CAUTION:
CONTRACTOR TO VERIFY
LOCATION OF ALL UTILITY LINES
BEFORE DIGGING.

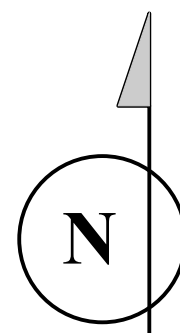


1 SITE PLAN

1" = 30'
SEE PLAT

ALL 29

10/12/2020 12:16 PM C:\Users\paulm\paulm\Documents\344 - Project\344 - 1\Drawings\01 - Drawing\01 - Cover\Bland A1.0



1

NOTE: BUILDING HEIGHT CALCULATIONS FOR DRC
TOP OF ROOF DIMENSIONS FROM EXISTING GRADE ARE INDICATED THUS: TOR = xx'-x"
TOP OF ROOF DIMENSIONS FROM FINISH GRADE ARE INDICATED THUS (xx'-x")

1" = 10'
SEE A1.0

PARTIAL SITE PLAN



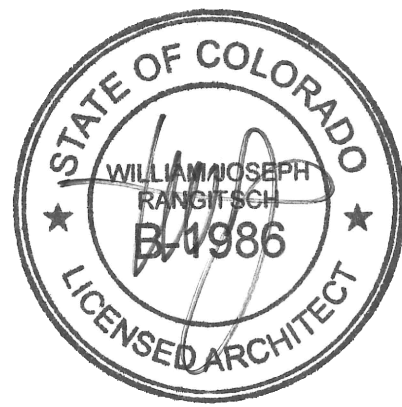
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.

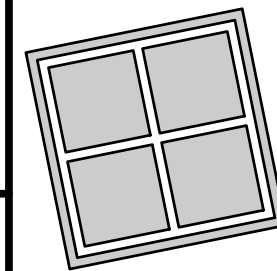
11/13/2020

PARTIAL SITE PLAN



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for
David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado

A1.1

15-22

REVISIONS 1 & 2 - CHANGES FOR RCRBD AND OWNER

12 OCT 20

26 OCT 18

11/13/2020

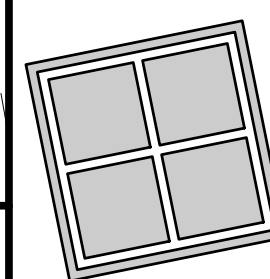
CONSTRUCTION MANAGEMENT PLAN



William J. Rangitsch

970.879.0819
910 345 lincoln ave ste. 200
teamboat springs, co. 80477

p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

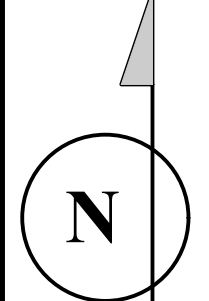
A Single-Family Residence for

David & Jane Blandford

**Lot B8, Marabou
Routt County, Colorado**

A1.2

15-22



1 CONSTRUCTION MANAGEMENT PLAN

1" = 10'
SEE A1

REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

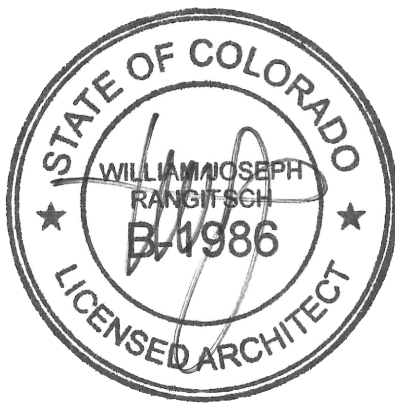
12 OCT 20

26 OCT 18

A1.2

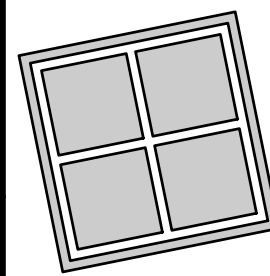
AREA "A"
T.A.
11/13/2020

LOWER LEVEL PLAN



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



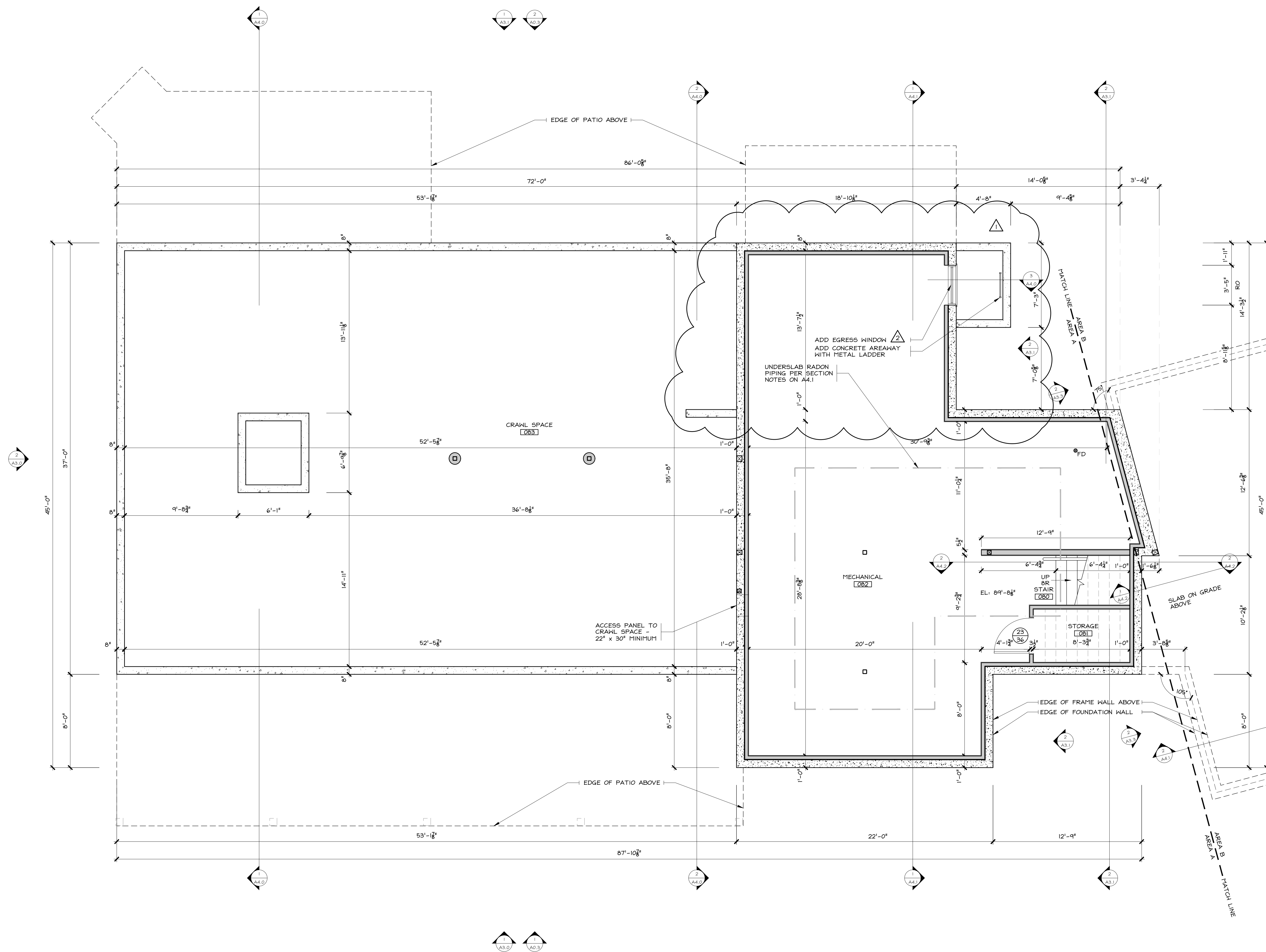
STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for
David & Jane Blandford

**Lot B8, Marabou
Routt County, Colorado**

A2.0

15-22

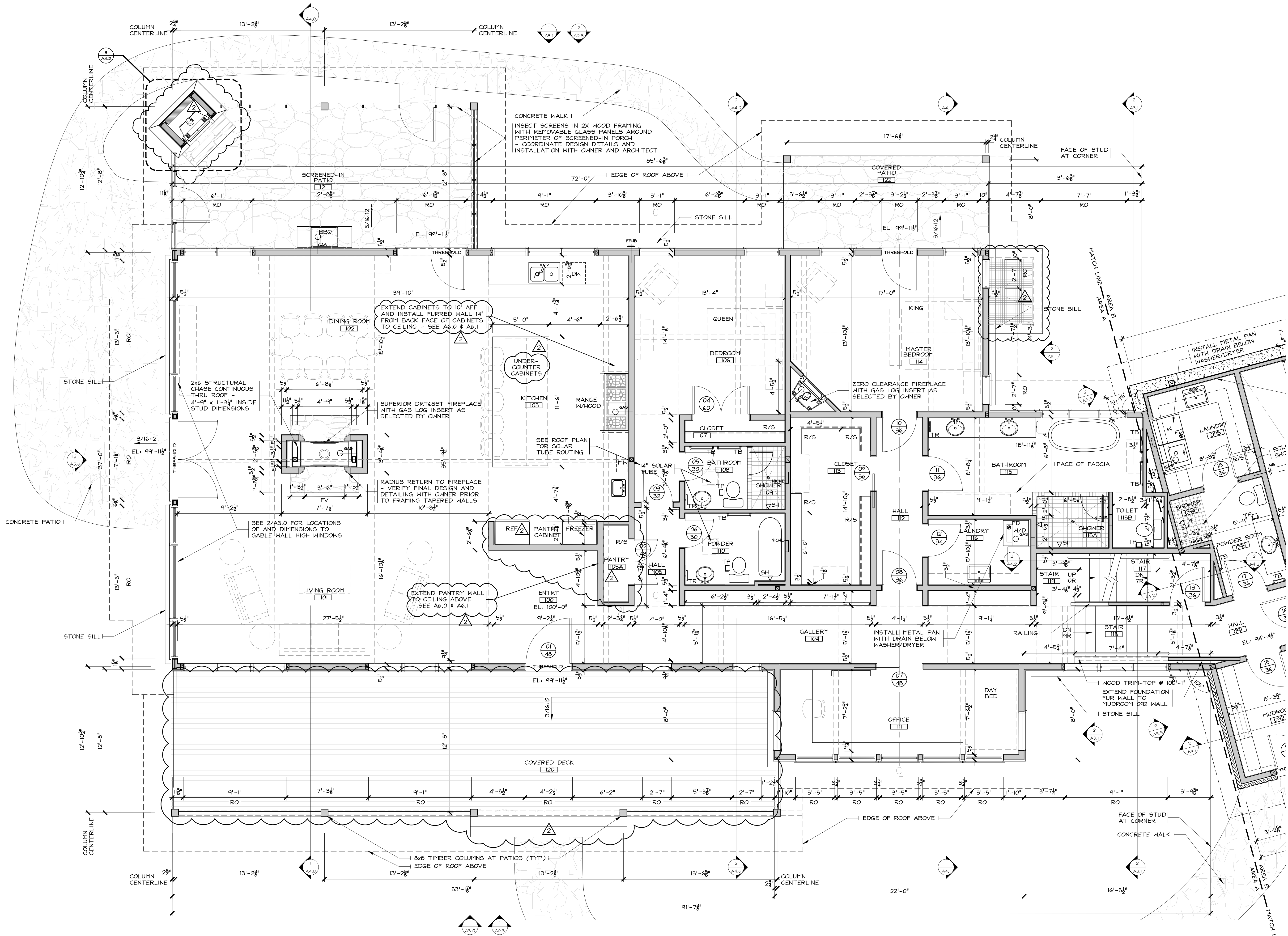


REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

12 OCT 20

26 OCT 18

A2.0



1 MAIN LEVEL PLAN - AREA "A"
1/4" = 1'-0"
SEE A1.0
3,490 SF LIVING
1,192 SF GARAGE
1,174 SF COVERED PATIO

REVISIONS 1 & 2 - CHANGES FOR RCRBD AND OWNER

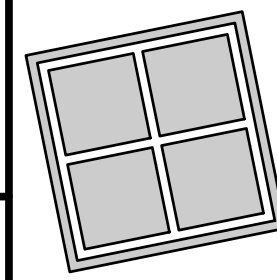
12 OCT 20

26 OCT 18

A Single-Family Residence for

David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

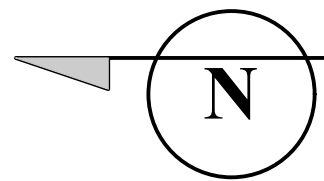
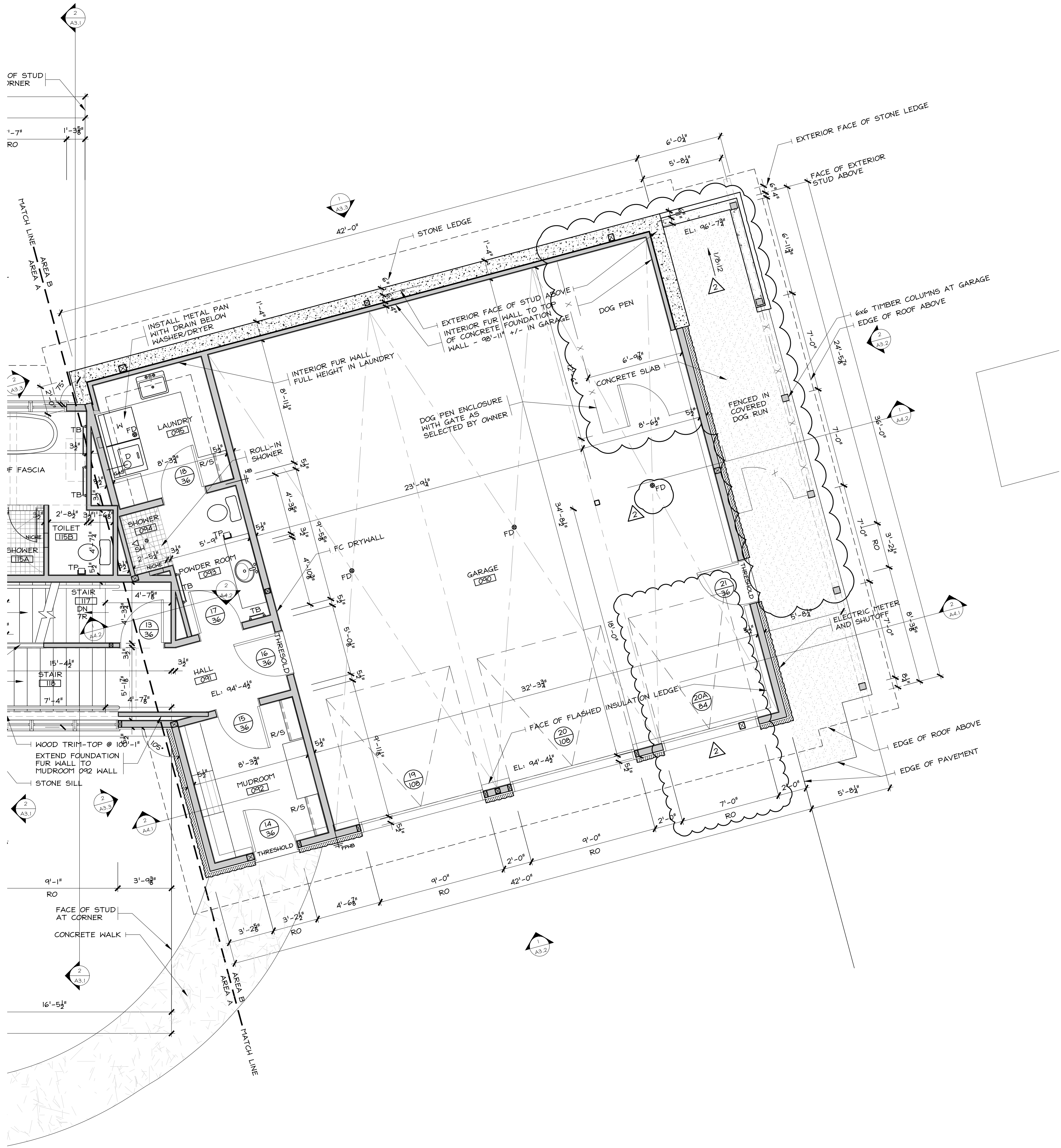
William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



**RCRBD Record Set
T.A.**
11/13/2020

MAIN LEVEL PLAN - AREA "A"



1

MAIN LEVEL PLAN - AREA "B"

1/4" = 1'-0"
SEE A2.1 FOR SF NUMBERS

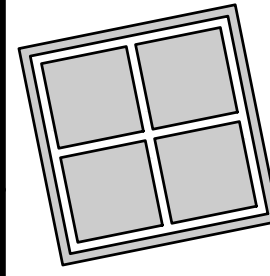
REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

12 OCT 20

26 OCT 18

A2.2

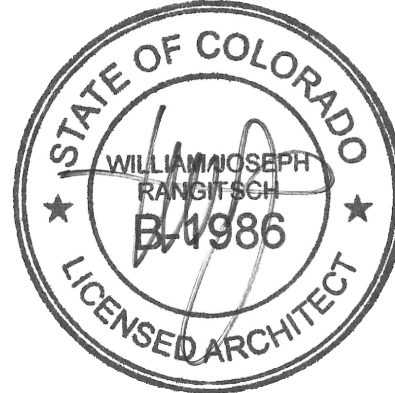
A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



MAIN LEVEL PLAN -

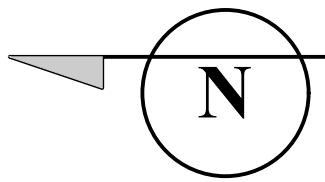
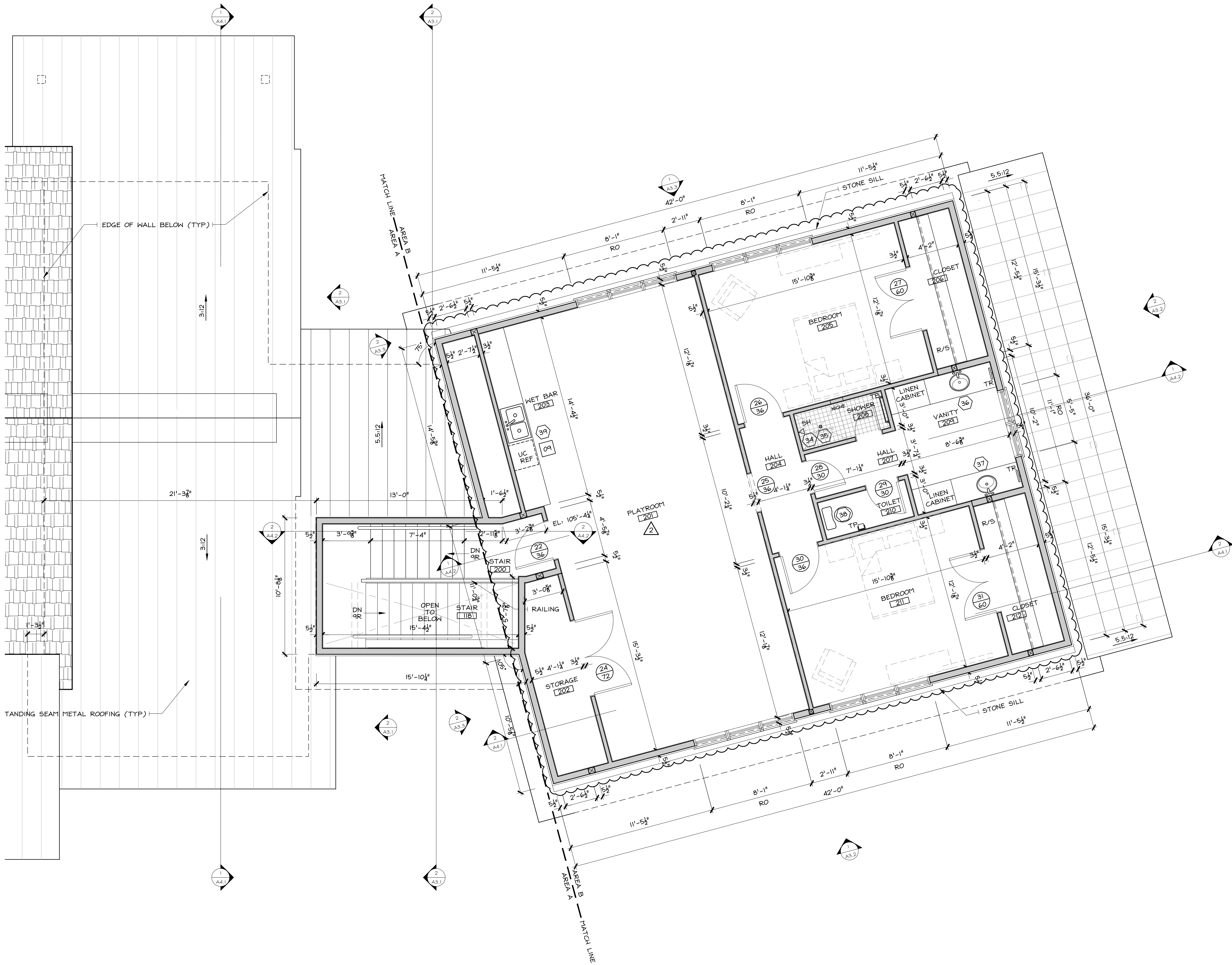
AREA "B"

RCRBD Record Set
T.A.

11/13/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.



1

UPPER LEVEL PLAN - AREA "B"

1/4" = 1'-0"
SEE 1/A2.1
1,550 SF UNFINISHED

REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

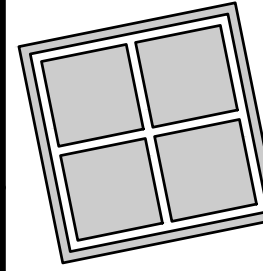
12 OCT 20

26 OCT 18

A Single-Family Residence for

David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 Lincoln Ave Ste. 200
Steamboat Springs, CO 80477



UPPER LEVEL PLAN

AREA "B"

**RCRBD Record Set
T.A.**

11/13/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

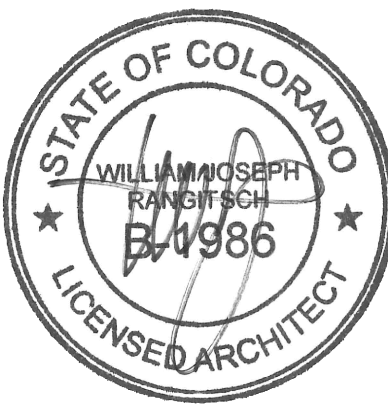
© Copyright 2015 SAA, P.C.

A2.3

15-22

11/13/2020

ROOF PLAN - AREA



William J. Rangitsch

970.879.0819
910 345 lincoln ave ste. 200
teamboat springs, co. 80477

STEAMBOAT
CHITECTURAL
ASSOCIATES

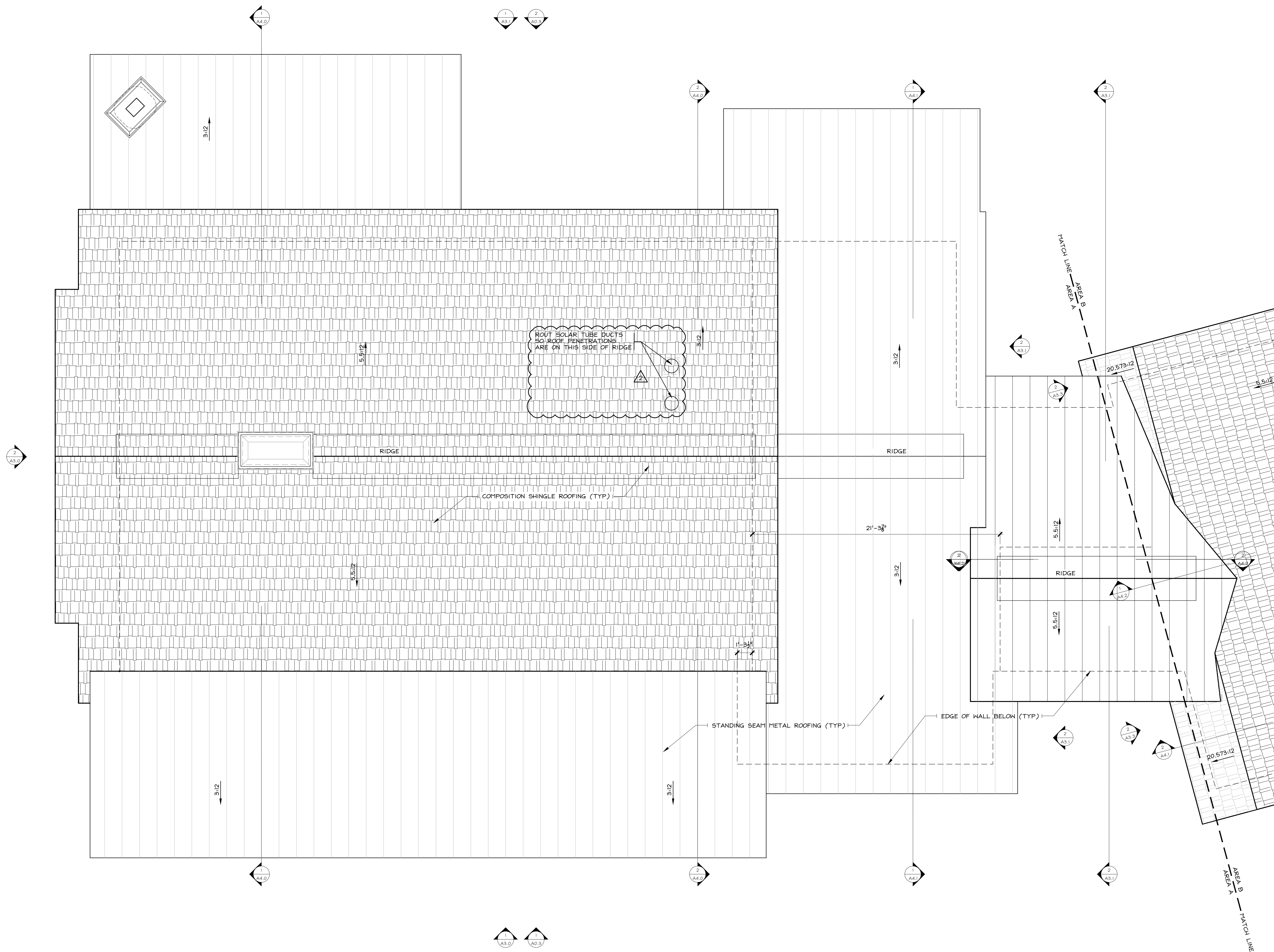
A Single-Family Residence for

David & Jane Blandford

**Lot B8, Marabou
Routt County, Colorado**

A2.4

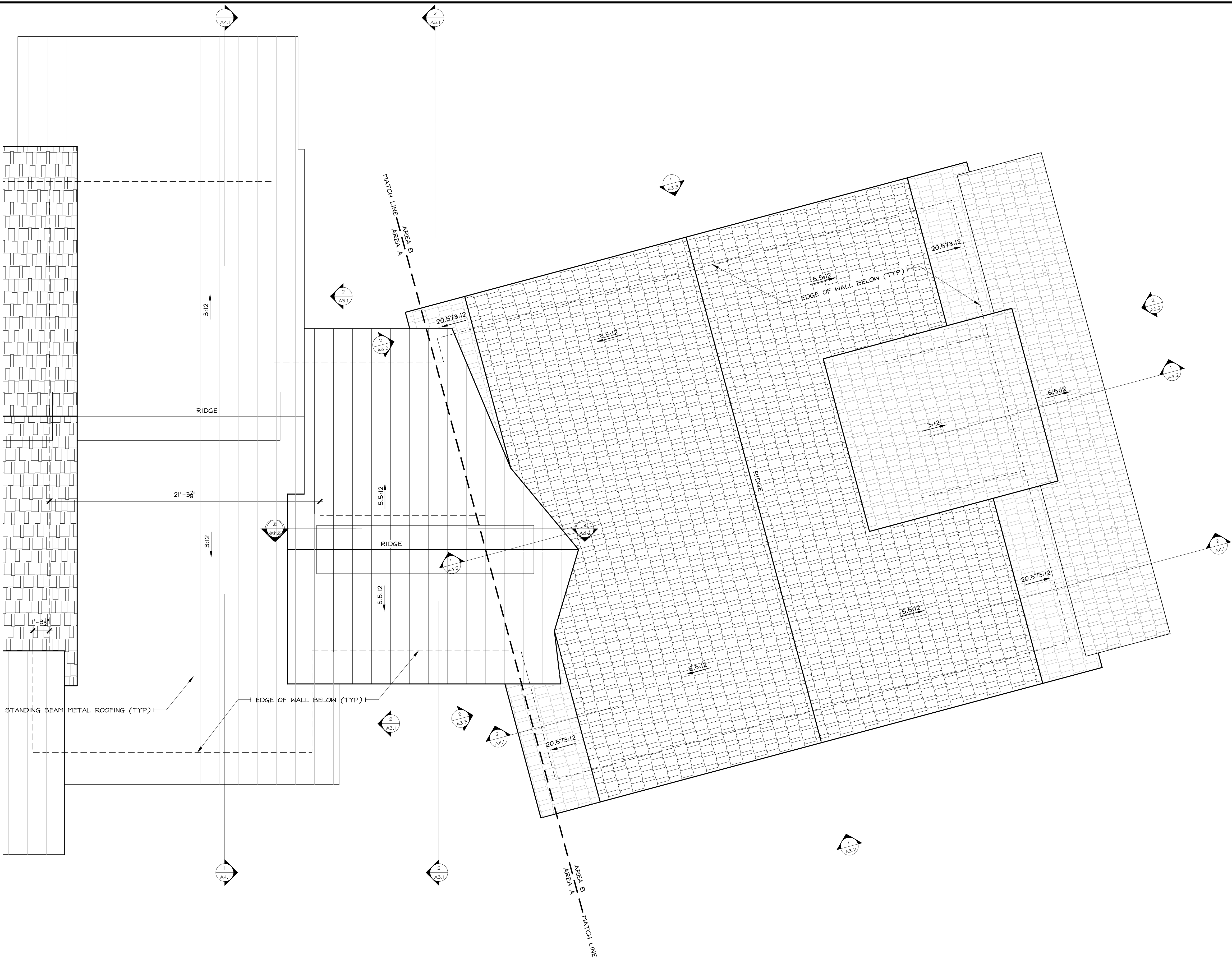
15-22

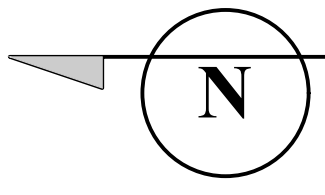


1

ROOF PLAN - AREA "A"

1/4" = 1'-0"
SEE A2.0, A2.1



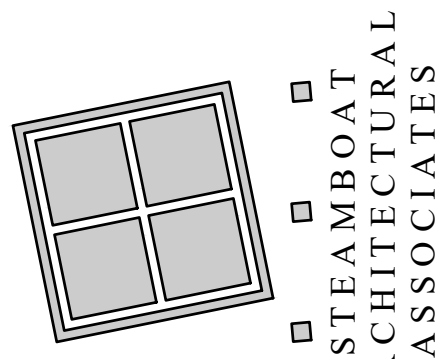
 **1 ROOF PLAN - AREA "B"**
1/4" = 1'-0"
SEE A2.1, A2.2

26 OCT 18

A2.5

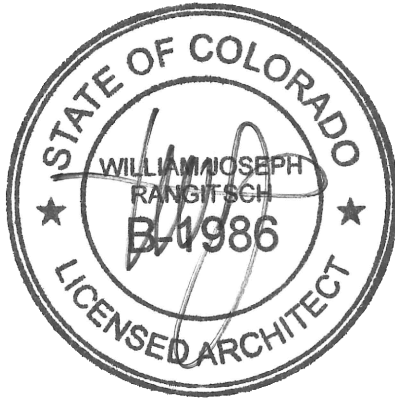
15-22

A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



ROOF PLAN - AREA "B"

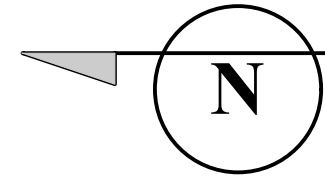
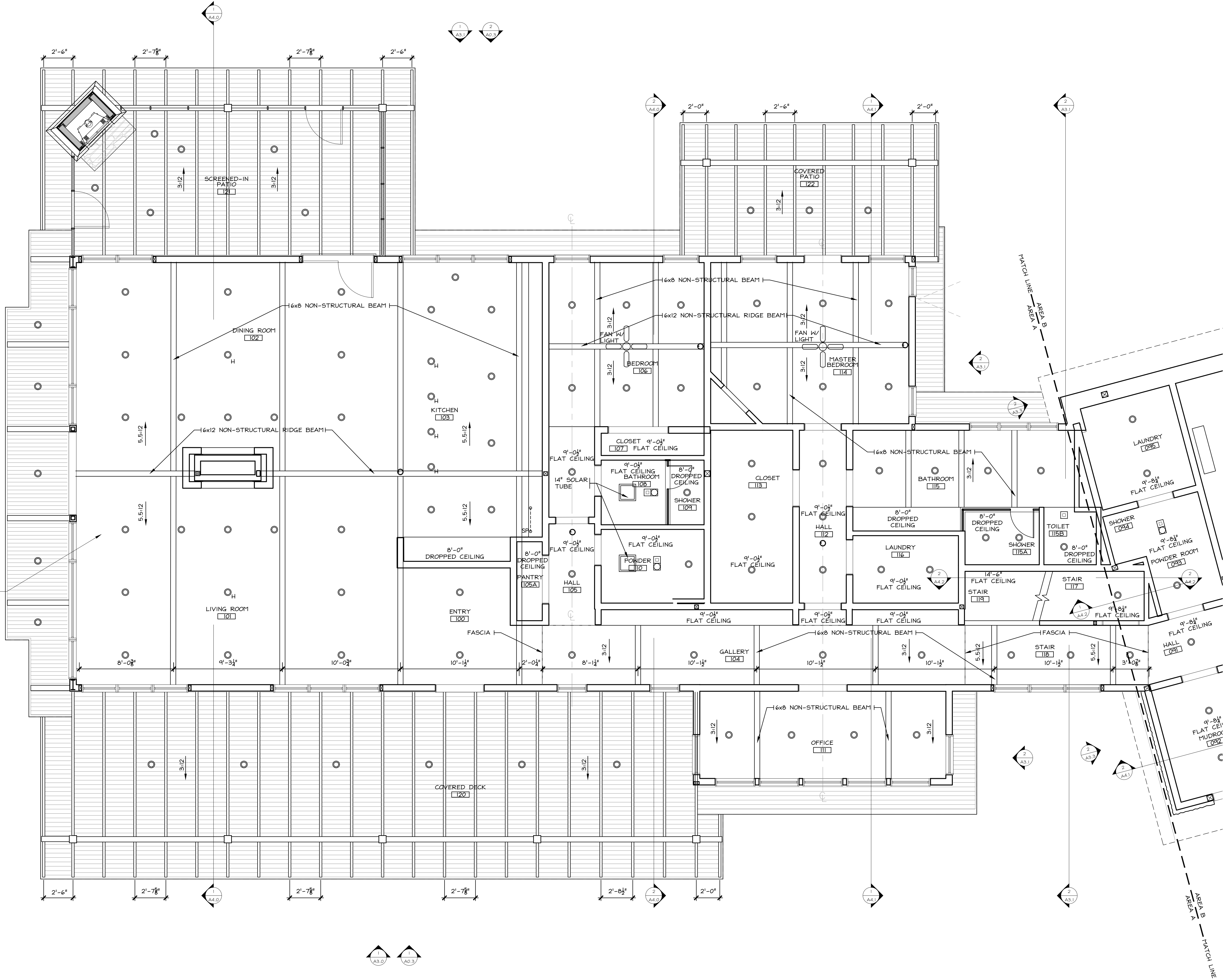
**RCRBD Record Set
T.A.**

11/13/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

PROVIDE DROPPED CEILING FRAMING FOR ALL CEILINGS AT GABLE ENDS WHERE TRUSSES ARE HELD BACK FROM EXTERIOR WALLS, AND AT OTHER LOCATIONS AS REQUIRED (TYPICAL) - COORDINATE WITH FRAMING ON STRUCTURAL DRAWINGS



CEILING HEIGHTS ARE FROM TOP OF SHEATHING TO BOTTOM OF DRYWALL

1 MAIN LEVEL REFLECTED CEILING PLAN - AREA "A"

1/4" = 1'-0"
SEE A2.1
3,490 SF LIVING
1,192 SF GARAGE
1,174 SF COVERED PATIO

26 OCT 18

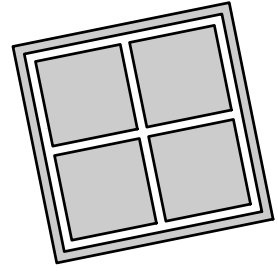
A2.6

15-22

A Single-Family Residence for

David & Jane Blandford

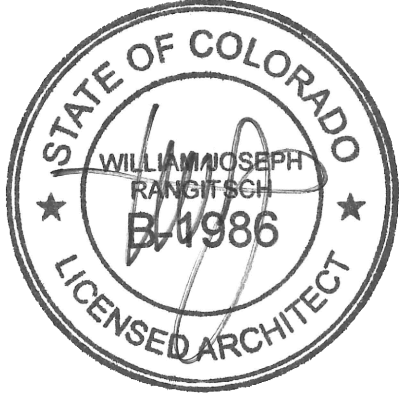
Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



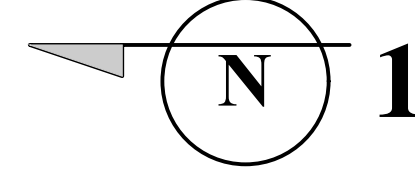
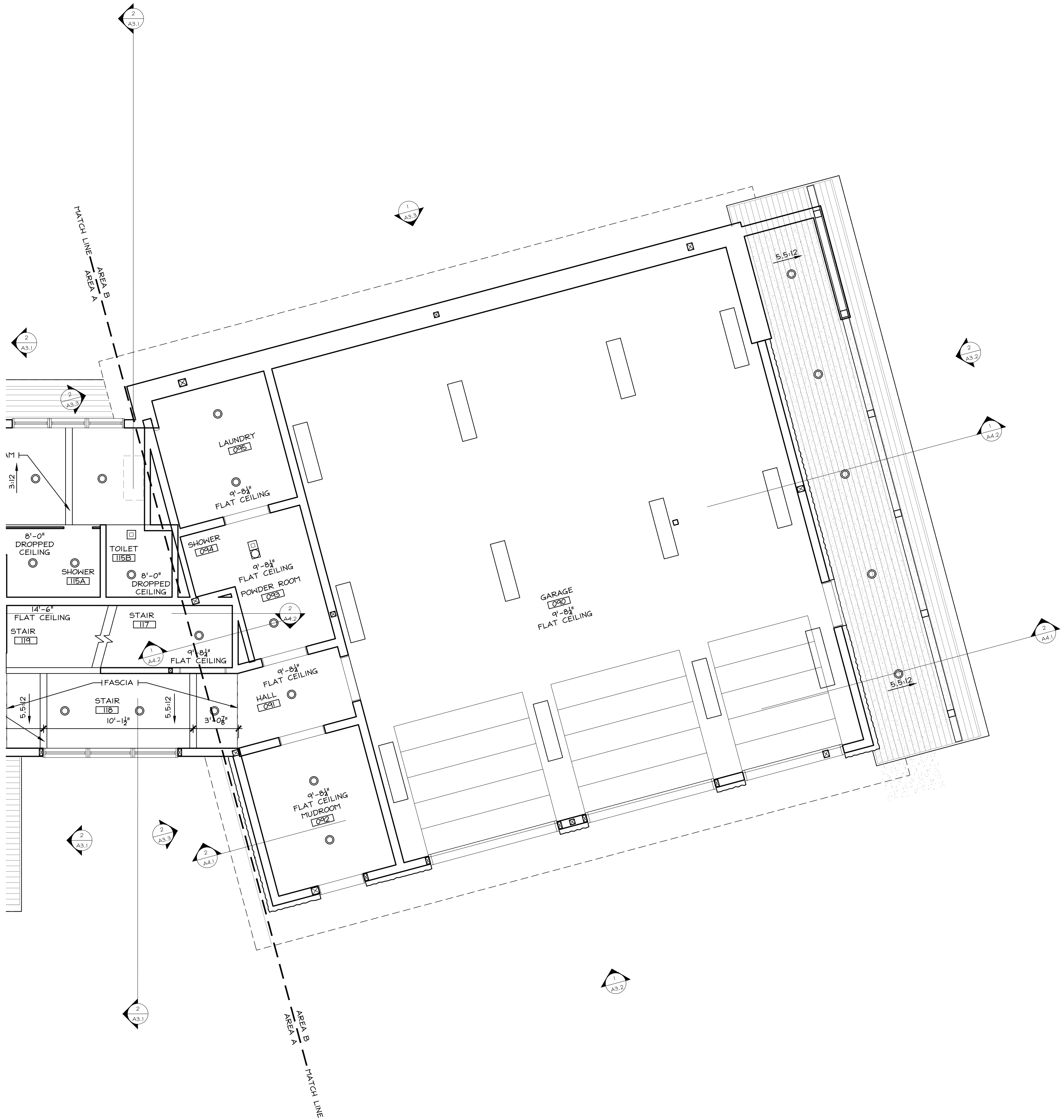
MAIN LEVEL REFLECTED CEILING PLAN
- AREA "A"

RCRBD Record Set
T.A.

11/13/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

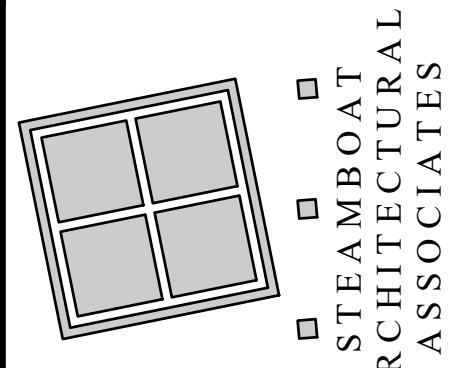


CEILING HEIGHTS ARE FROM TOP OF CONCRETE TO BOTTOM OF DRYWALL
1/4" = 1'-0"
SEE A2.2

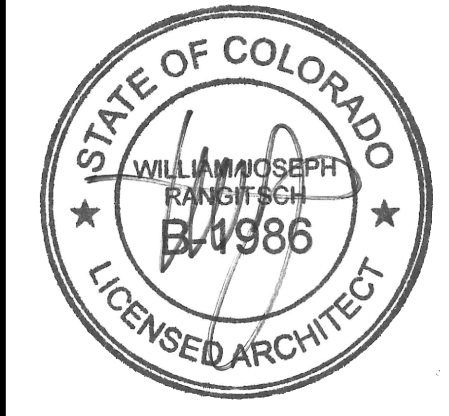
MAIN LEVEL REFLECTED CEILING PLAN - AREA "B"

SEE A2.6 FOR SF NUMBERS

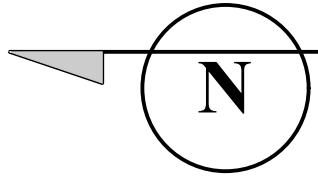
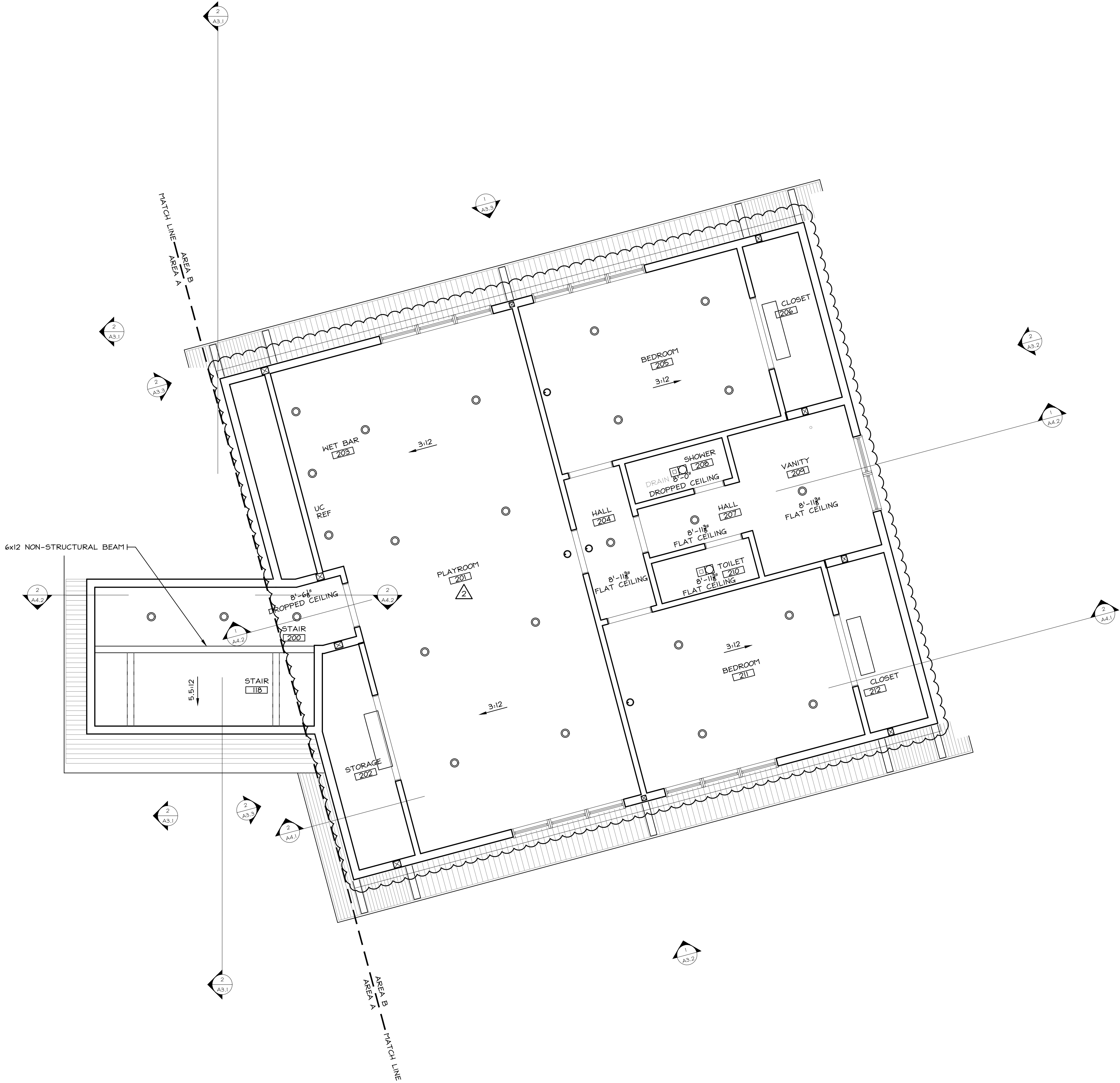
A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado



William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



MAIN LEVEL REFLECTED CEILING PLAN
- AREA "B"
RCRBD Record Set
T.A.
11/13/2020



CEILING HEIGHTS ARE FROM TOP OF SHEATHING TO BOTTOM OF DRYWALL
1/4" = 1'-0"
SEE A2.3
1,550 SF UNFINISHED

UPPER LEVEL REFLECTED CEILING PLAN - AREA "B"

REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

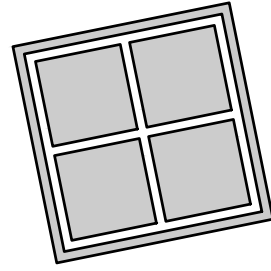
12 OCT 20

26 OCT 18

A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

A2.8

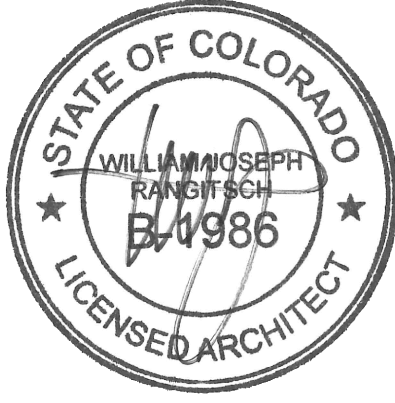
15-22



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 Lincoln ave ste. 200
steamboat springs, co. 80477



UPPER LEVEL REFLECTED CEILING PLAN
- AREA "B"

**RCBD Record Set
T.A.**

11/13/2020

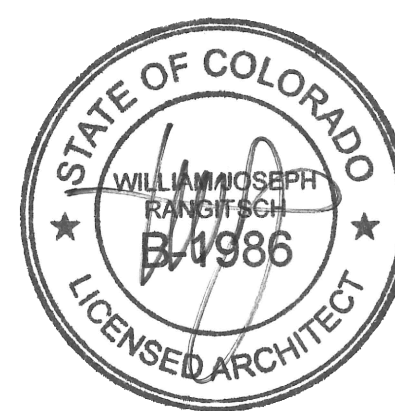
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

© Copyright 2015 SAA, P.C.

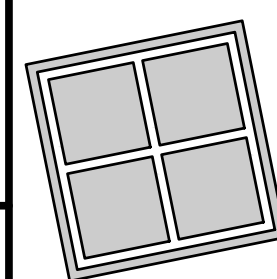
11/13/2020

ELEVATIONS



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

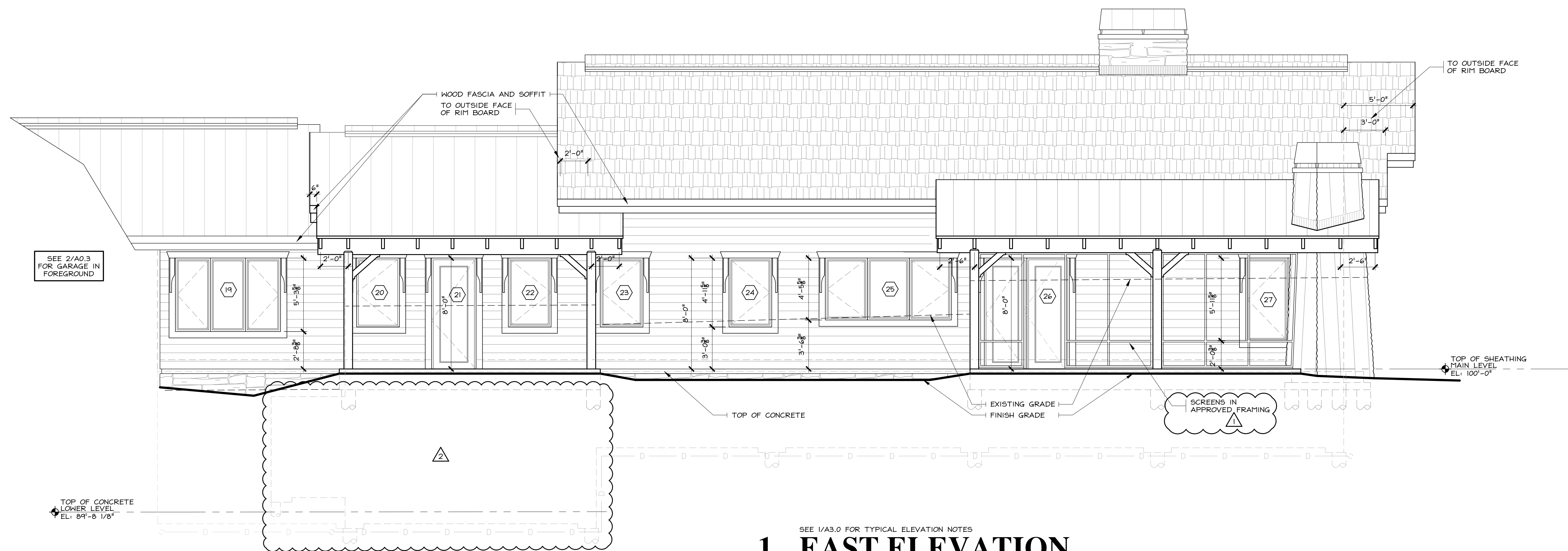
A Single-Family Residence for

David & Jane Blandford

**Lot B8, Marabou
Routt County, Colorado**

A3.1

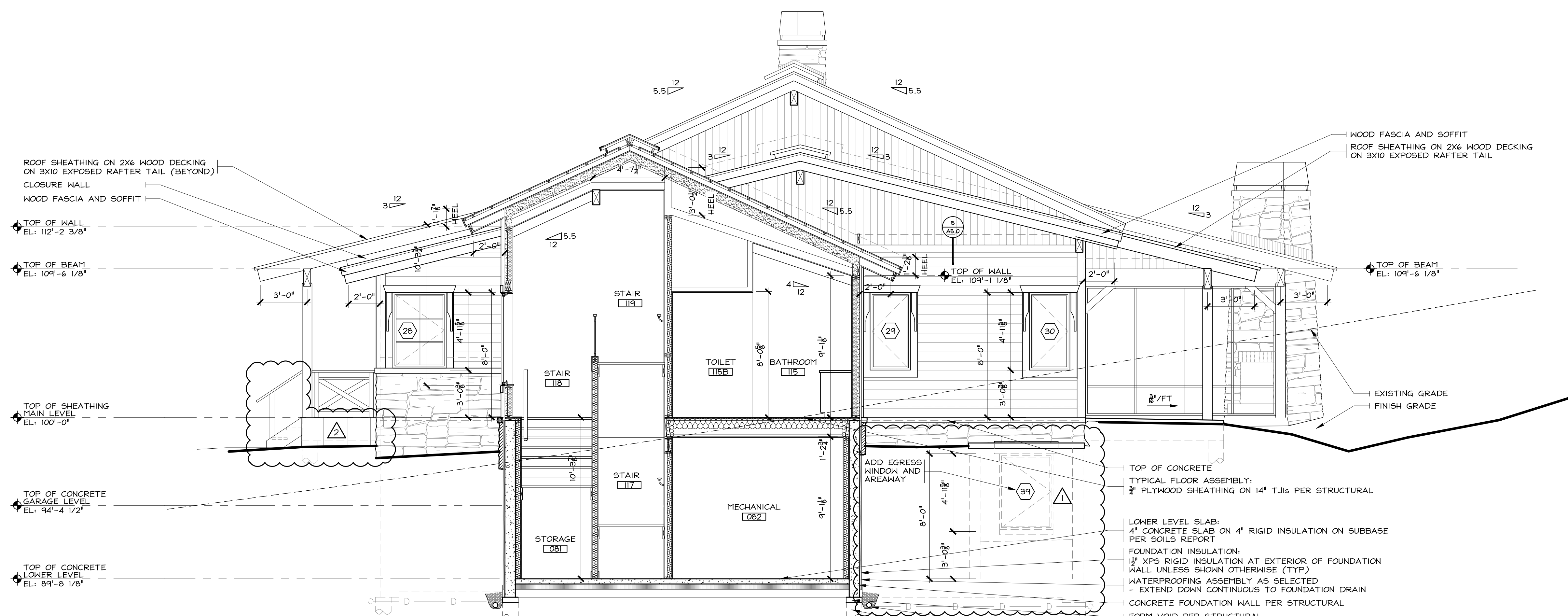
15-22



1 EAST ELEVATION

SEE 1/A3.0 FOR TYPICAL ELEVATION NOTES

1/4" = 1'-0"
SEE A2.0 THRU A2.5



2 SOUTH ELEVATION

SEE 1/A3.0 FOR TYPICAL ELEVATION NOTES

1/4" = 1'-0"
SEE A2.0 THRU A2.5

REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

12 OCT 20

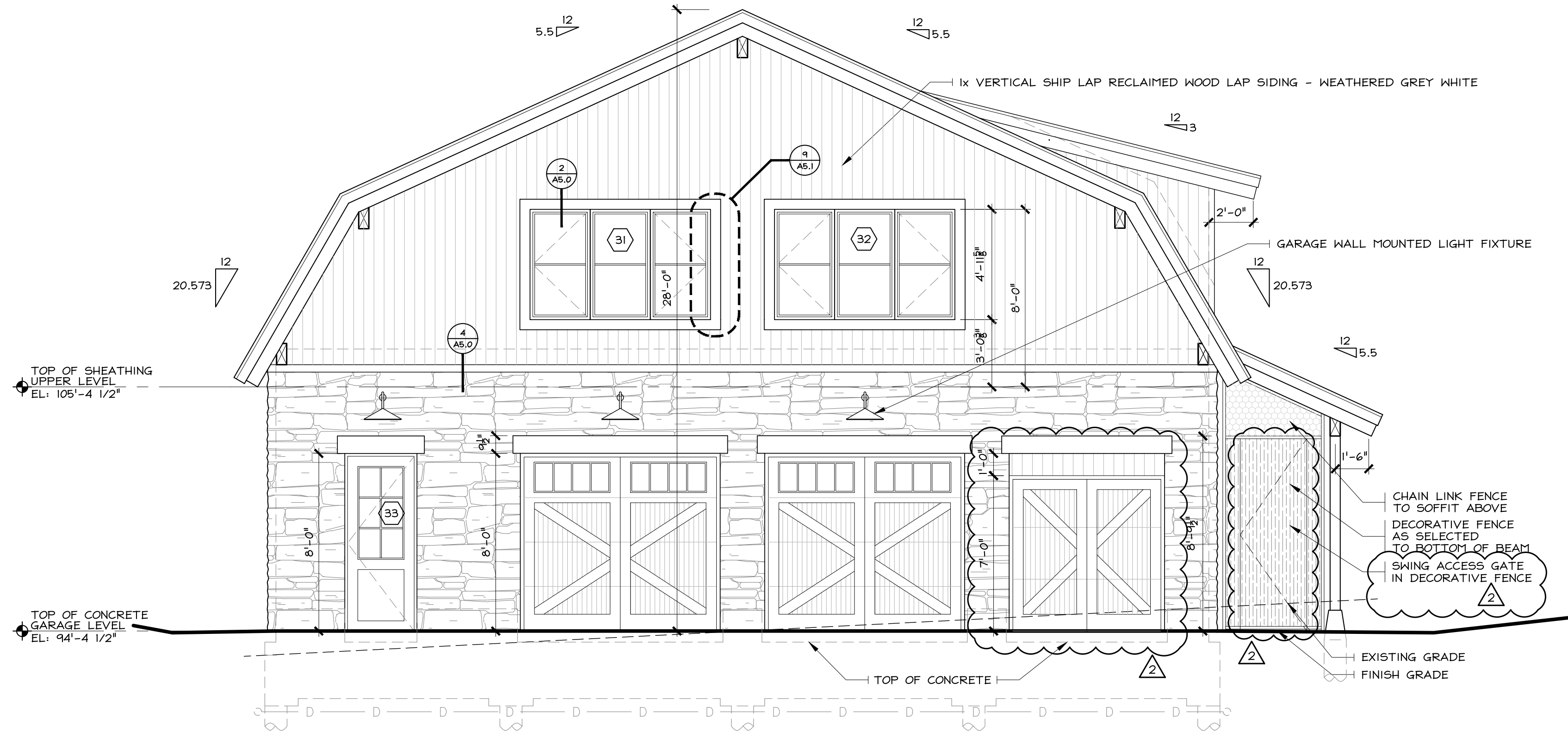
26 OCT 18

A3.1

15-22

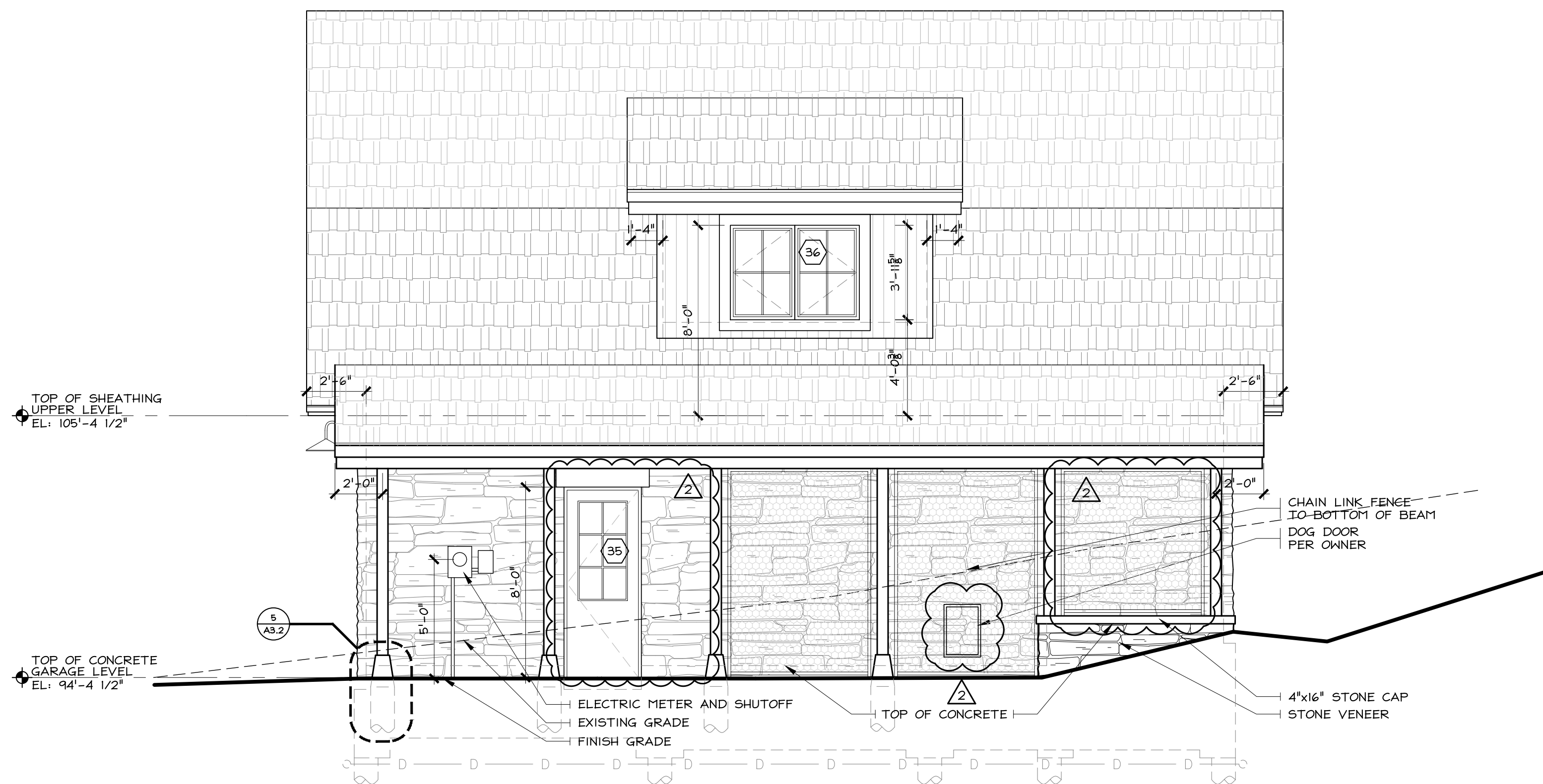
A3.1

0/12/2020 12:19 PM C:\Users\Poulanqwi3.000\Documents\SAA Projects\A-L\Blandford\01-Drawings\01-Current\Blindfrd A2.0



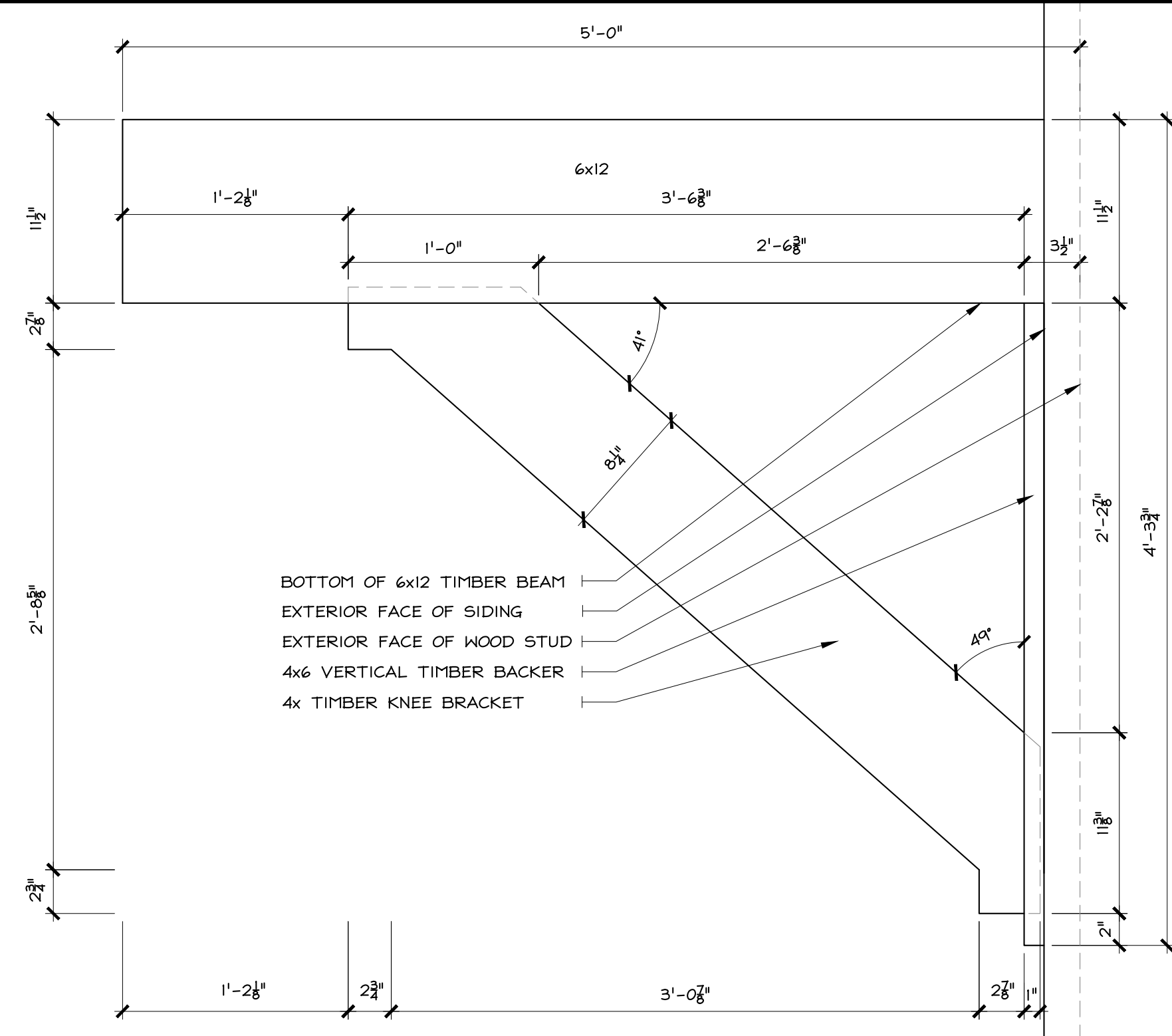
SEE 1/A3.0 FOR TYPICAL ELEVATION NOTES
1/4" = 1'-0"
SEE A2.0 THRU A2.5

1 WEST ELEVATION

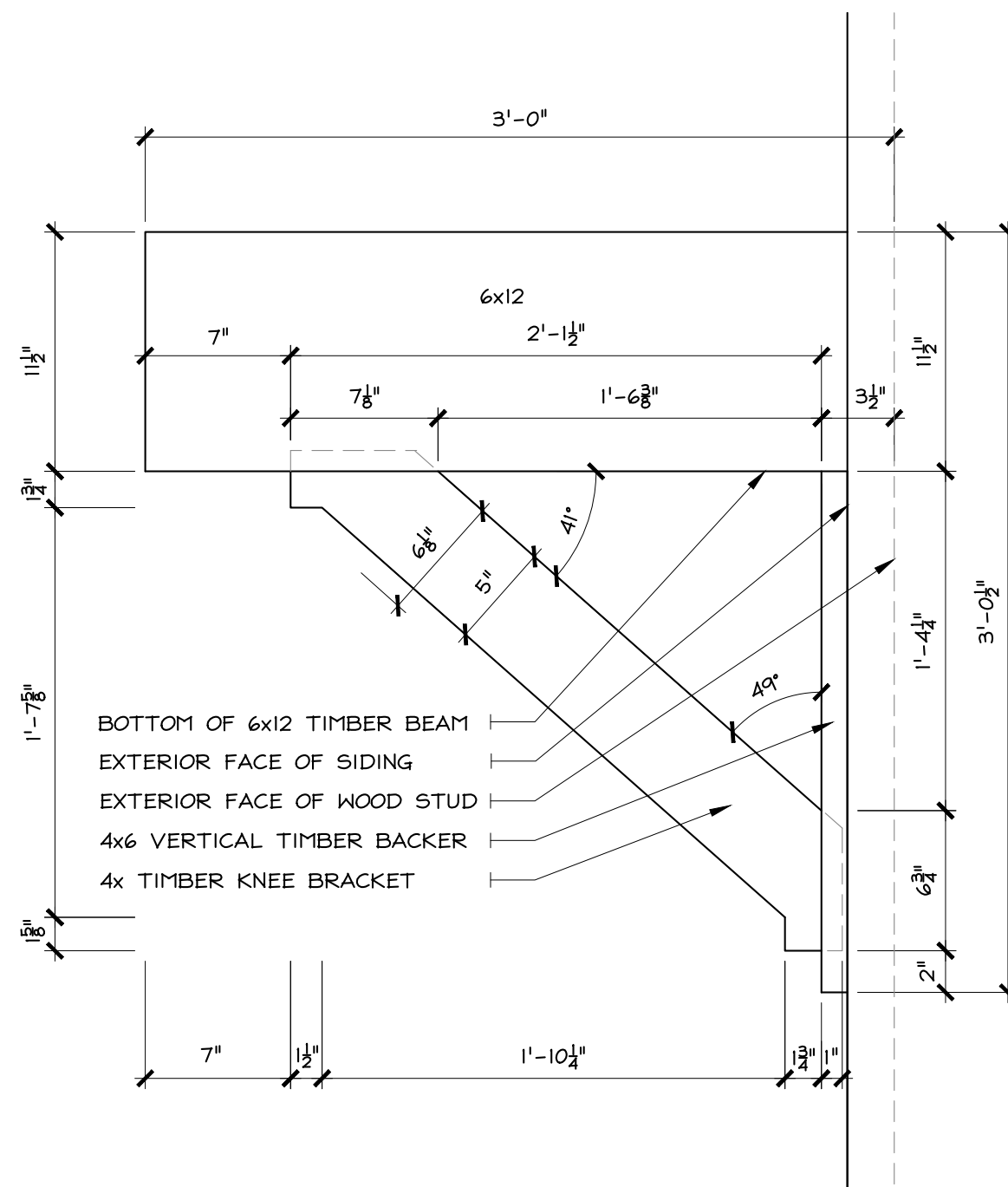


SEE 1/A3.0 FOR TYPICAL ELEVATION NOTES
1/4" = 1'-0"
SEE A2.0 THRU A2.5

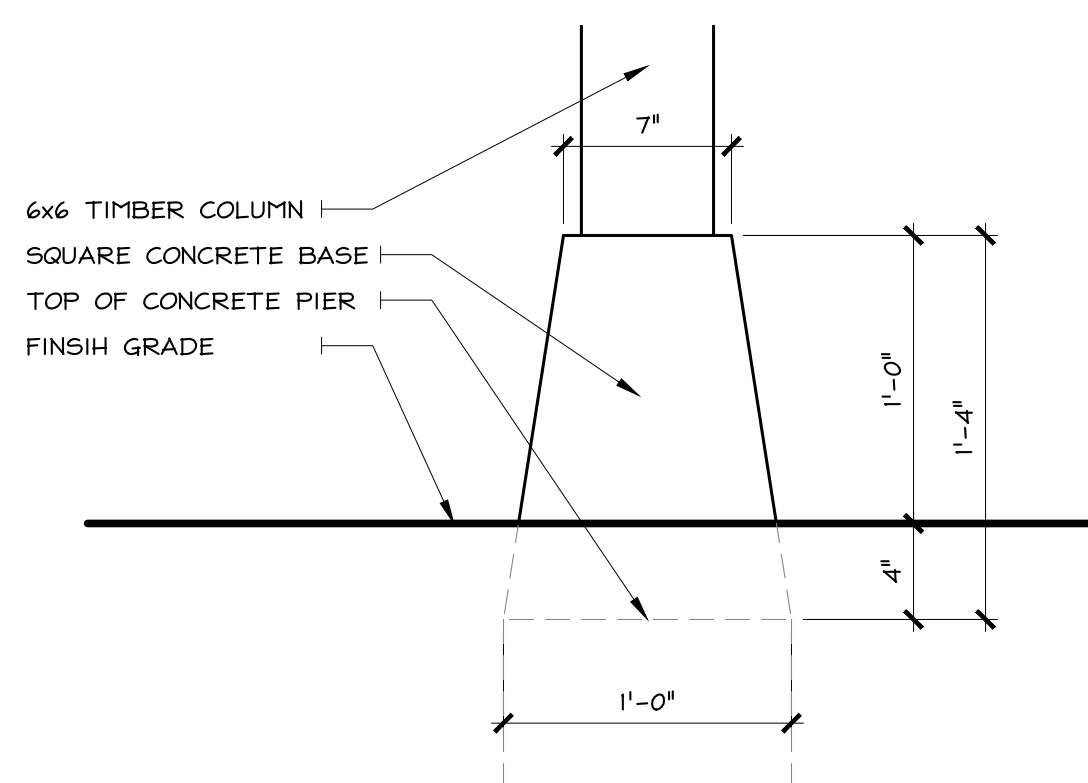
2 SOUTH ELEVATION



AT 5' NON-STRUCTURAL KNEE BRACKET
3 DETAIL
1 1/2" = 1'-0"
SEE 2/A3.0



AT 3' STRUCTURAL KNEE BRACKET
4 DETAIL
1 1/2" = 1'-0"
SEE 2/A3.0



AT GARAGE EXTERIOR COLUMN BASES
5 DETAIL
1 1/2" = 1'-0"
SEE 2/A3.2

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.

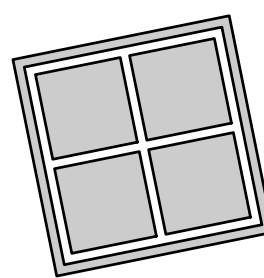
11/13/2020

ELEVATIONS



William J. Rangitsch

970.879.0819
p.o. box 772910 345 Lincoln Ave Ste. 200
Steamboat Springs, CO 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for
David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado

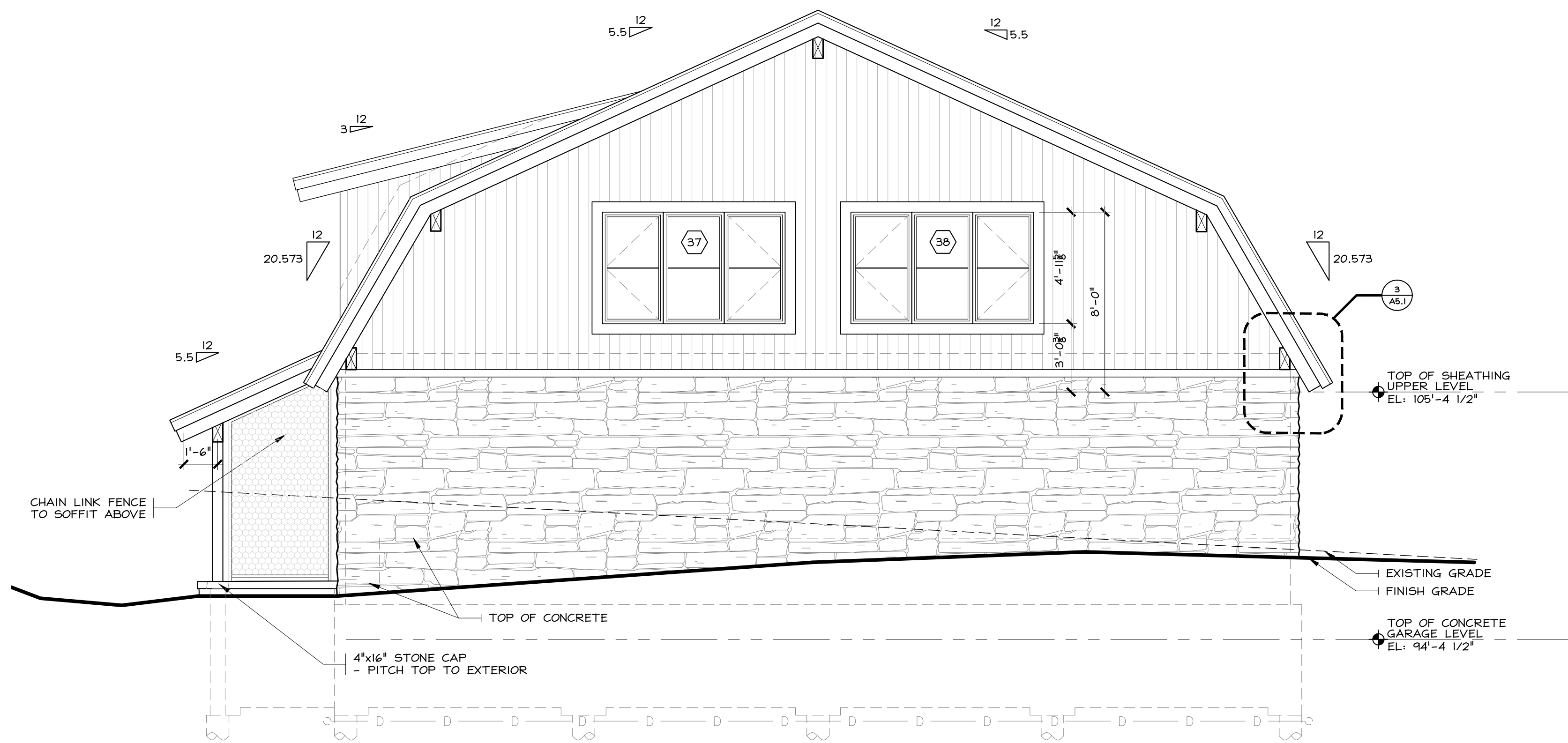
A3.2

15-22

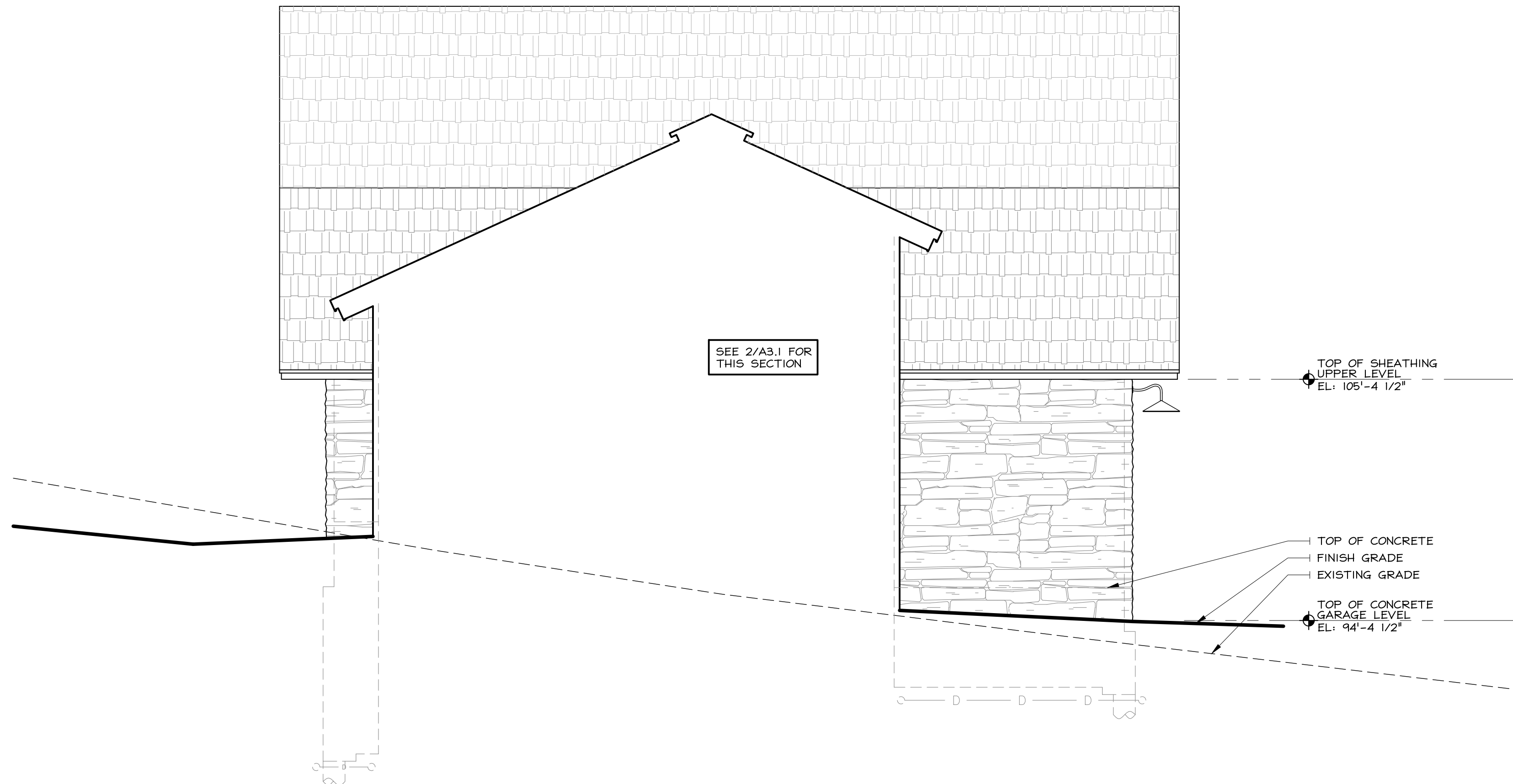
REVISIONS 1 & 2 - CHANGES FOR RCRBD AND OWNER

12 OCT 20

26 OCT 18



SEE 1/A3.0 FOR TYPICAL ELEVATION NOTES
1 EAST ELEVATION
1/4" = 1'-0"
SEE A2.0 THRU A2.5



SEE 1/A3.0 FOR TYPICAL ELEVATION NOTES
2 NORTH ELEVATION
1/4" = 1'-0"
SEE A2.0 THRU A2.5

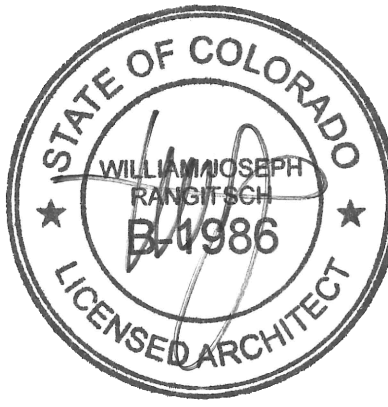
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.

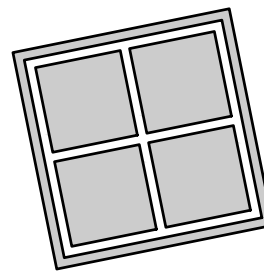
11/13/2020

ELEVATIONS



William J. Rangitsch

970.879.0819
p.o. box 772910 345 Lincoln Ave Ste. 200
Steamboat Springs, CO 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for

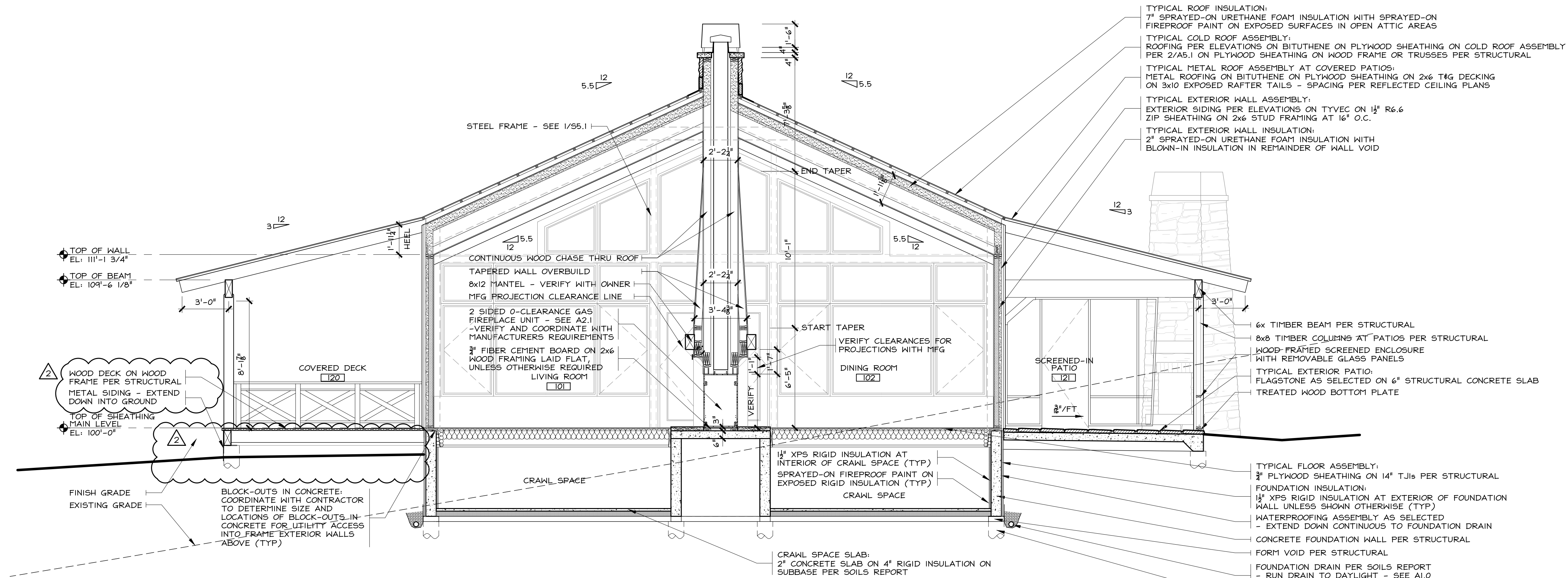
David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado

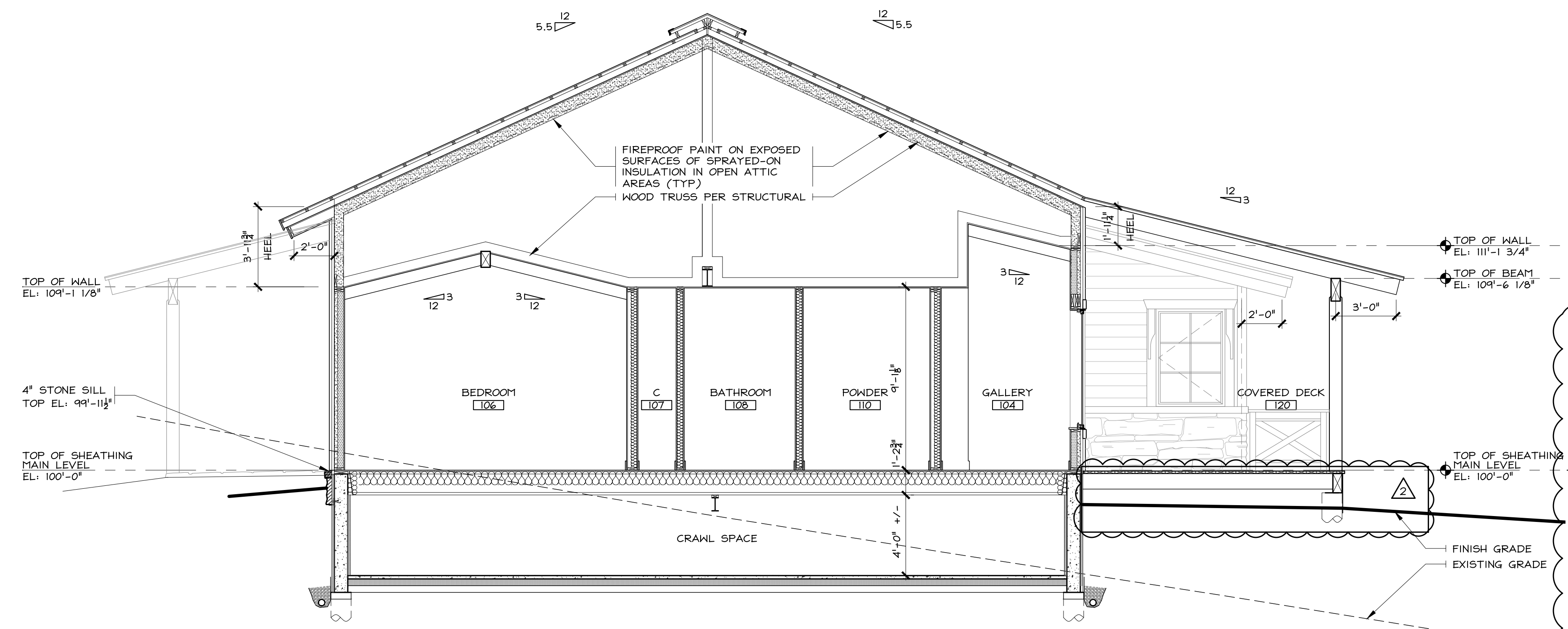
26 OCT 18

A3.3

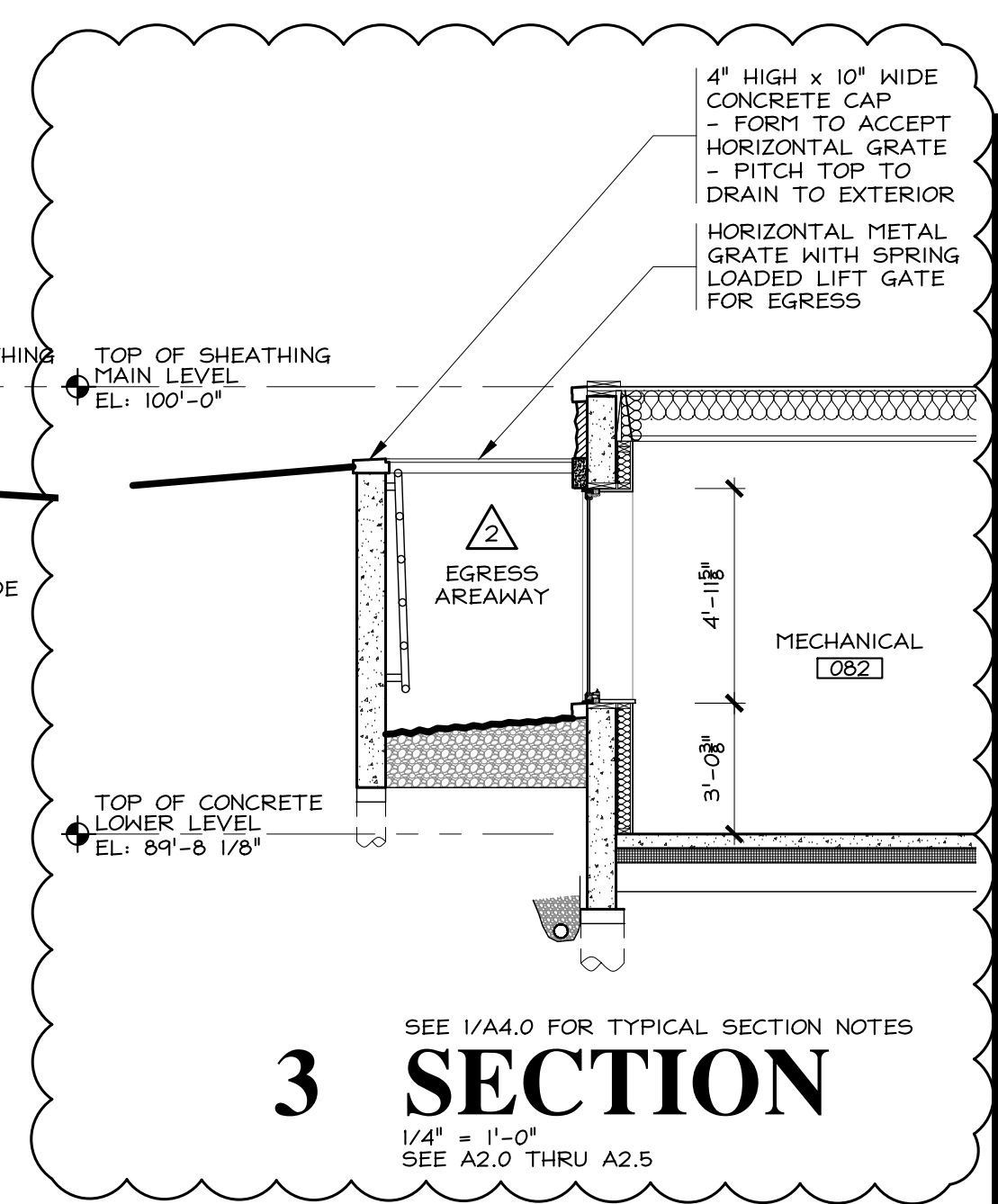
15-22



NOTES THIS SECTION ARE TYPICAL
1 SECTION
1/4" = 1'-0"
SEE A2.0 THRU A2.5



SEE 1/A4.0 FOR TYPICAL SECTION NOTES
2 SECTION
1/4" = 1'-0"
SEE A2.0 THRU A2.5



SEE 1/A4.0 FOR TYPICAL SECTION NOTES
3 SECTION
1/4" = 1'-0"
SEE A2.0 THRU A2.5

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

RCRBD Record Set
T.A.

11/13/2020

SECTIONS

STATE OF COLORADO
WILLIAM JOSEPH
RANGITSCH
19986
LICENSED ARCHITECT

William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477

STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

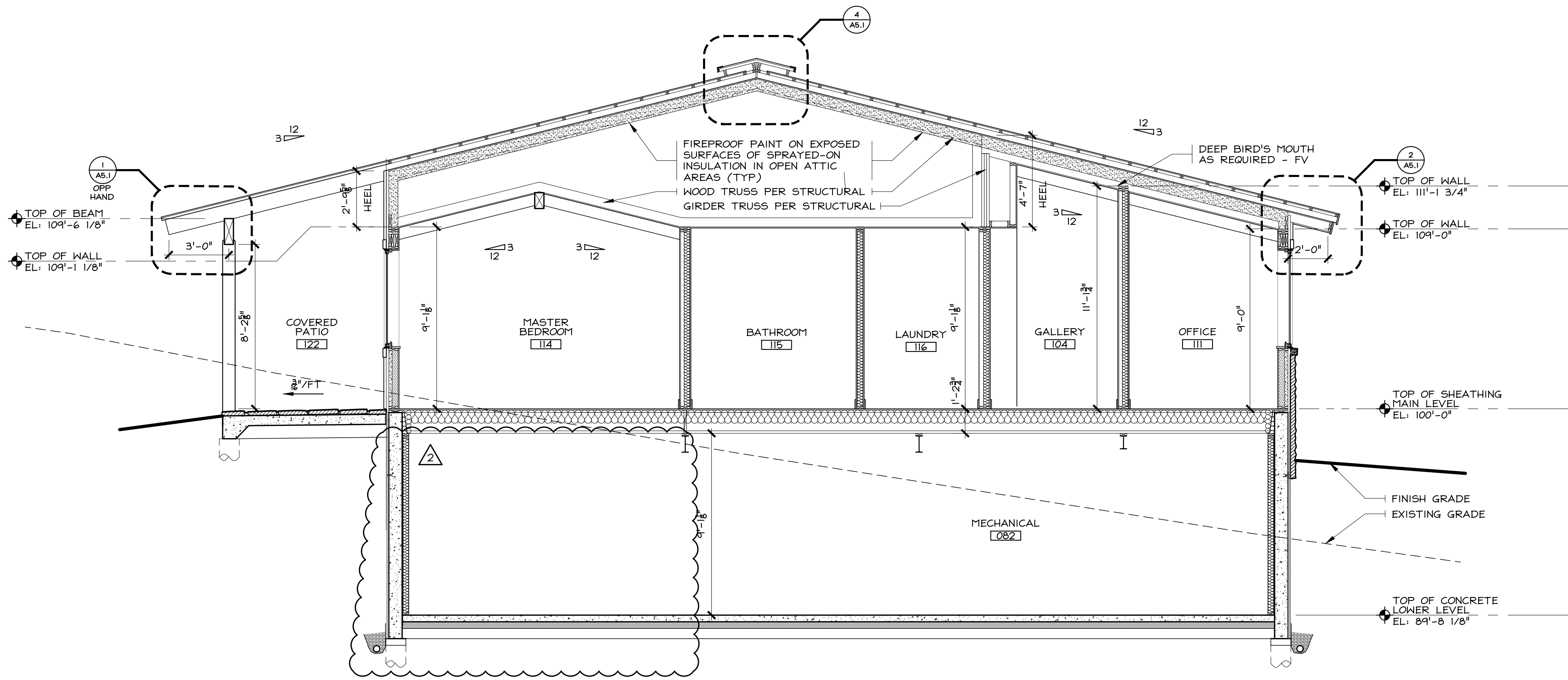
A4.0

15-22

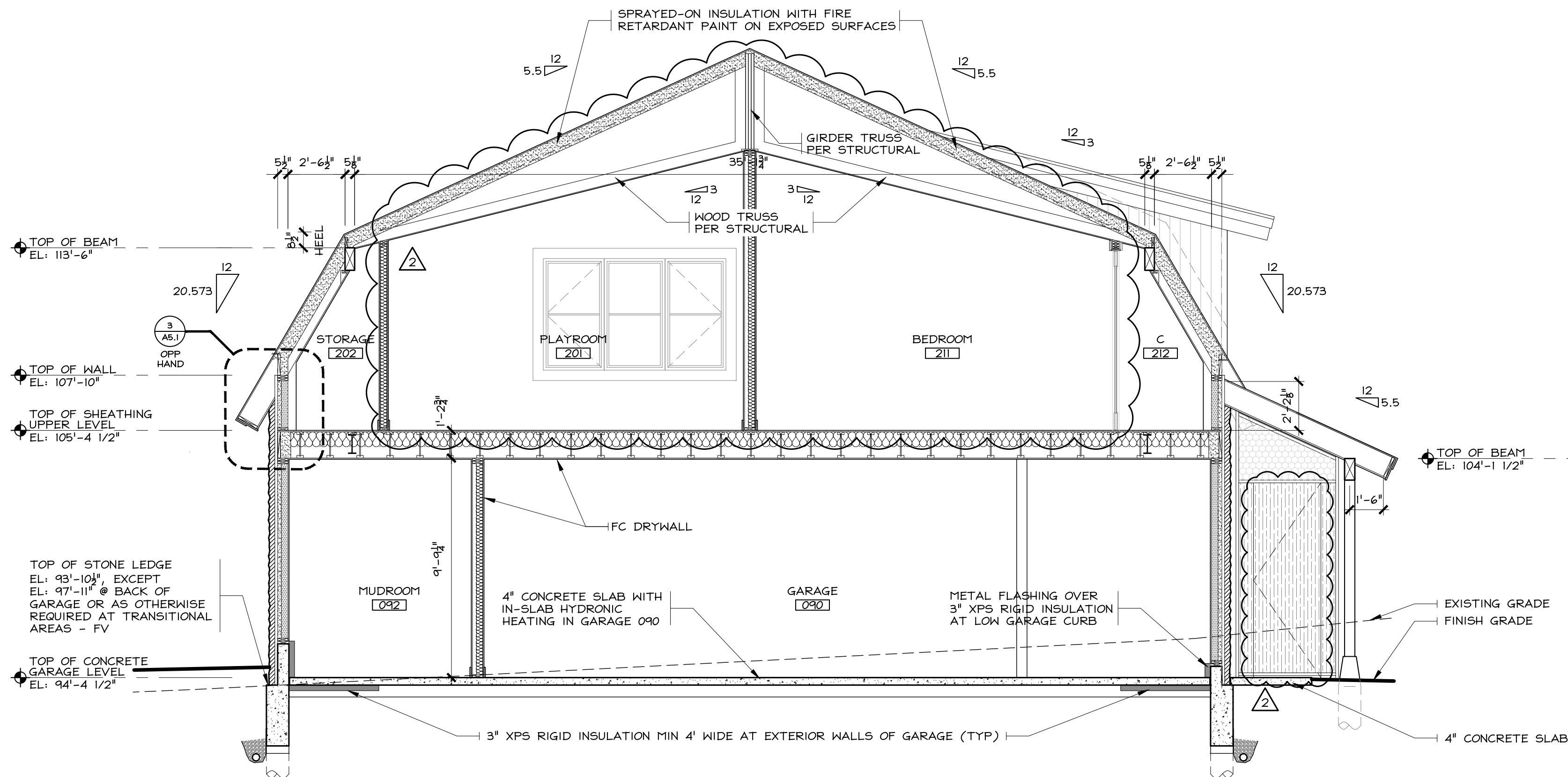
REVISIONS 1 & 2 - CHANGES FOR RCRBD AND OWNER

12 OCT 20

26 OCT 18



1 SECTION
SEE 1/A4.0 FOR TYPICAL SECTION NOTES
1/4" = 1'-0"
SEE A2.0 THRU A2.5



2 SECTION
SEE 1/A4.0 FOR TYPICAL SECTION NOTES
1/4" = 1'-0"
SEE A2.0 THRU A2.5

SECTION NOTES

1. FIELD MEASURE FOR ALL CABINETWORK.
2. COORDINATE LOCATION OF ELECTRICAL OUTLET AND SWITCH BOXES WITH TILE AND OTHER FINISH MATERIALS.
3. REFER TO FOUNDATION PLAN FOR FOUNDATION REQUIREMENTS.
4. REFER TO FRAMING PLANS FOR STRUCTURAL REQUIREMENTS.
5. REFER TO WINDOW SCHEDULE FOR SIZE AND DESCRIPTION.
6. REFER TO ROOM FINISH SCHEDULE FOR INTERIOR FINISHES.
7. SOLID BLOCKING IS REQUIRED PER IRC 2015 AND FOR HORIZONTAL MEMBERS AT SUPPORTS WHERE COLUMNS PASS THROUGH FLOORS, FOR VERTICAL MEMBERS AT MID-HEIGHT, FOR FIRE BLOCKING, AND AS BACKING FOR CABINETS, SHELVES, FIXTURES, VERTICAL PANELING, HARDWARE AND MISCELLANEOUS ATTACHMENTS.
8. APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS PER IRC 2015.
9. COLD ROOF TO CONSIST OF 2 X 4'S VERTICAL @ (24") O.C. AND 2 X 2'S HORIZONTAL @ (16") O.C.
10. PROVIDE BITUTHENE "ICE & WATER GUARD" BELOW ALL ROOFING. UP-SLOPE MATERIALS MUST LAP OVER DOWN-SLOPE MATERIAL BY MINIMUM 2".
11. TYVEC OR EQUAL BEHIND ALL EXTERIOR SIDING.
12. 30# FELT BEHIND ALL STONE VENEERS
13. INSULATION REQUIREMENTS:
 - a. COMPLY WITH 2015 INTERNATIONAL ENERGY CONSERVATION CODE CLIMATE ZONE 7.
WHERE UNCOMPRESSED INSULATION EXTENDS OVER THE WALL TOP PLATE AT EAVES (EXCEPTION AS NOTED IN IECC SECTION 402.2.1):

ROOF/ATTIC ROOF	R-38	11" BATTS
	R-43.75	7" SPRAYED-ON URETHANE

WHERE UNCOMPRESSED INSULATION DOES NOT EXTEND OVER THE WALL TOP PLATE AT EAVES:

ROOF/ATTIC ROOF	R-49	14" BATTS
	R-50	8" SPRAYED-ON URETHANE

COMBINE THE FOLLOWING FOR COMPLETE THERMAL ENVELOPE:

EXTERIOR WALLS (CAVITY)	R-20	5 1/2" BATTS
AND (CONTINUOUS INSULATION)	R-5	INSULATED EXTERIOR SHEATHING

BASEMENT WALLS (CONT INS) R-15 STYROFOAM PERIMATE
BASEMENT WALLS (FRAMED) R-19 3 1/2" BATTS
CRAWL SPACE (CONT INSUL) R-15 STYROFOAM PERIMATE
CRAWL SPACE (FRAMED) R-19 5 1/2" BATTS
FLOORS - UNHEATED BELOW R-38 8" BATTS
SLABS - (INSULATE 4" DEEP) R-10 2 1/8" STYROFOAM PERIMATE
 - b. ADDITIONAL INSULATION REQUIREMENTS:

INTERIOR STUD WALLS	R-11	3 1/2" BATTS
INTERIOR BATHROOM WALLS	R-11	3 1/2" BATTS
FLOORS - HEATED BELOW	R-11	3 1/2" BATTS
15. U-VALUES FOR FENESTRATION (WINDOWS & DOORS) SHALL BE A MAXIMUM OF 0.32. INSTALLED WINDOWS & DOORS SHALL MEET OR EXCEED THIS REQUIREMENT. LEAVE MANUFACTURER'S LABELS ON WINDOWS UNTIL INSPECTED AND APPROVED BY BUILDING DEPARTMENT.
16. PROVIDE 6 MIL POLYVINYL MOISTURE SEAL BEHIND ALL INTERIOR FINISHES AT EXTERIOR WALLS AND CEILINGS, SEALED AT JOINTS WITH DUCT TAPE AND TO WIRING ENCLOSURES WITH TENOSEALANT.
17. PROVIDE CAULKING, GASKETING, WEATHERSTRIPPING OR OTHER SEALANT IN ACCORDANCE WITH AIR LEAKAGE REQUIREMENTS OF SECTION 402.4 OF 2015 INTERNATIONAL ENERGY CONSERVATION CODE.
18. ONE HOUR TYPE "X" DRYWALL REQUIRED BELOW BASEMENT STAIRS.
19. ONE-HOUR TYPE "X" DRYWALL OR SPRAYED-ON FIREPROOFING PER NOTE 27 BELOW REQUIRED OVER RIGID INSULATION.
20. PROVIDE DRYWALL CAPS, VAPOR SEAL, AND INSULATION OVER RECESSED LIGHTS.
21. PROVIDE STEAM PROOF FIXTURES IN STEAM, SHOWER AND MIST LOCATIONS.
22. SLOPE FINISH GRADE AWAY FROM BUILDING.
23. CRAWL SPACE MOISTURE SEAL: LEVEL GRADE TO CLEAR 18"-24". COVER W/ONE LAYER 24'-0" WIDE, 6-MIL, POLYVINYL VISQUEEN SHEET. PROVIDE FOR DRAINAGE. INSTALL 6" GRAVEL ON TOP OF VISQUEEN. INSULATE AT TOP OF FRAME AND SECURE WITH METAL CLIPS OR OTHER APPROVED METHOD. SEE FOUNDATION PLAN NOTES FOR REQUIRED FOUNDATION VENTS.
24. ATTIC AND ROOF MOISTURE SEAL: (IF HUMIDIFIER OR HOT TUB ROOM) NO ELECTRICAL THRU CEILING - VAPOR BARRIER BEHIND FINISH - EPOXY PAINT OVER DRYWALL- AIR SPACE OVER INSULATION - VENT AT SOFFIT AND RIDGE.
25. PROVIDE DRAFT STOPS DIVIDING CONCEALED SPACES INCLUDING OVERHANG SOFFITS TO LESS THAN 1000 SQUARE FEET OR 60 FEET HORIZONTAL DIMENSION.
26. PROVIDE AND INSTALL 3" CORRUGATED PERFORATED POLYETHYLENE PIPING FOR RADON VENTING SYSTEM. SEE A2.0 FOR ROUTING, STUB UP AND CAP IN LOCATION AS APPROVED.
27. PROVIDE AND INSTALL SPRAY-ON FIREPROOFING WITH 15 MINUTE RATING, OR APPROVED ALTERNATIVE, WHERE INTERIOR FACES OF RIGID FOUNDATION INSULATION ARE EXPOSED IN CRAWL SPACE.
28. PROVIDE AND INSTALL SPRAY-ON FIREPROOFING WITH 15 MINUTE RATING, OR APPROVED ALTERNATIVE, WHERE INTERIOR FACES OF SPRAYED-ON INSULATION ARE EXPOSED IN OPEN ATTICS, UNFINISHED AREAS, AND OTHER LOCATIONS.

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

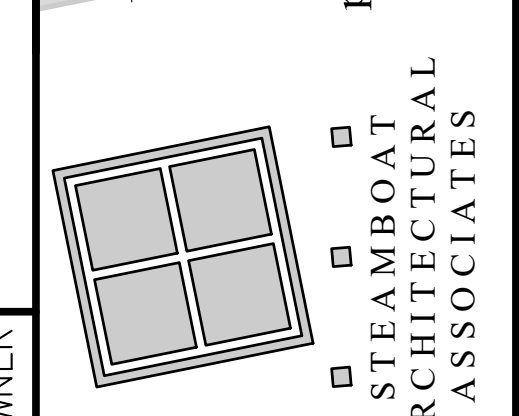
© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.
11/13/2020

SECTIONS
SECTION NOTES

STATE OF COLORADO
WILLIAM JOSEPH RANGITSCH
P 19986
LICENSED ARCHITECT

William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

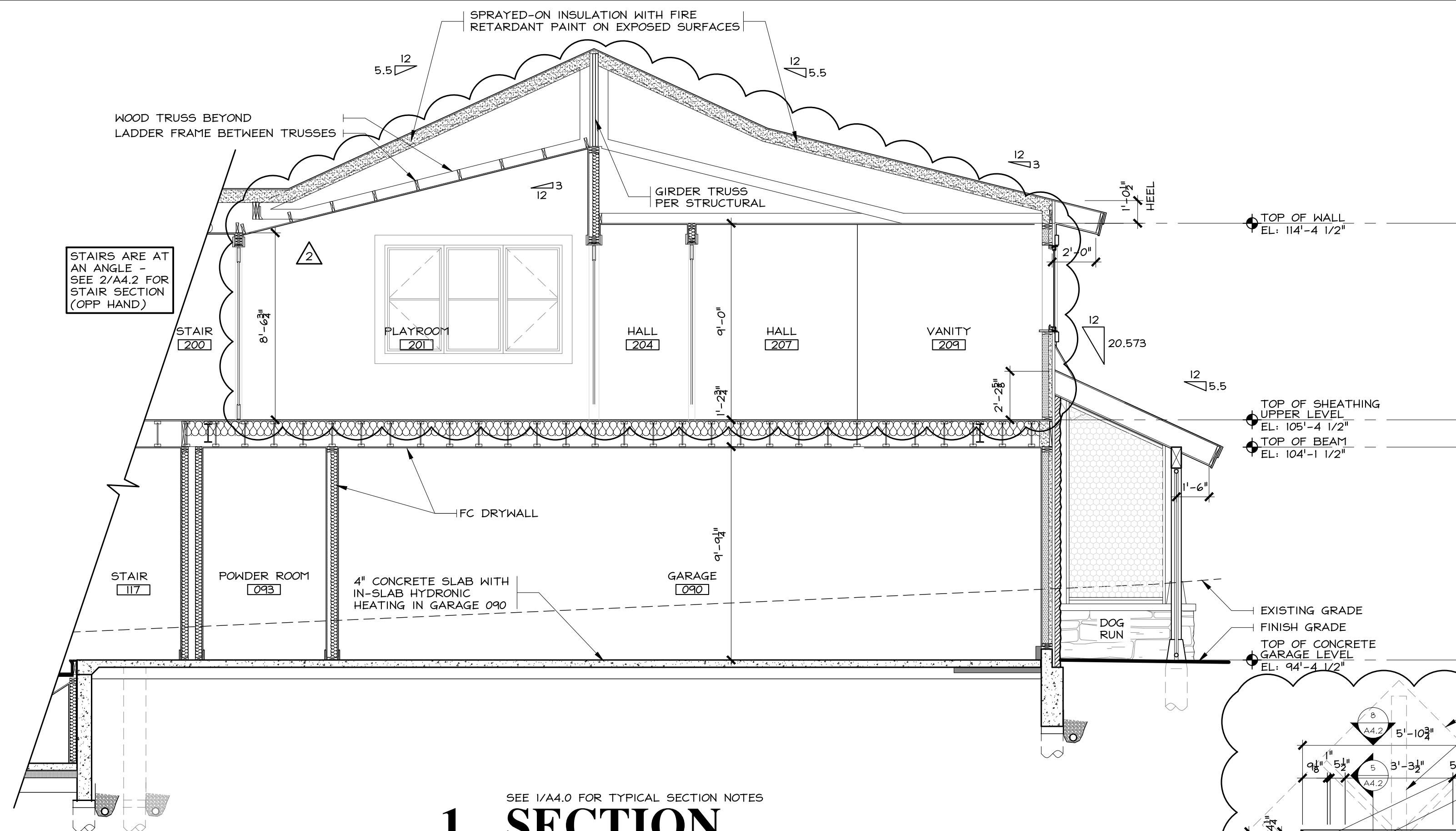
A4.1

15-22

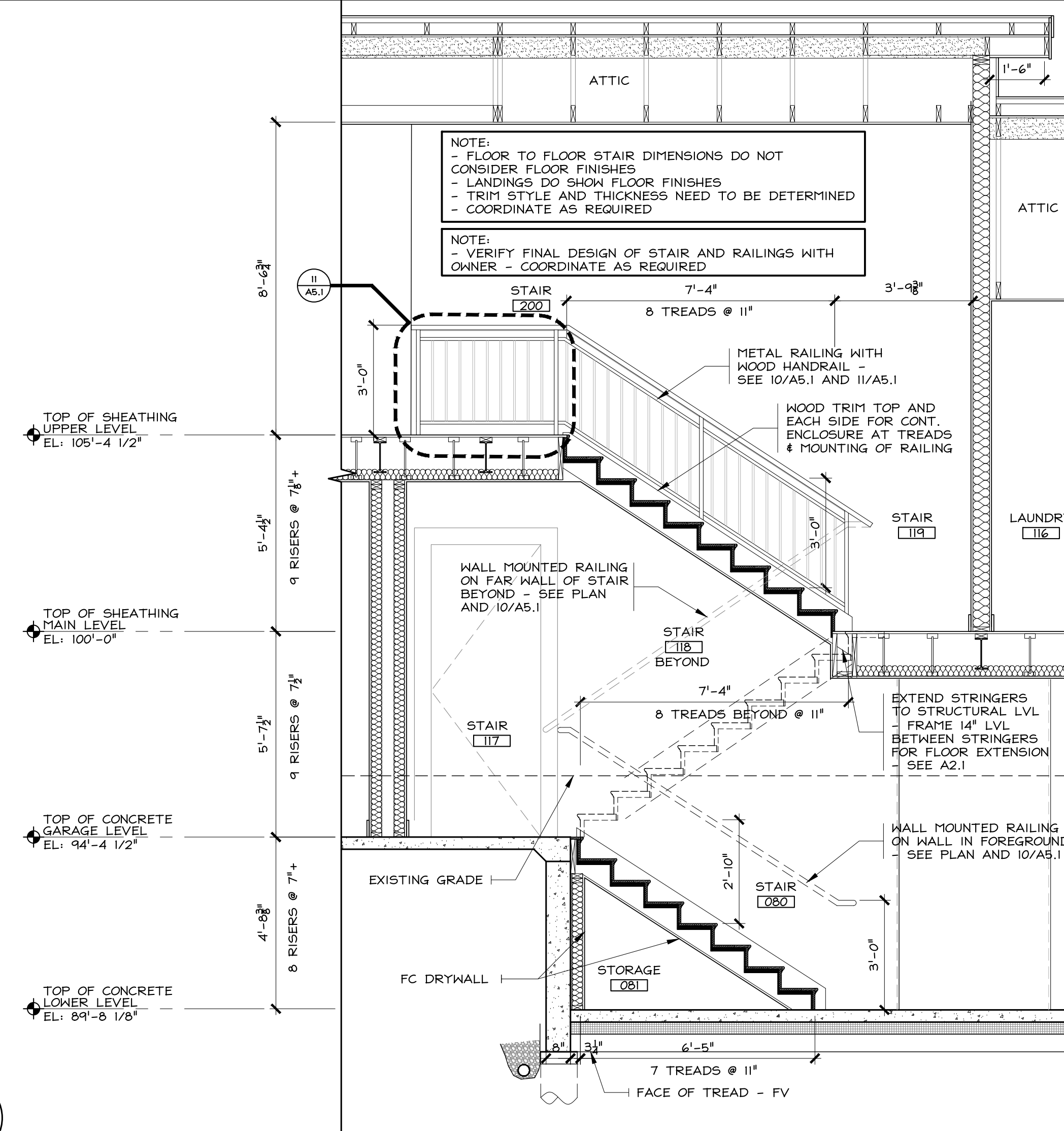
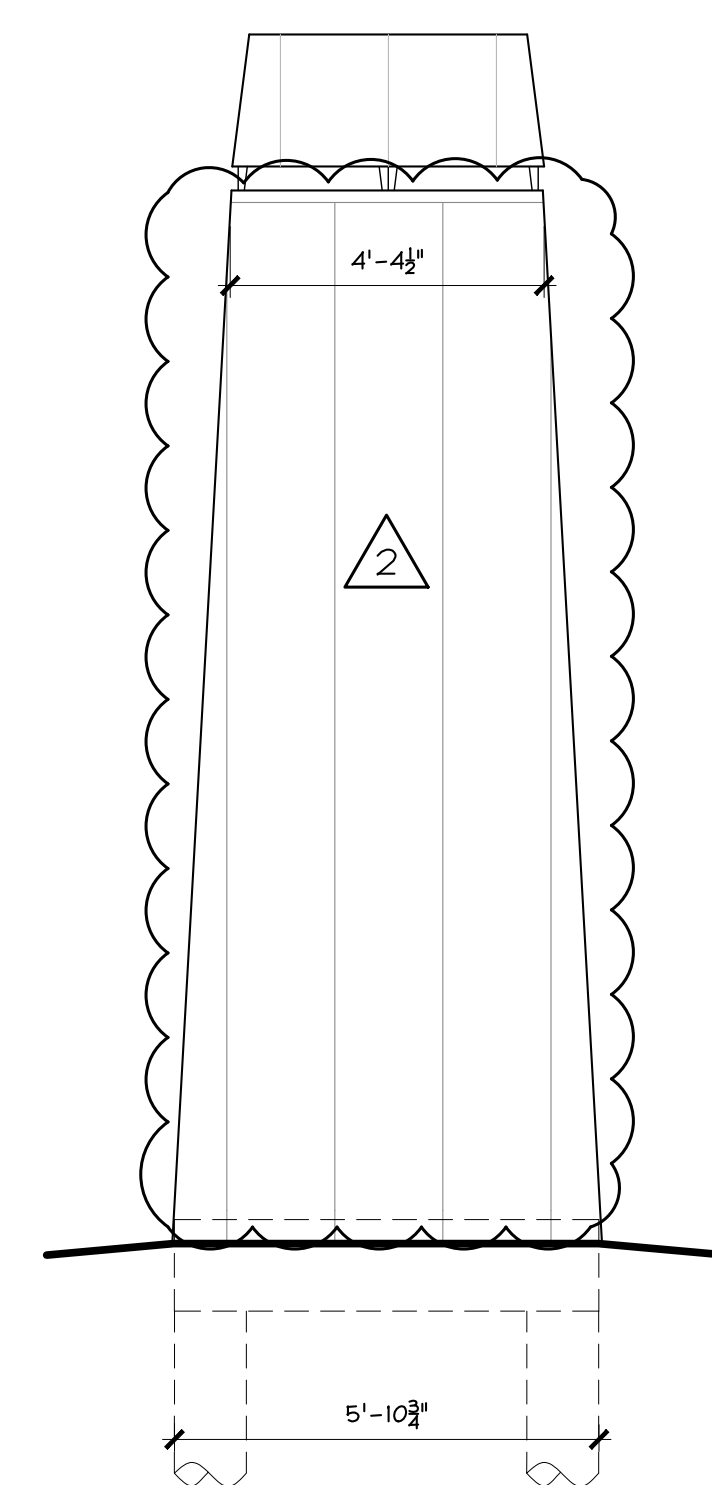
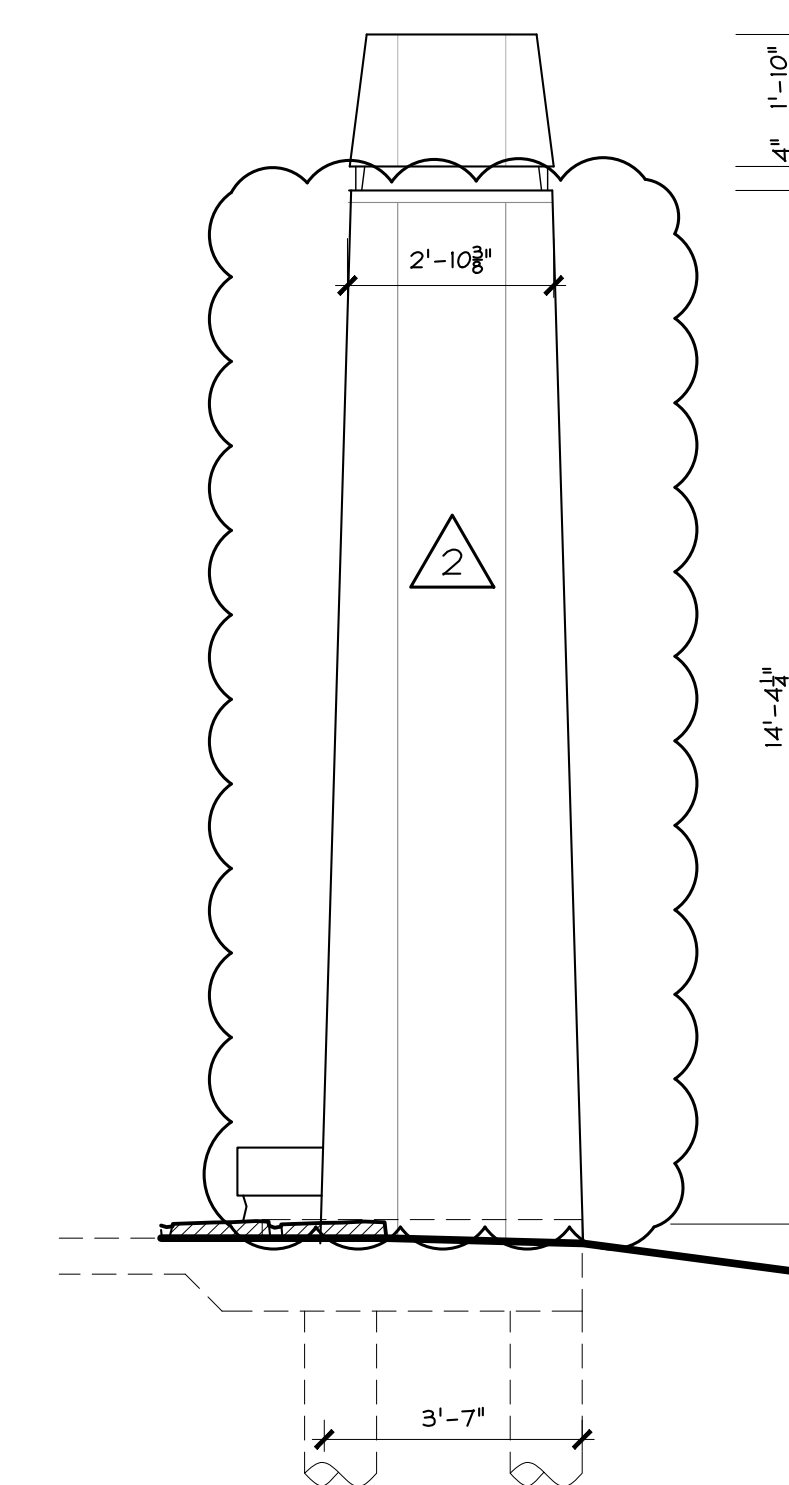
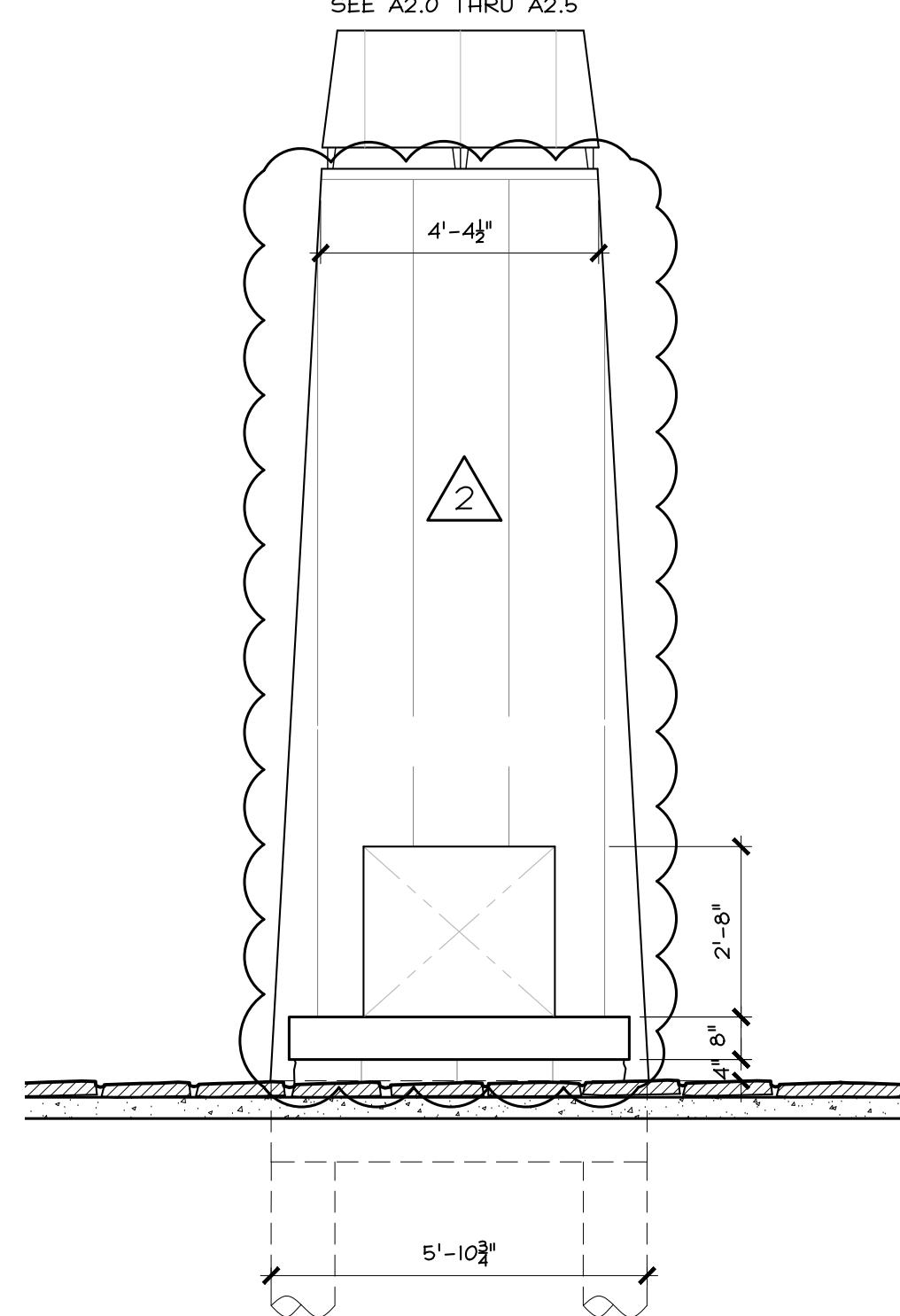
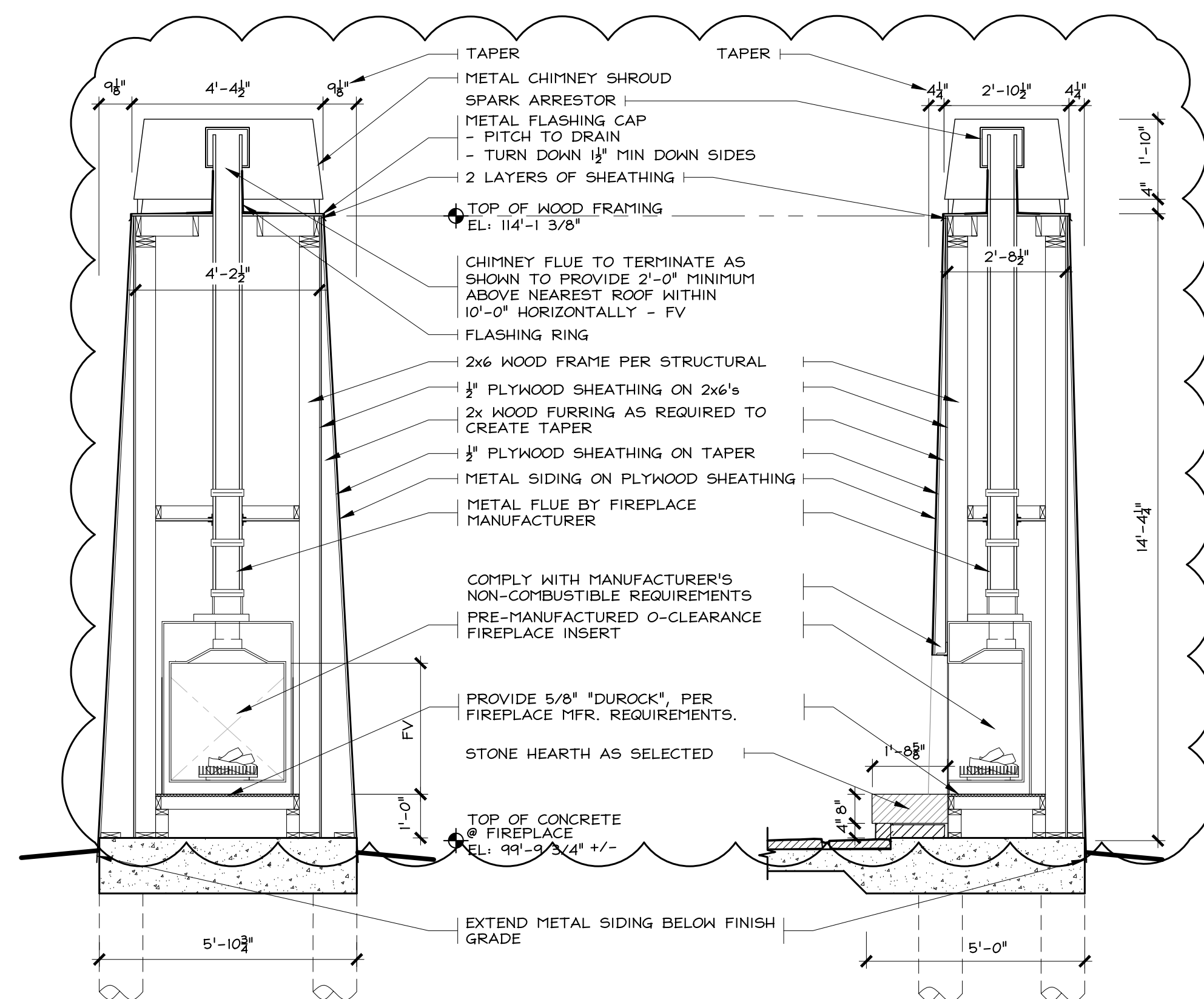
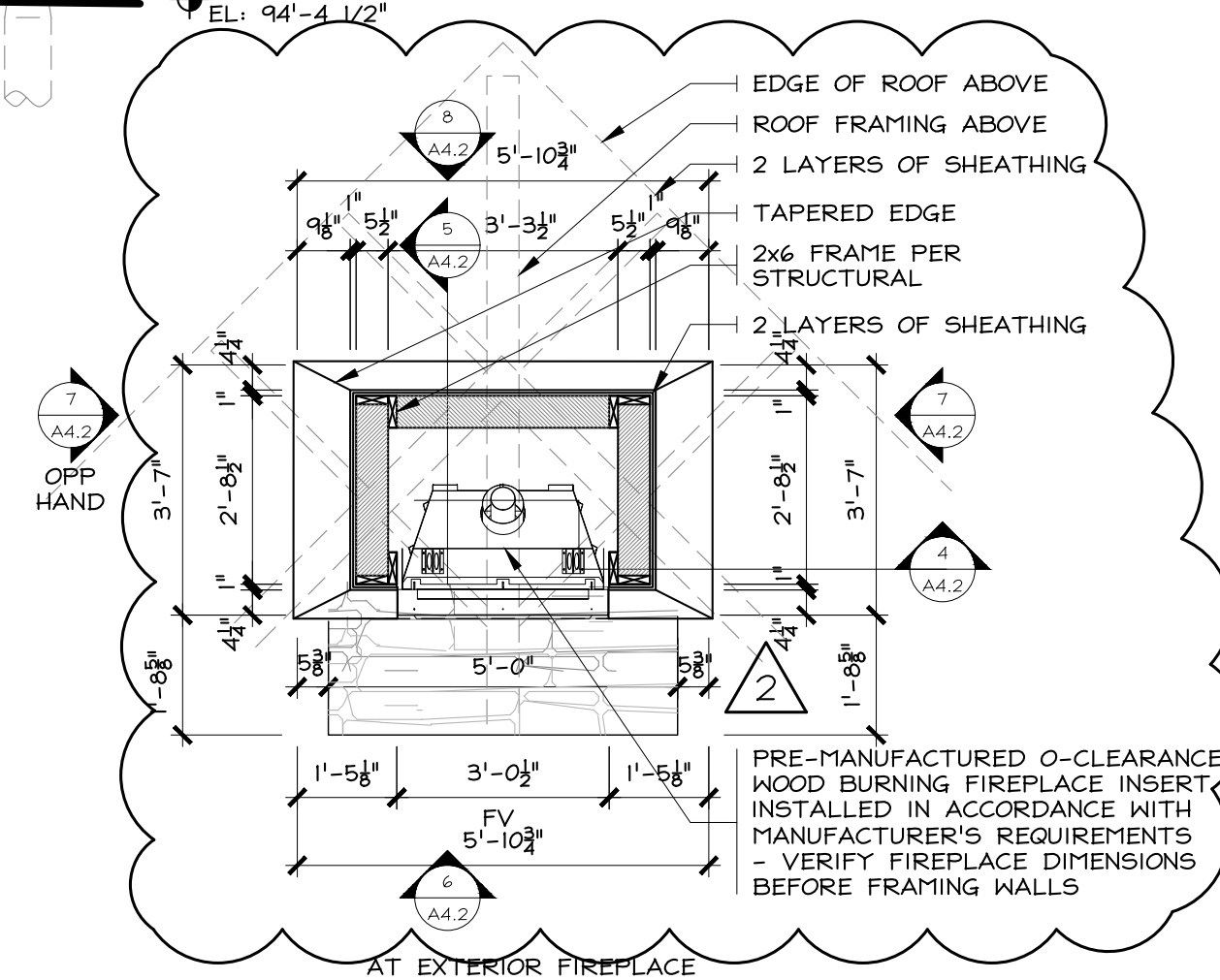
REVISIONS 1 & 2 - CHANGES FOR RCRBD AND OWNER

12 OCT 20

26 OCT 18



1 SECTION



RCRBD Record Set
T.A.

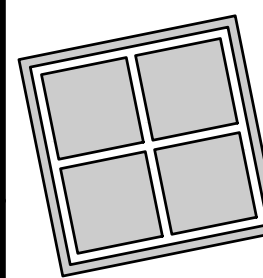
11/13/2020

SECTIONS



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



A Single-Family Residence for David & Jane Blandford

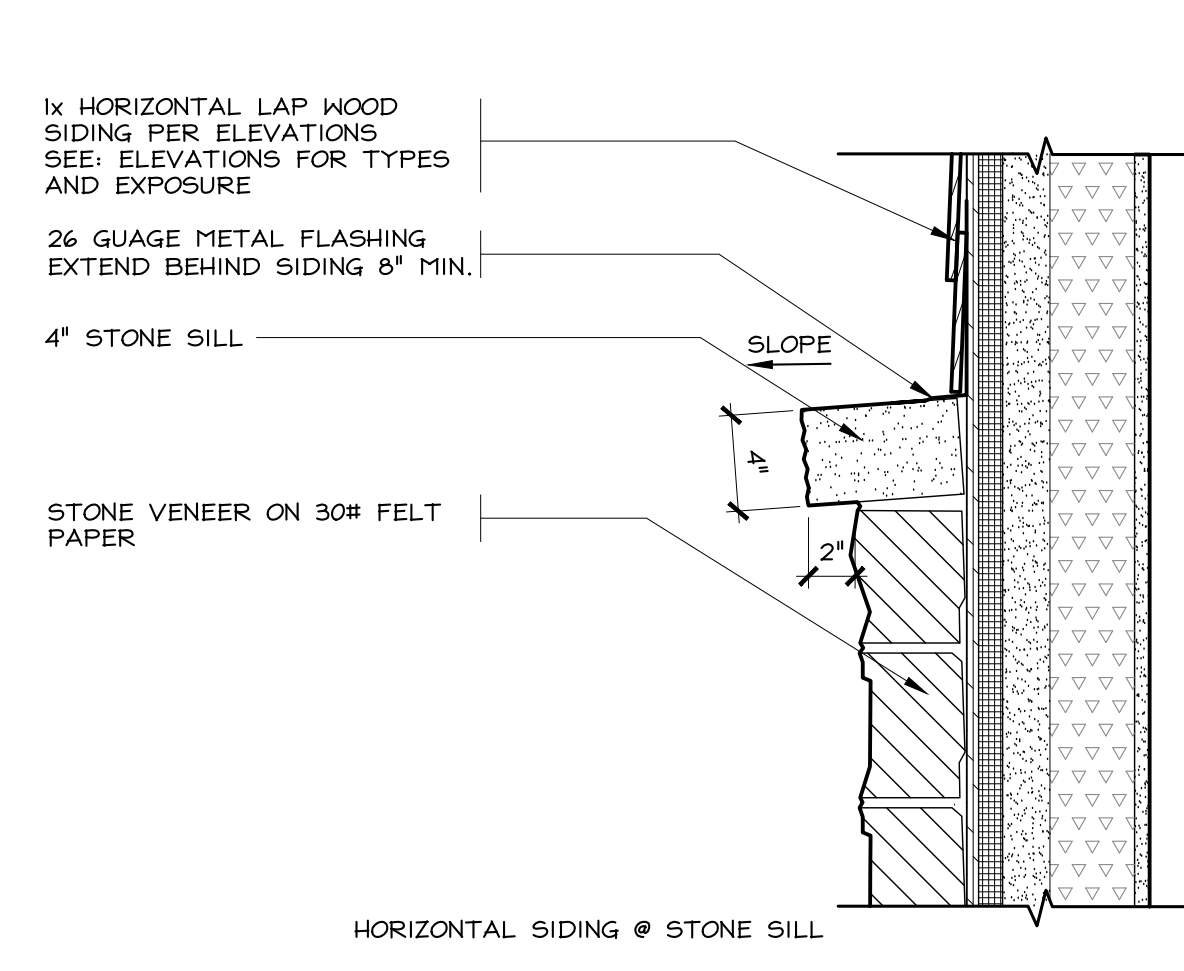
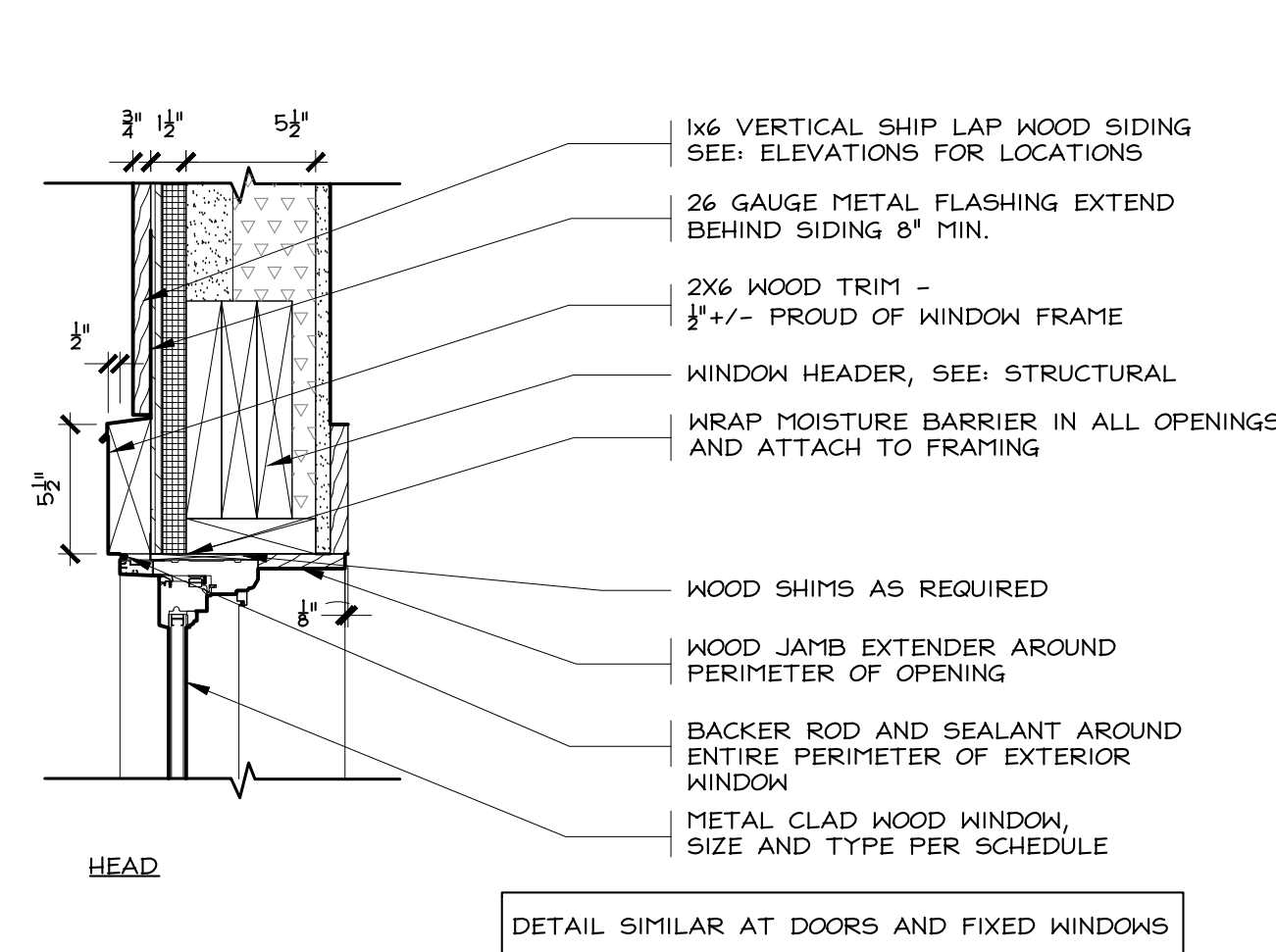
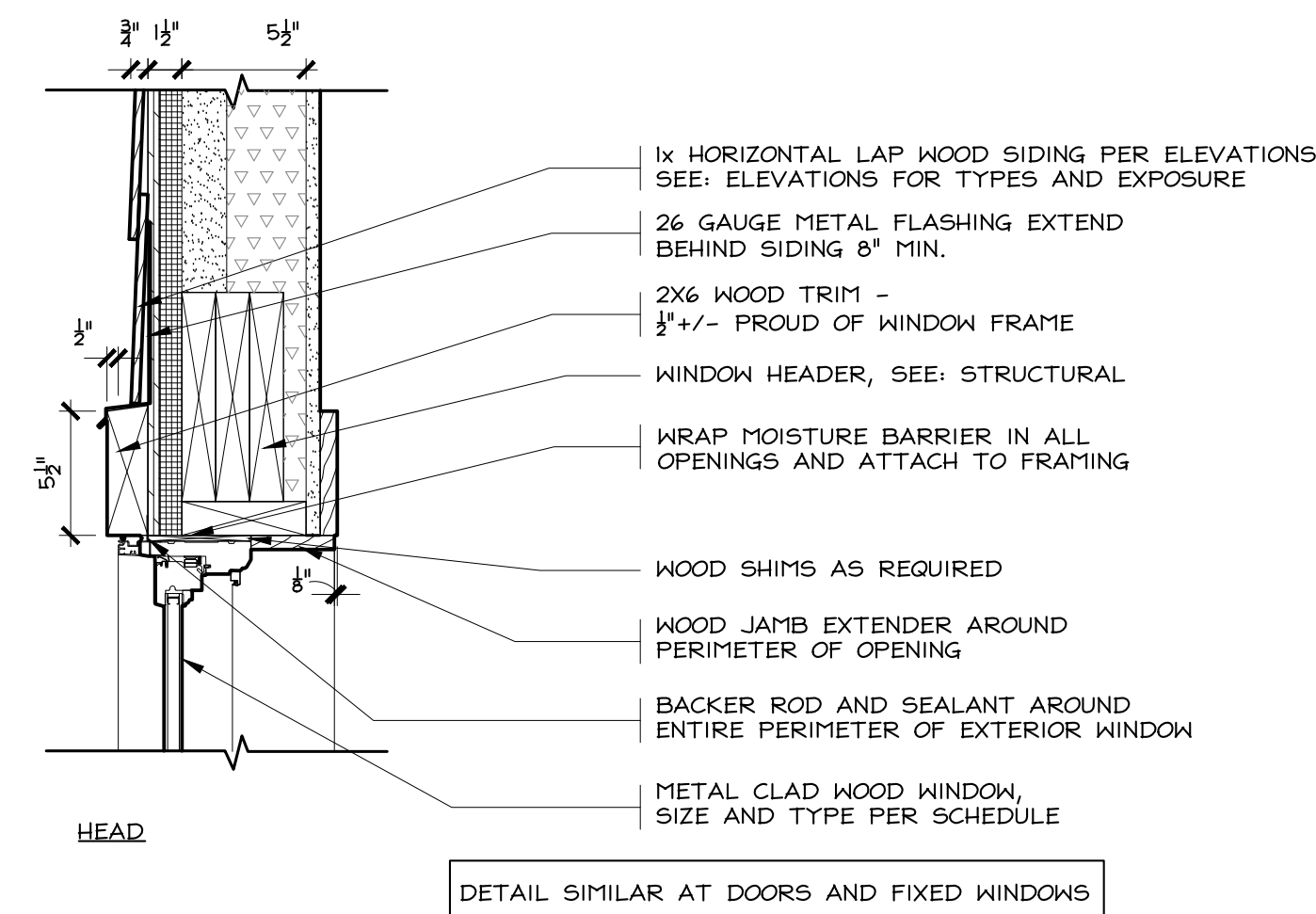
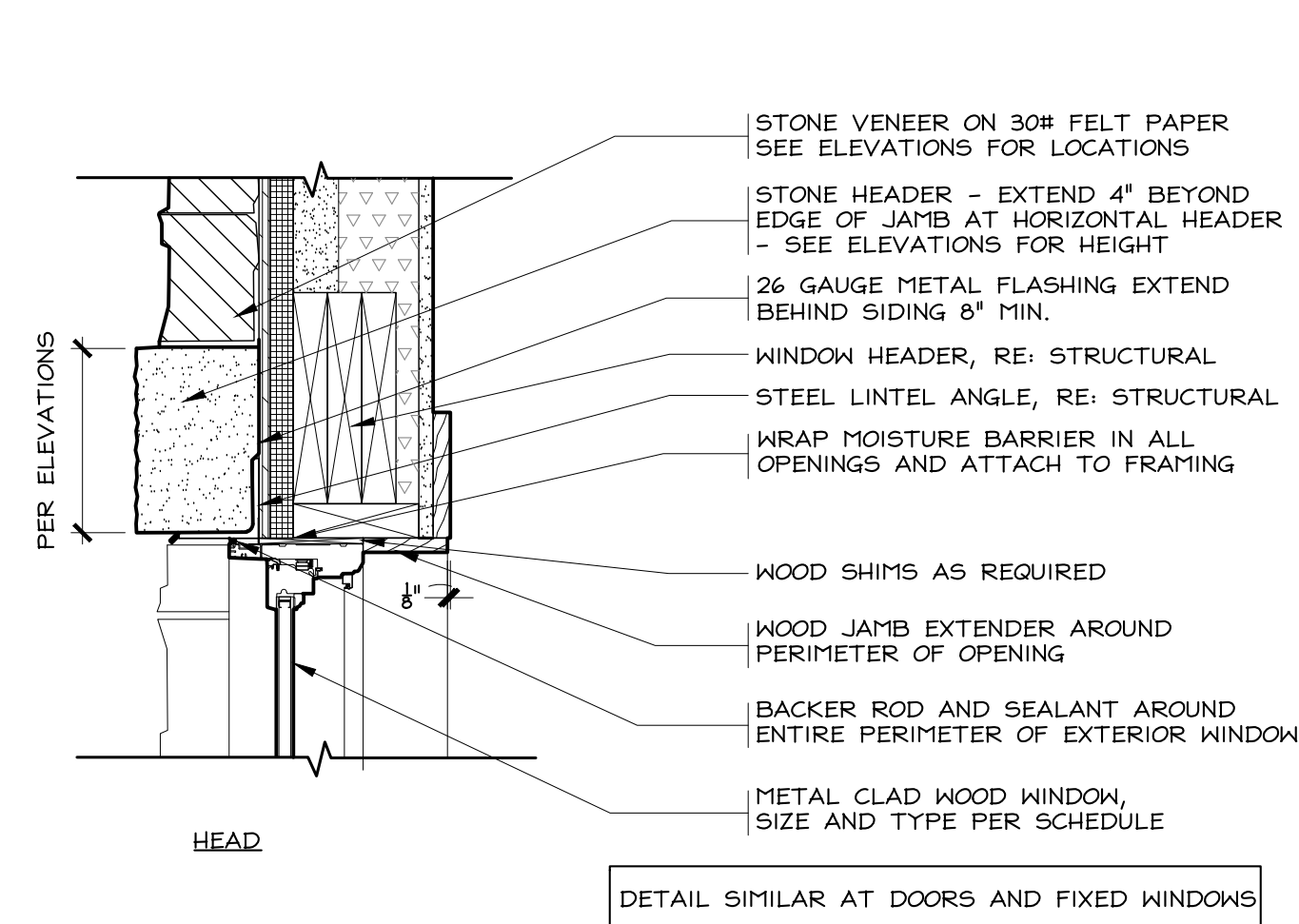
**Lot B8, Marabou
Routt County, Colorado**

A4.2

15-22

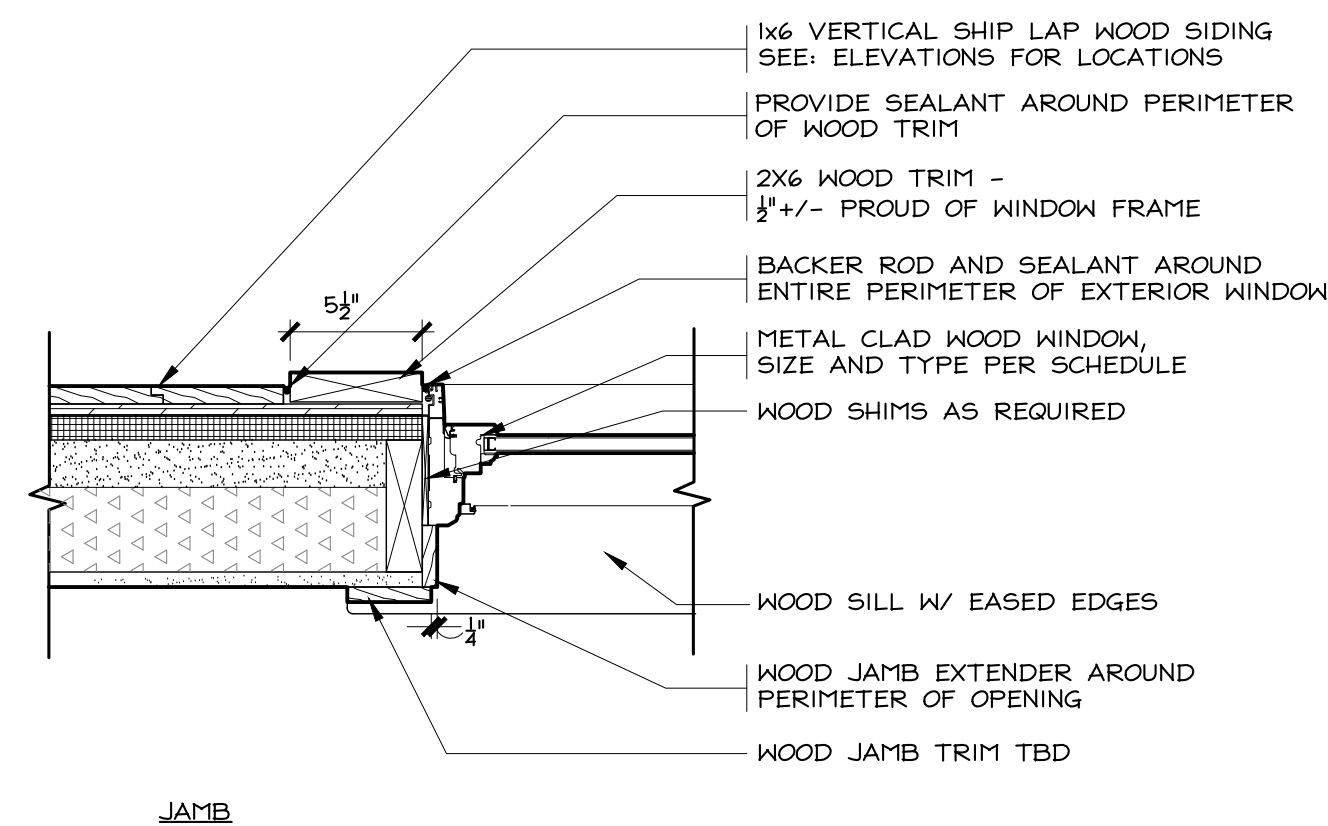
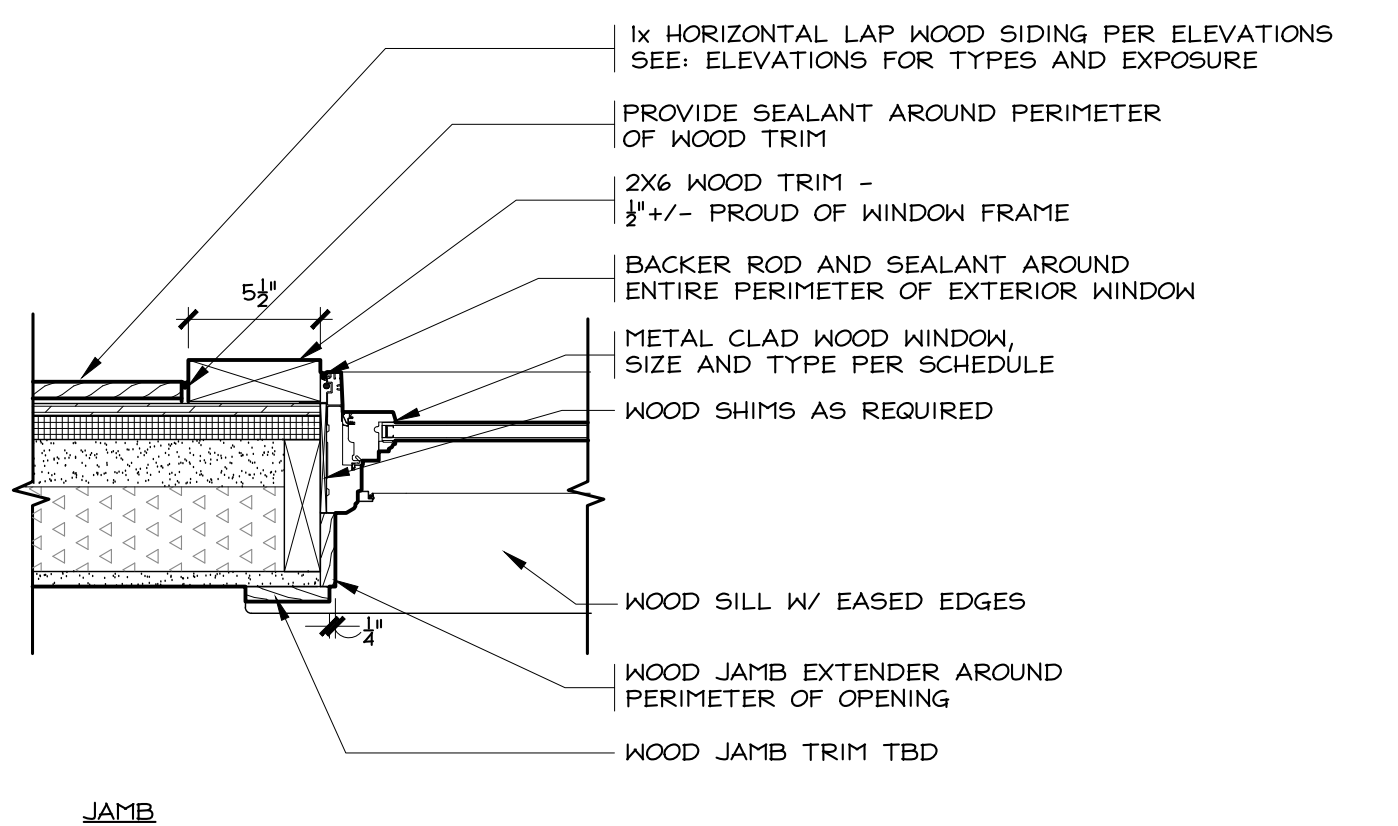
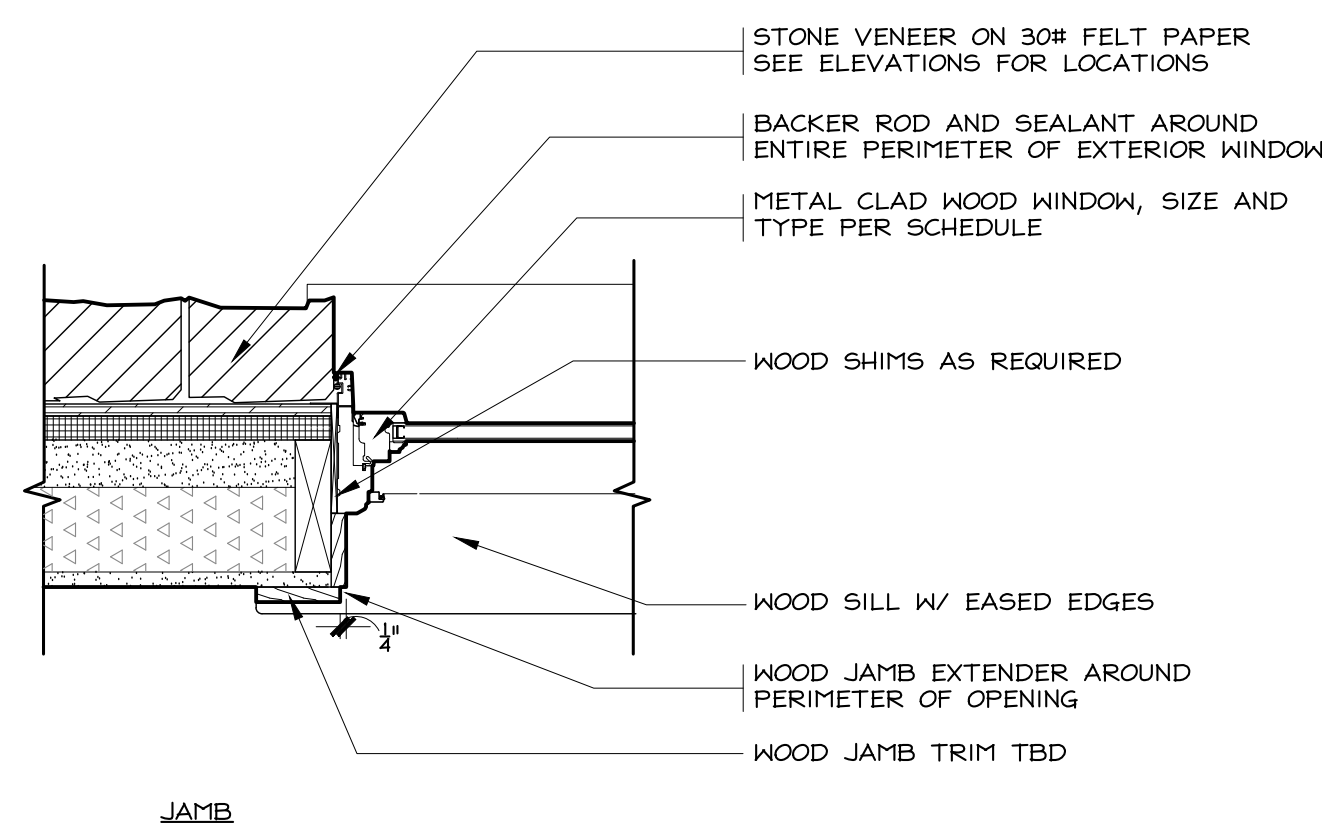
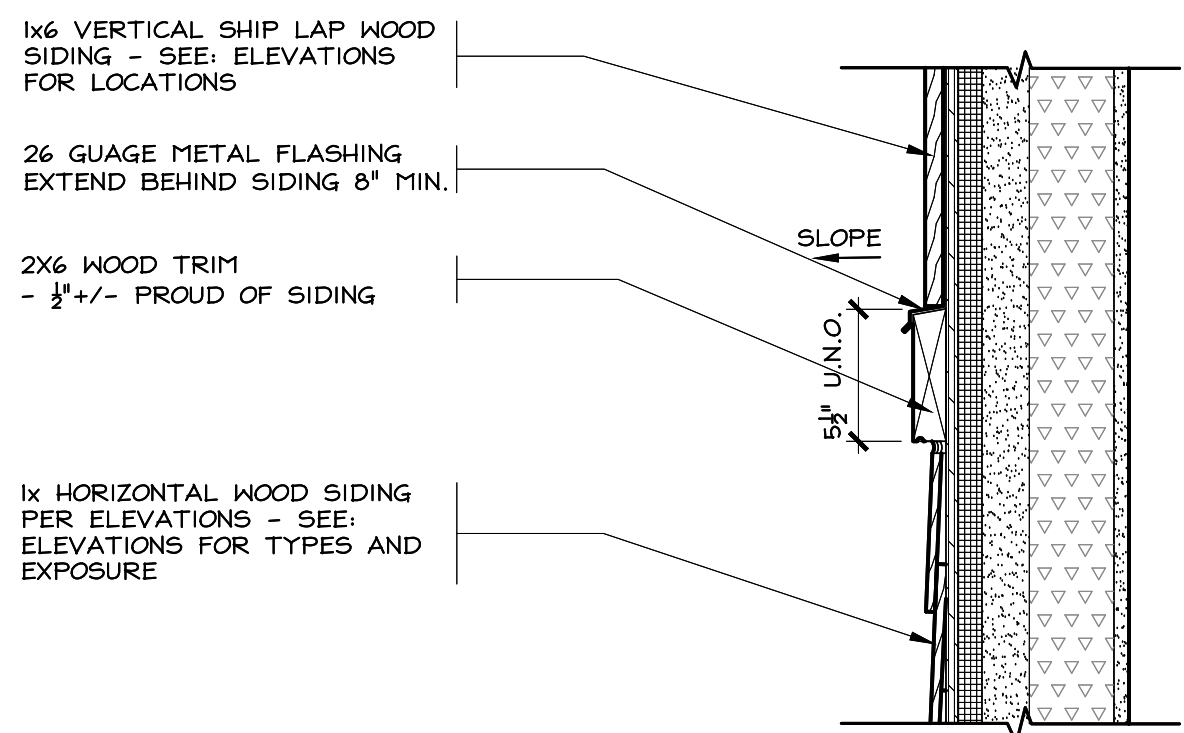
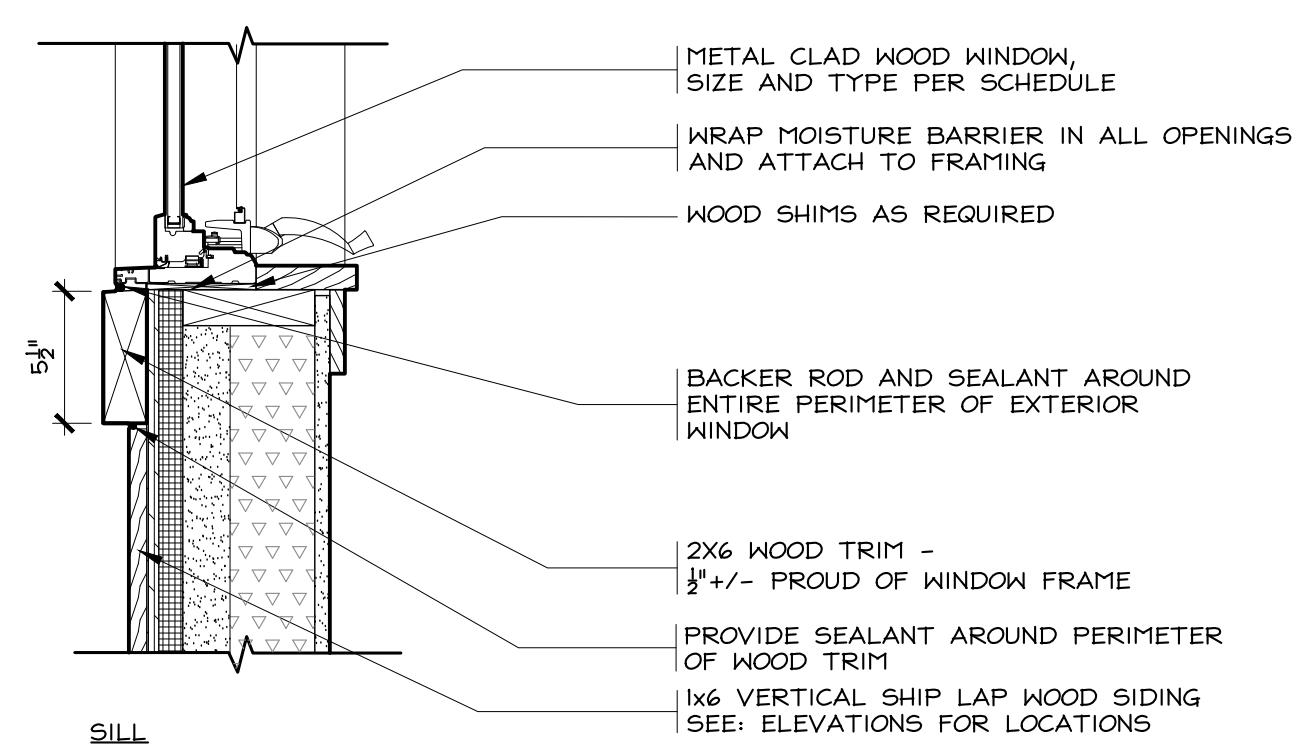
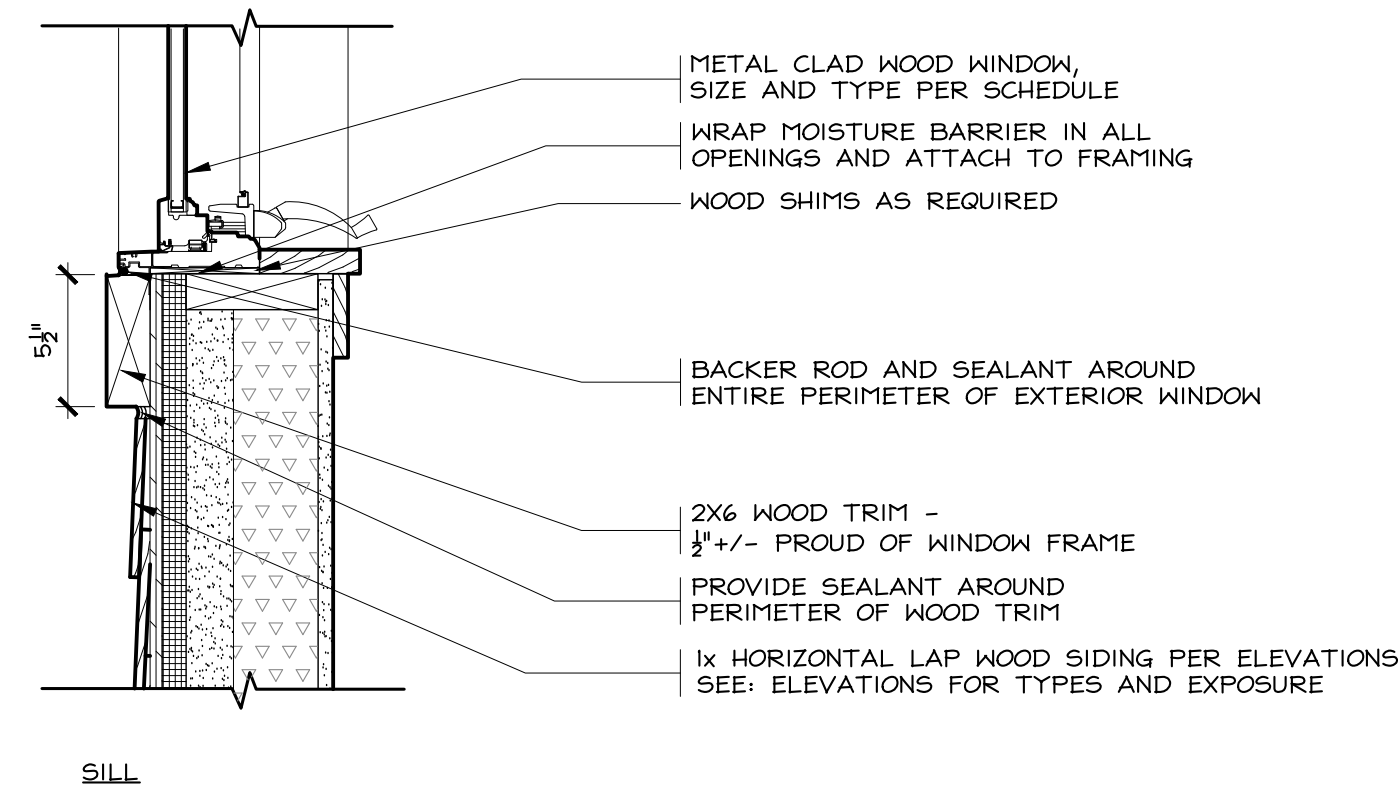
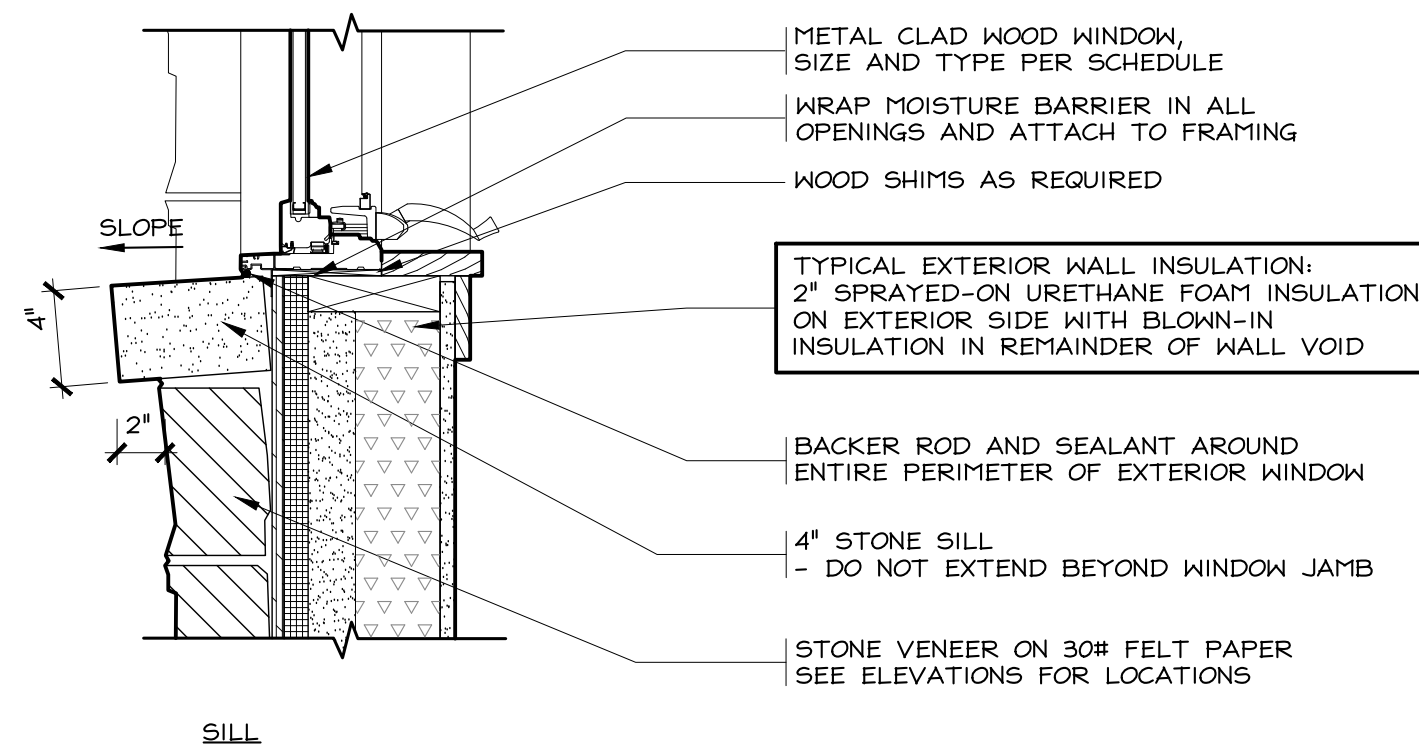
REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

26 OCT 18



4 DETAIL

1 1/2" = 1'-0"
SEE 1/A3.0



5 DETAIL

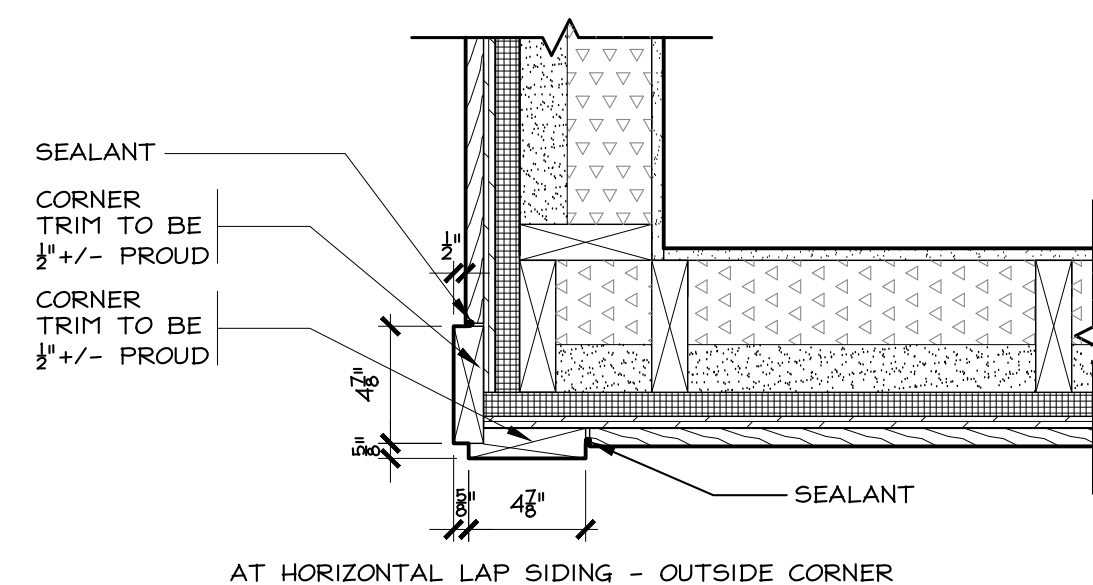
1 1/2" = 1'-0"
SEE 3/A3.1

NOTES:
TYPICAL EXTERIOR WALL INSULATION:
2" SPRAYED-ON URETHANE FOAM INSULATION
ON EXTERIOR SIDE OF WALL VOID,
WITH BLOWN-IN INSULATION IN REMAINDER OF
WALL VOID

NOTES:
1. VERIFY FINAL DESIGN OF INTERIOR TRIM WITH OWNER. INTERIOR TRIM SHOWN IS FOR DISCUSSION ONLY.
2. VERIFY ACTUAL THICKNESS OF STONE VENEER AND SIDING MATERIALS - ADJUST THICKNESS OF TRIM AND OTHER RELATED MATERIALS ACCORDINGLY.
- COORDINATE AS REQUIRED

1 DETAIL

1 1/2" = 1'-0"
SEE 1/A3.2

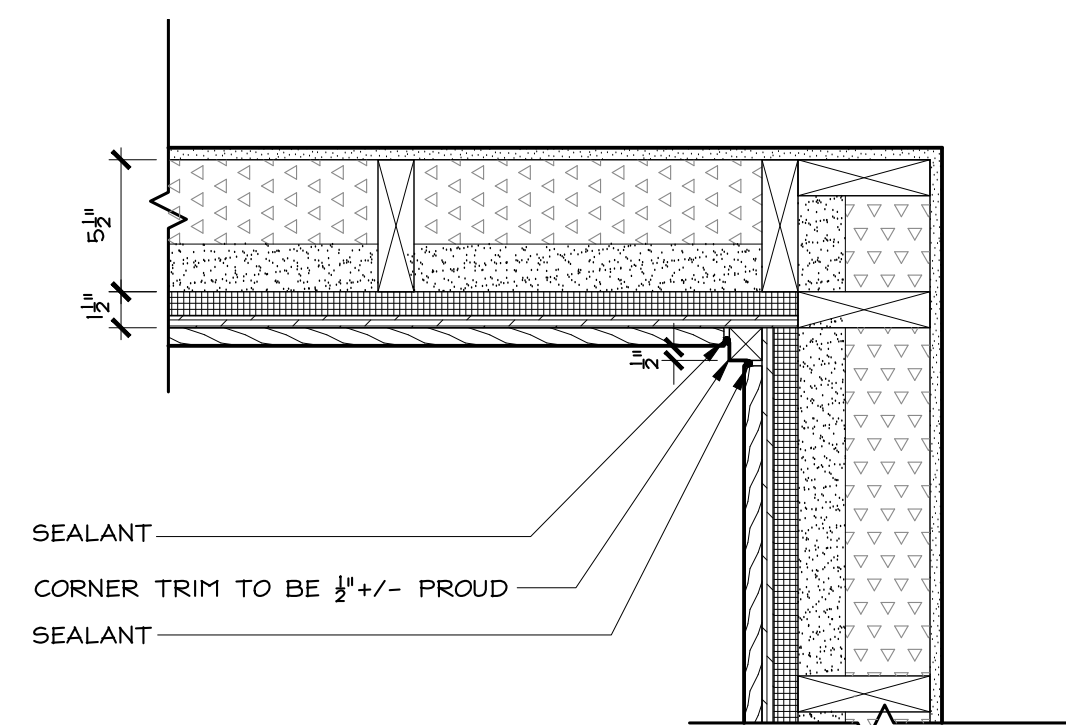


6 DETAIL

1 1/2" = 1'-0"
SEE 1/A3.0

2 DETAIL

1 1/2" = 1'-0"
SEE 1/43.0

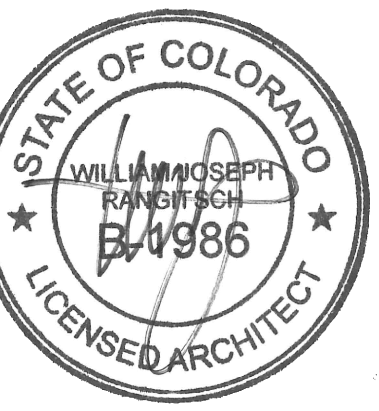


7 DETAIL

1 1/2" = 1'-0"
SEE 1/A3.0

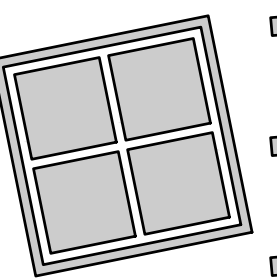
3 DETAIL

1 1/2" = 1'-0"
SEE 2/A3.0



William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for David & Jane Blandford

**Lot B8, Marabou
Routt County, Colorado**

A5.0

15-22

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set
T.A.

11/13/2020

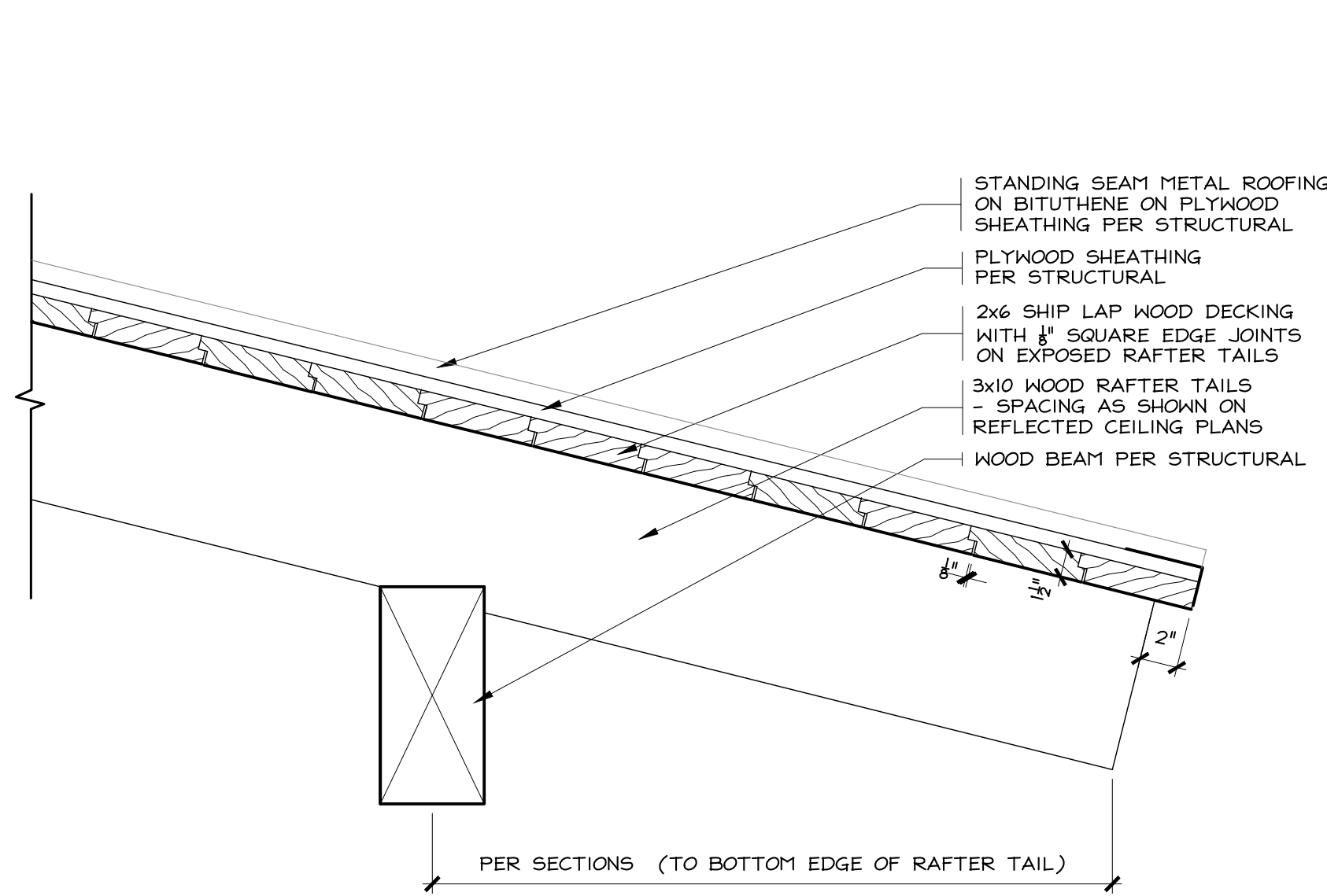
26 OCT 18

15-22

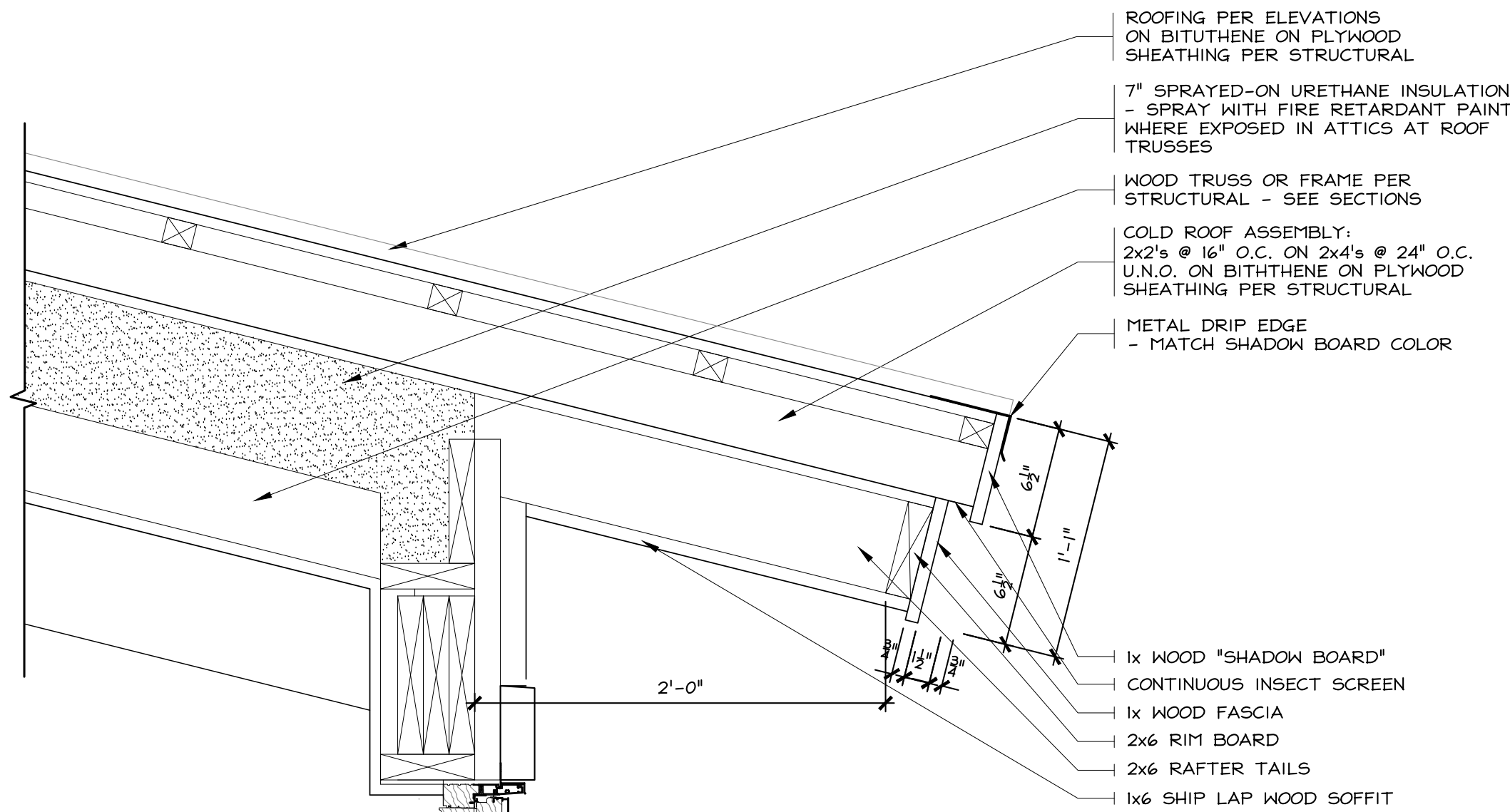
A5.0 DETAILS

C:\Users\Paulang\3.000\Documents\SMA Projects\A-L\Blondford\01-Drawings\01-Current\Blondf A5.0

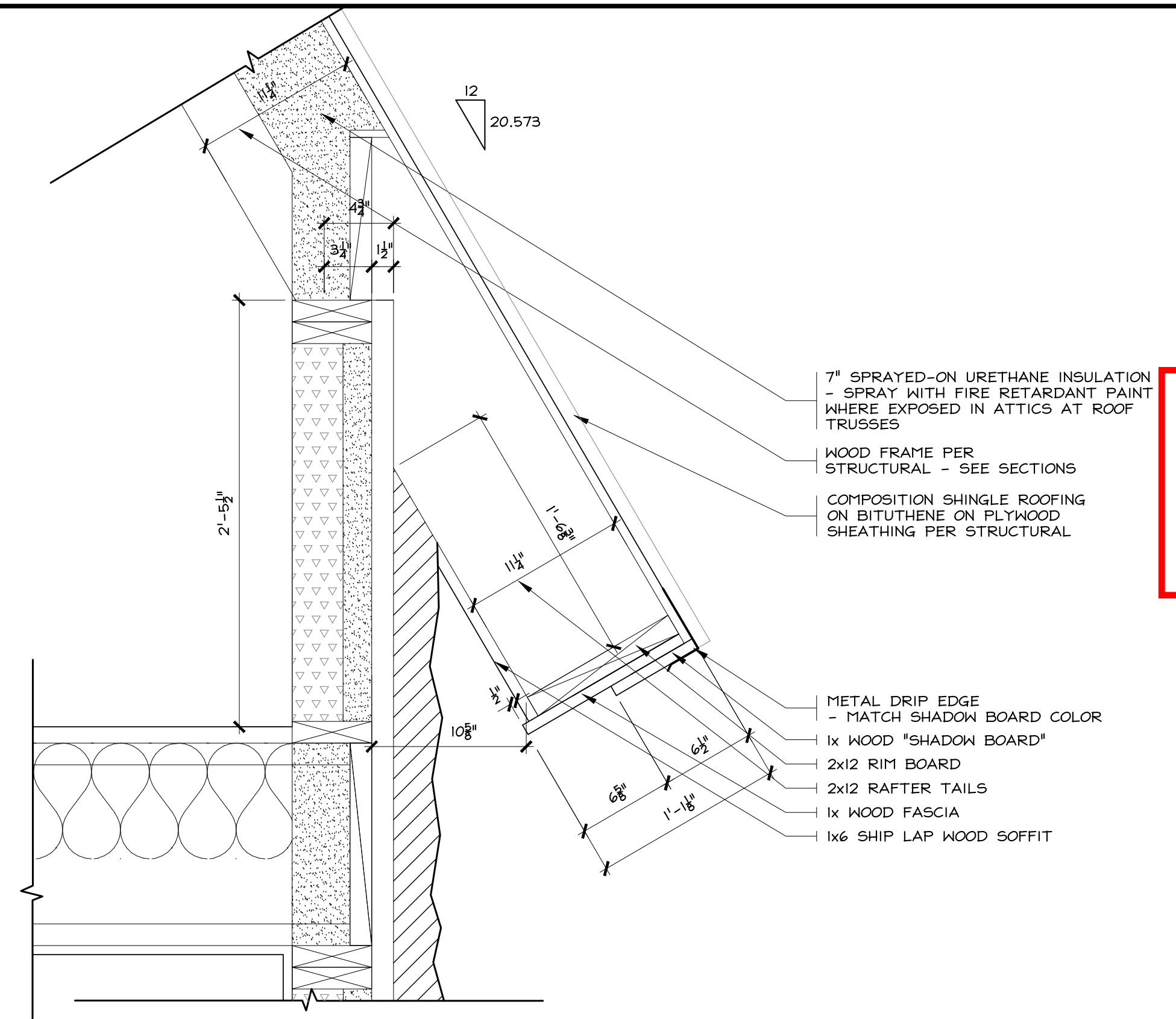
12/12/2020 12:21 PM



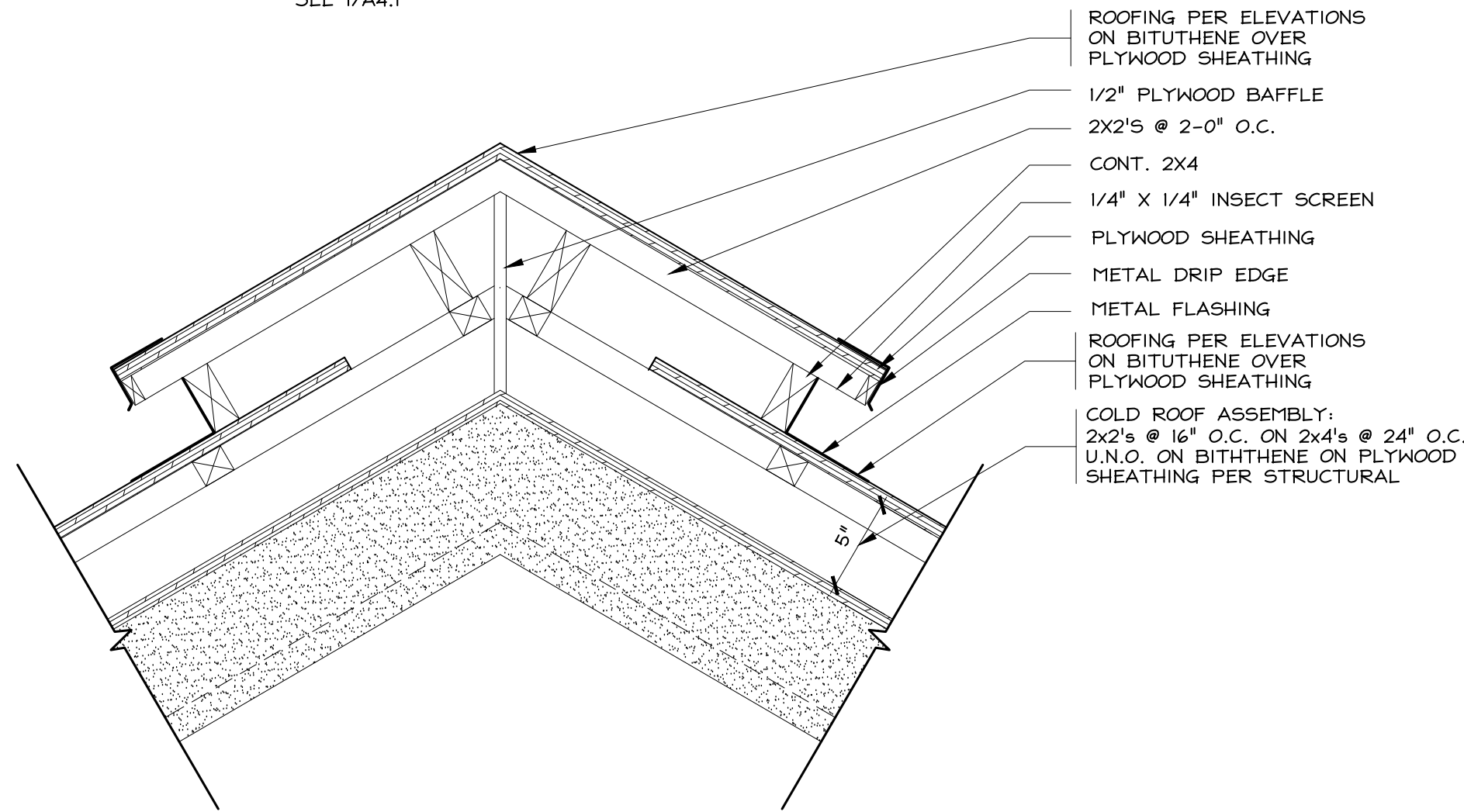
1
DETAIL
1 1/2" = 1'-0"
SEE 1/A4.1



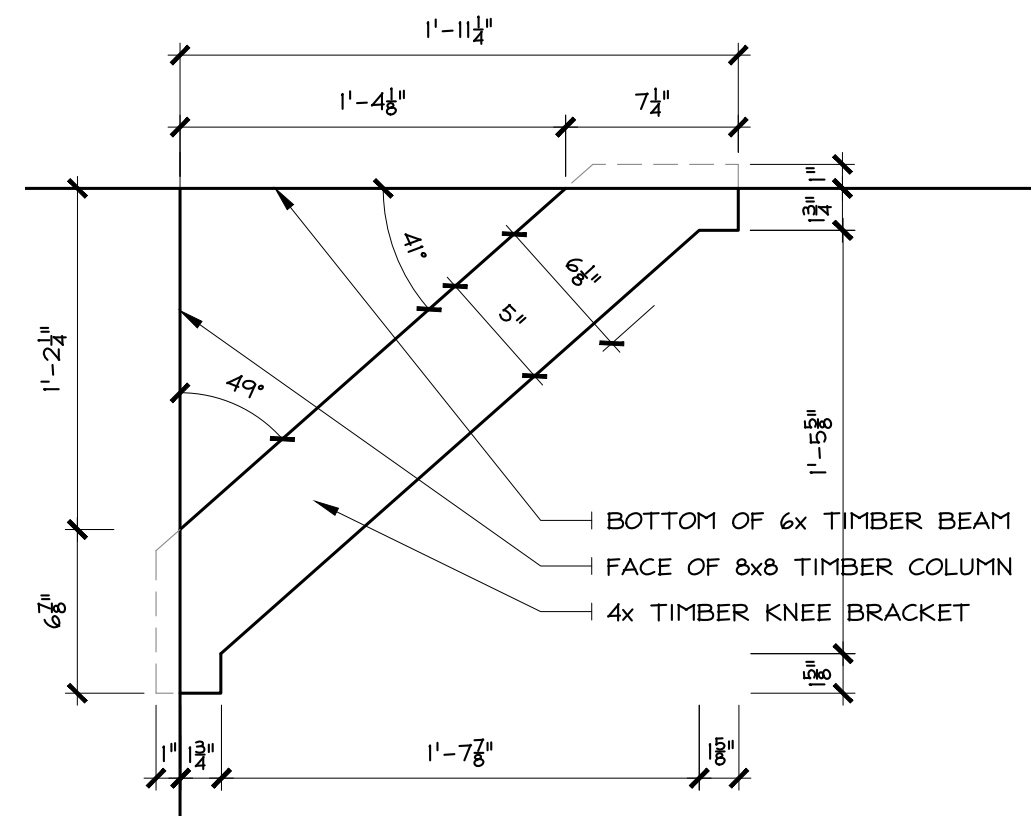
2
DETAIL
1 1/2" = 1'-0"
SEE 1/A4.1



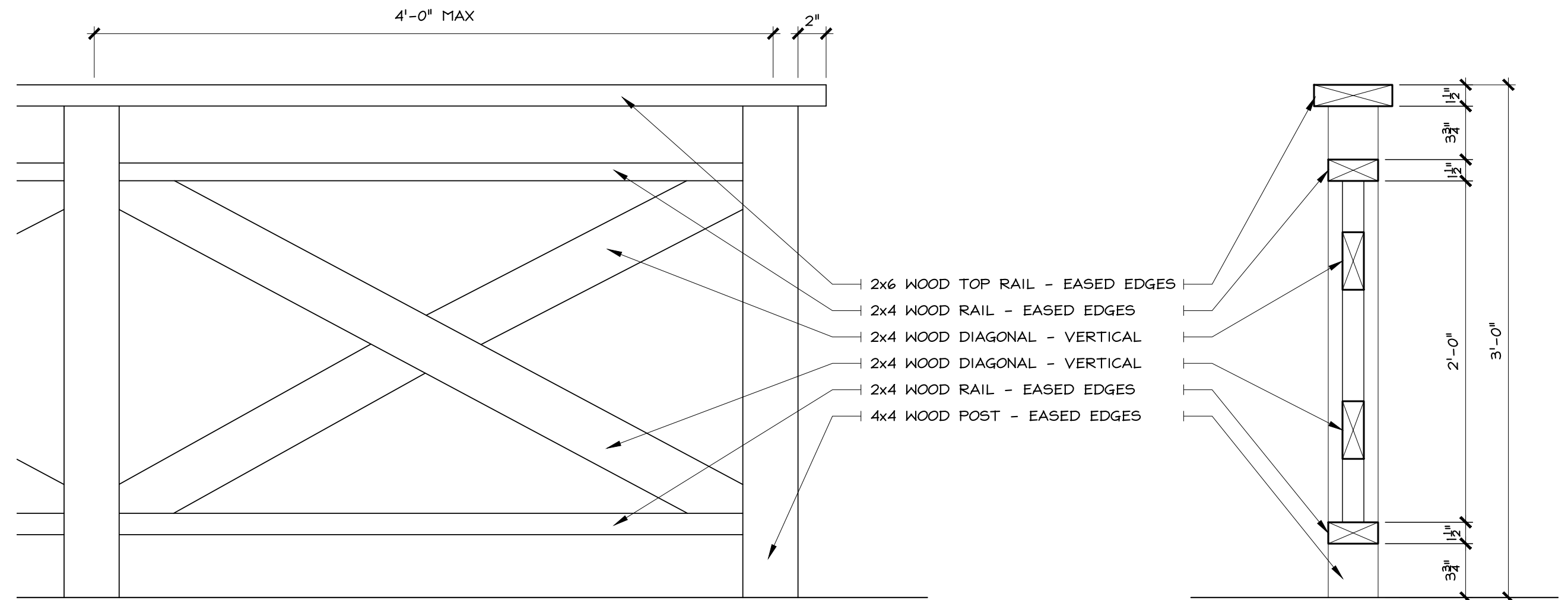
3
DETAIL
1 1/2" = 1'-0"
SEE 2/A4.1



4
DETAIL
1 1/2" = 1'-0"
SEE 1/A4.1

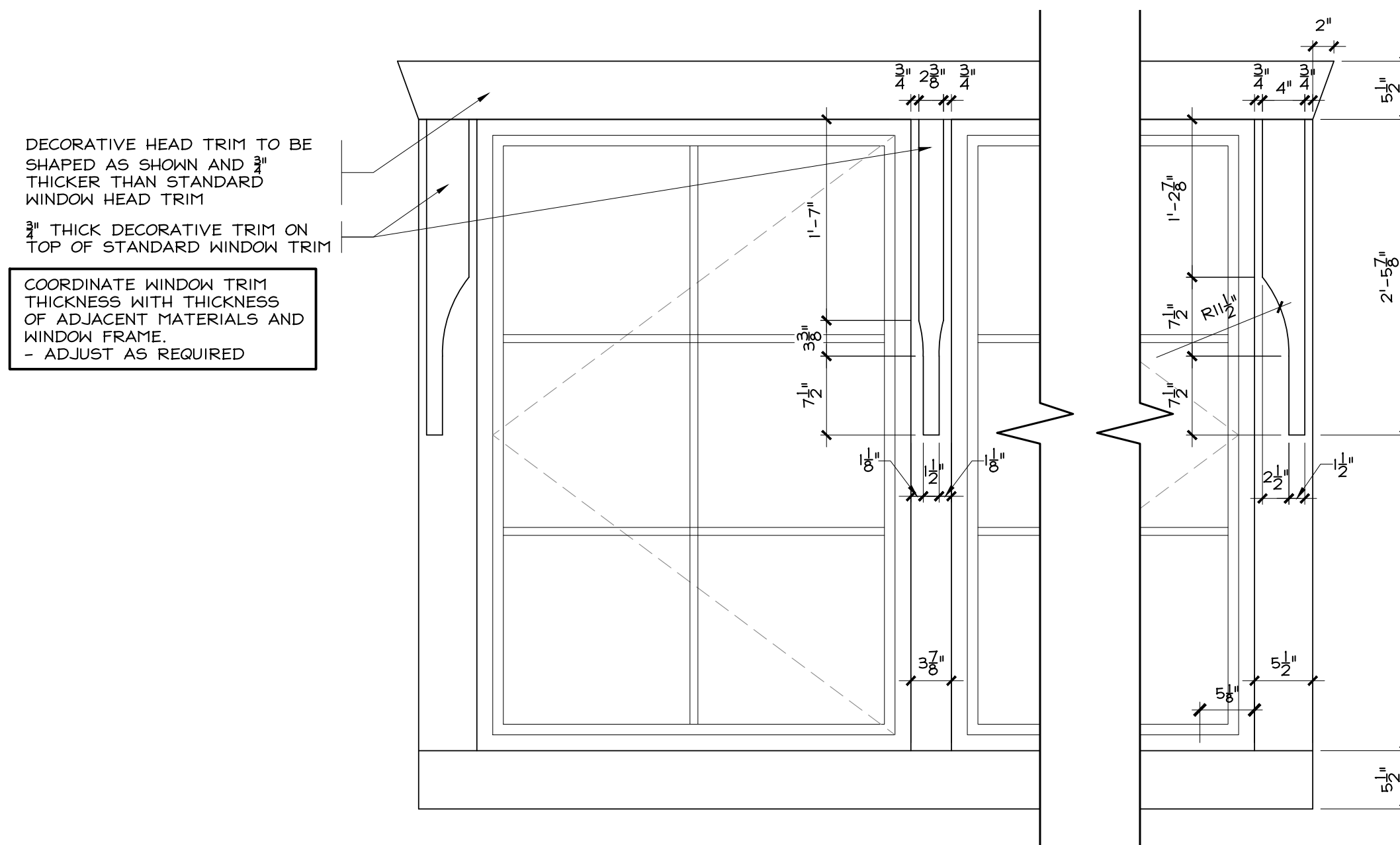


5
DETAIL
1 1/2" = 1'-0"
SEE 1/A4.1

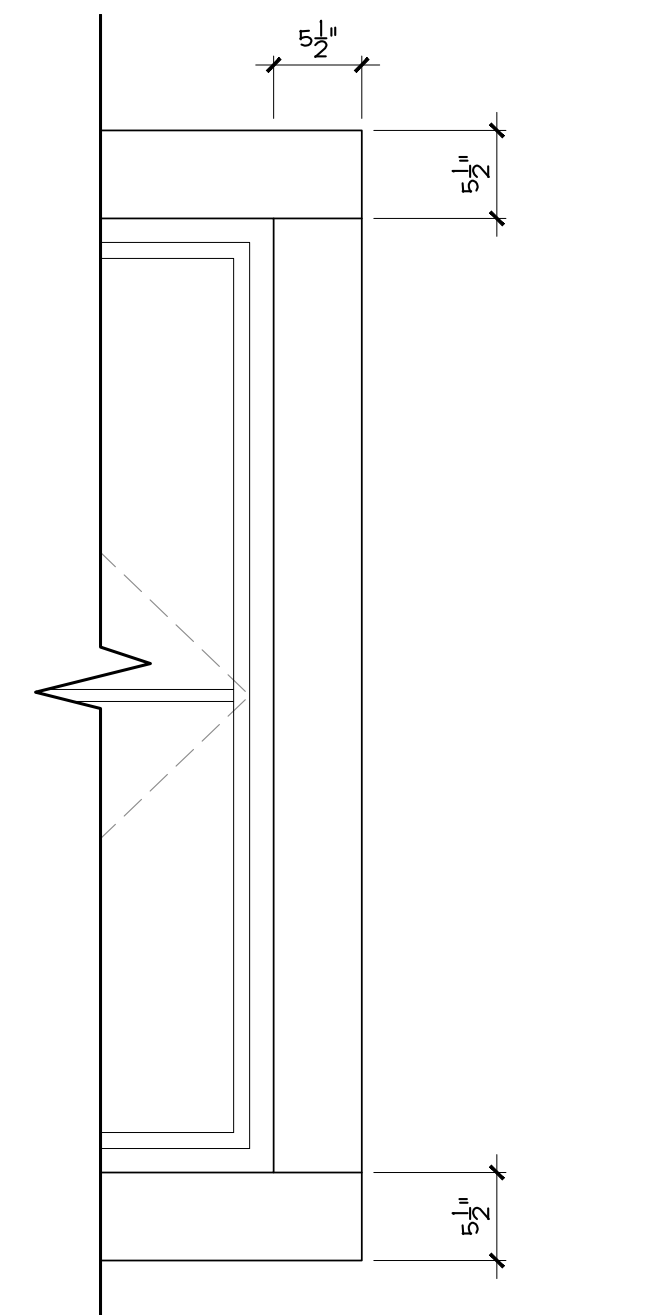


6
DETAIL
1 1/2" = 1'-0"
SEE 1/A3.0

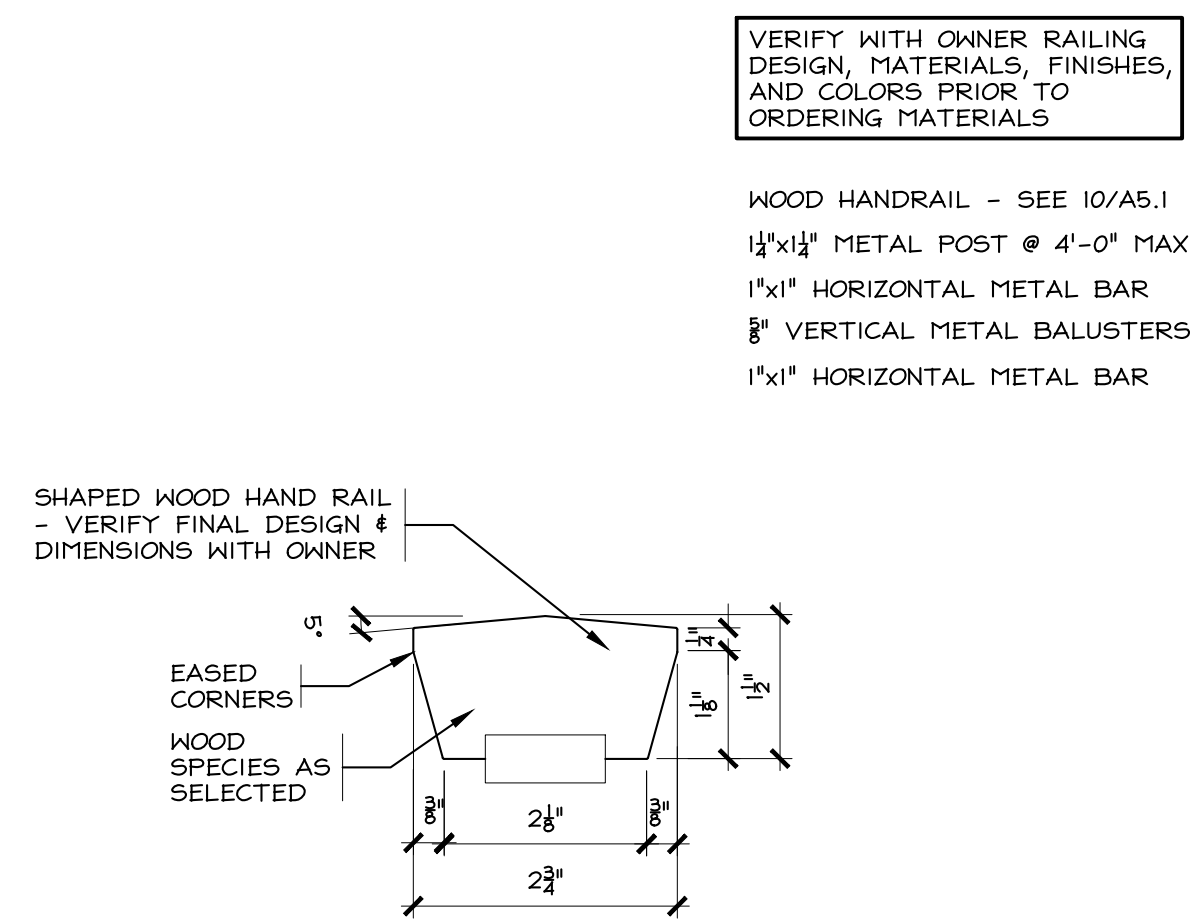
7
DETAIL
1 1/2" = 1'-0"
SEE 1/A3.0, 6/A5.1



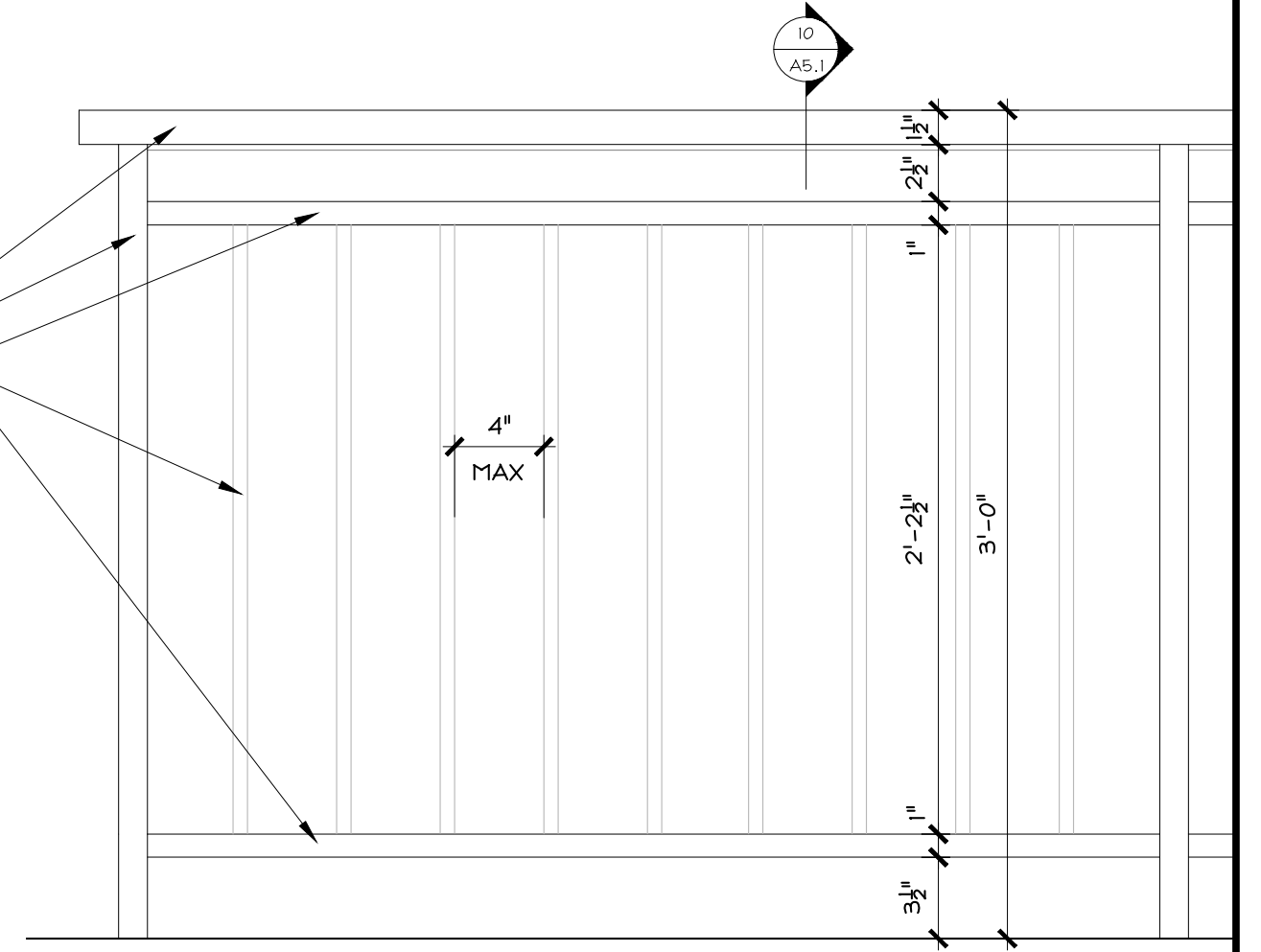
8
DETAIL
1" = 1'-0"
SEE 1/A3.0



9
DETAIL
1" = 1'-0"
SEE 1/A3.2



10
DETAIL
6" = 1'-0"
SEE 2/A4.2



11
DETAIL
6" = 1'-0"
SEE 2/A4.2

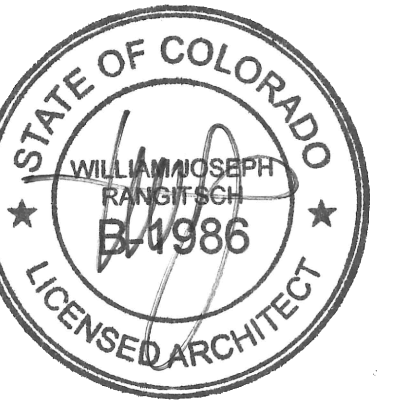
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

Copyright 2015 SAA, P.C.

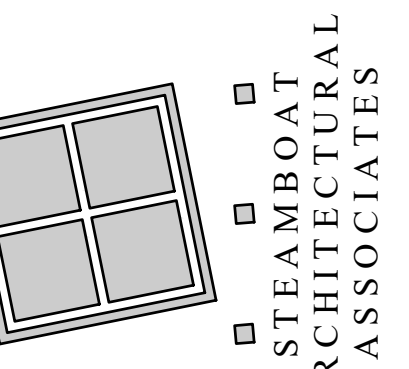
RCRBD Record Set
T.A.

11/13/2020

DETAILS



William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

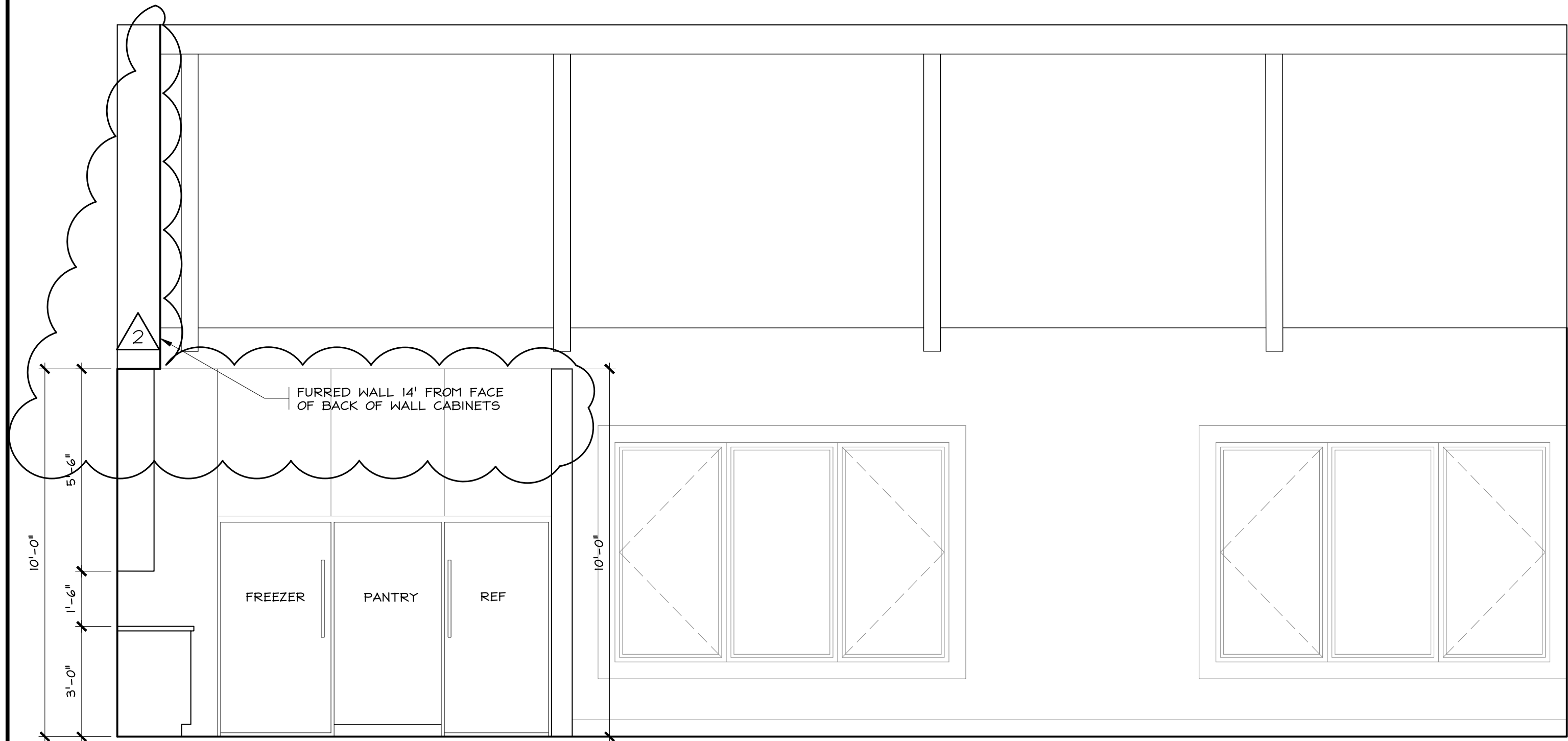
26 OCT 18

A5.1

15-22

10/12/2020 12:21 PM C:\Users\Paulandrea\Documents\SSA Projects\A-L\Blandford\01-Drawing\01-Current\Blandford A6.0

A6.0

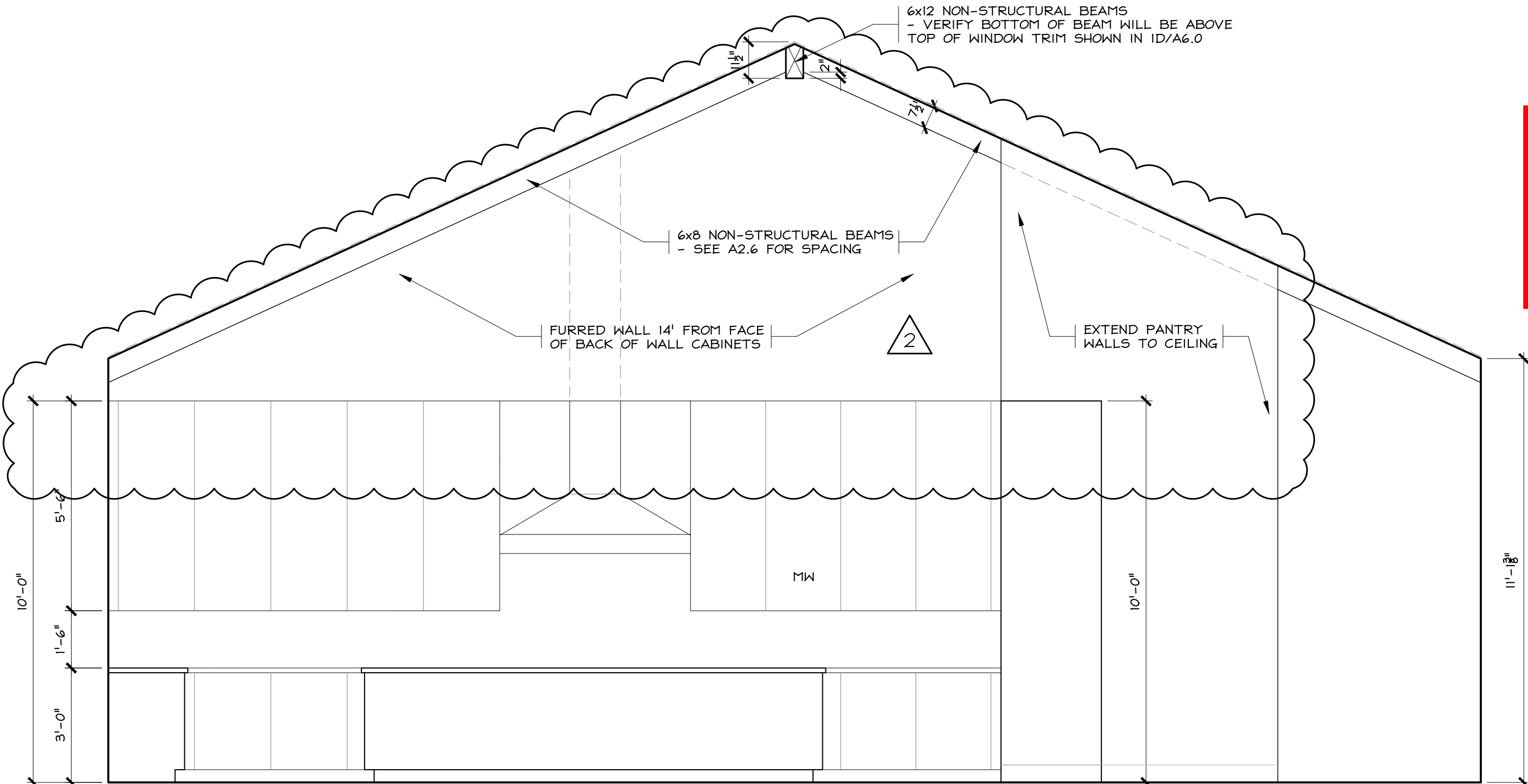
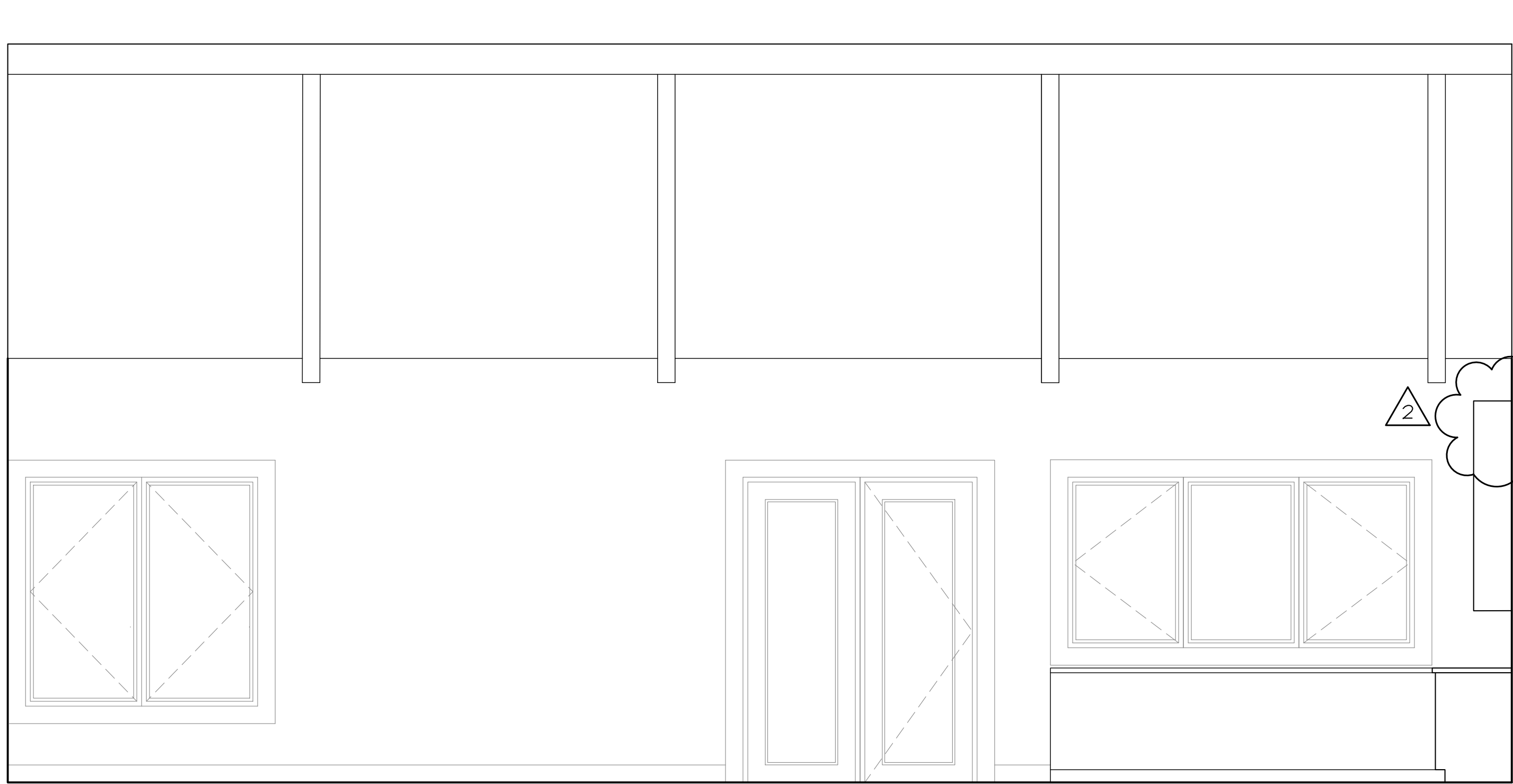


1 LIVING ROOM 101 - KITCHEN 103

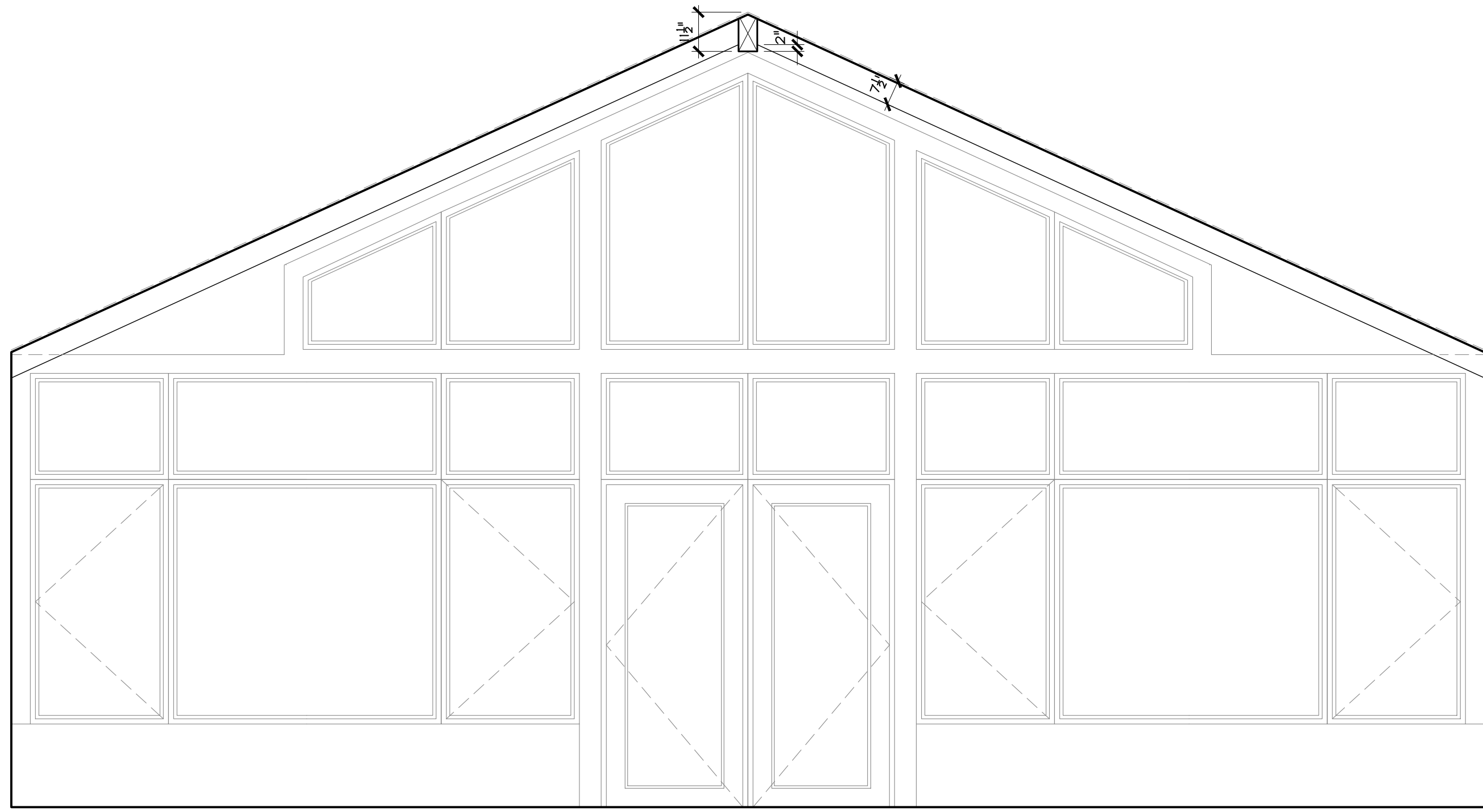
3/8" = 1'-0"
SEE A2.1

1 DINING ROOM 102 - KITCHEN 103

3/8" = 1'-0"
SEE A2.1



D



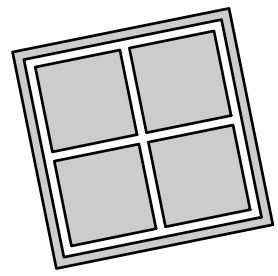
12 OCT 20 REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

26 OCT 18

A6.0

A Single-Family Residence for
David & Jane Blandford

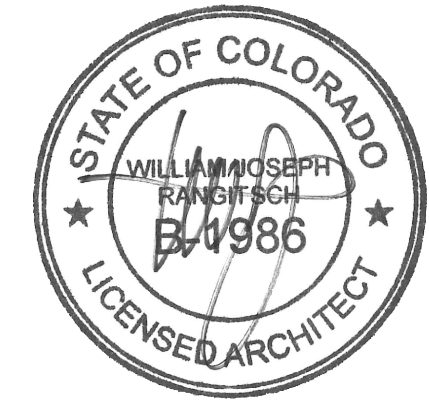
Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 Lincoln Ave Ste. 200
Steamboat Springs, CO 80477



**RCRBD Record Set
T.A.**
11/13/2020

INTERIOR ELEVATIONS

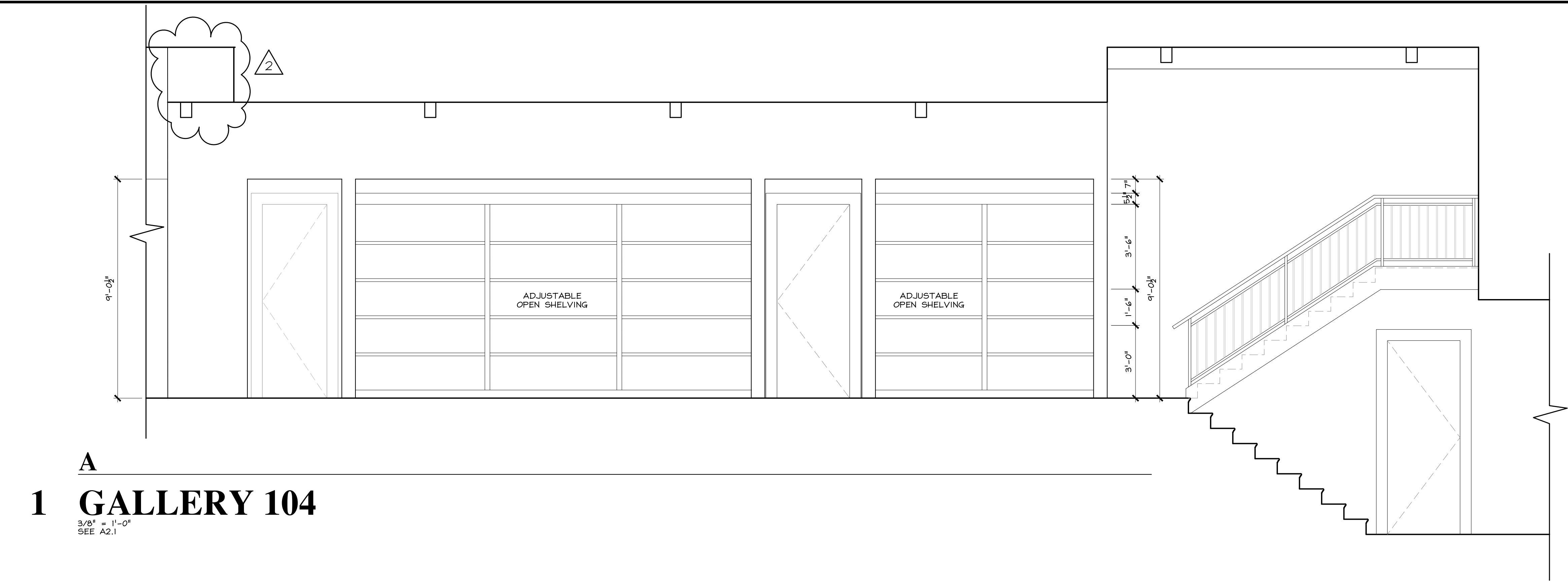
THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

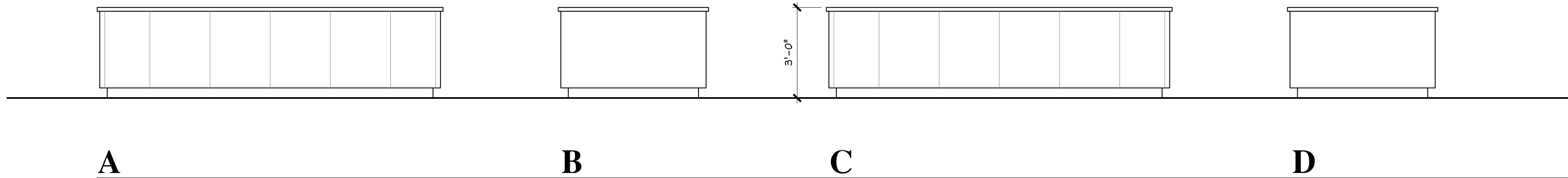
A6.1

10/12/2020 12:21 PM C:\Users\Paulding\Documents\SAA Projects\A-1-Blandford\01-Drawing\01-Current\Blandford A6.0

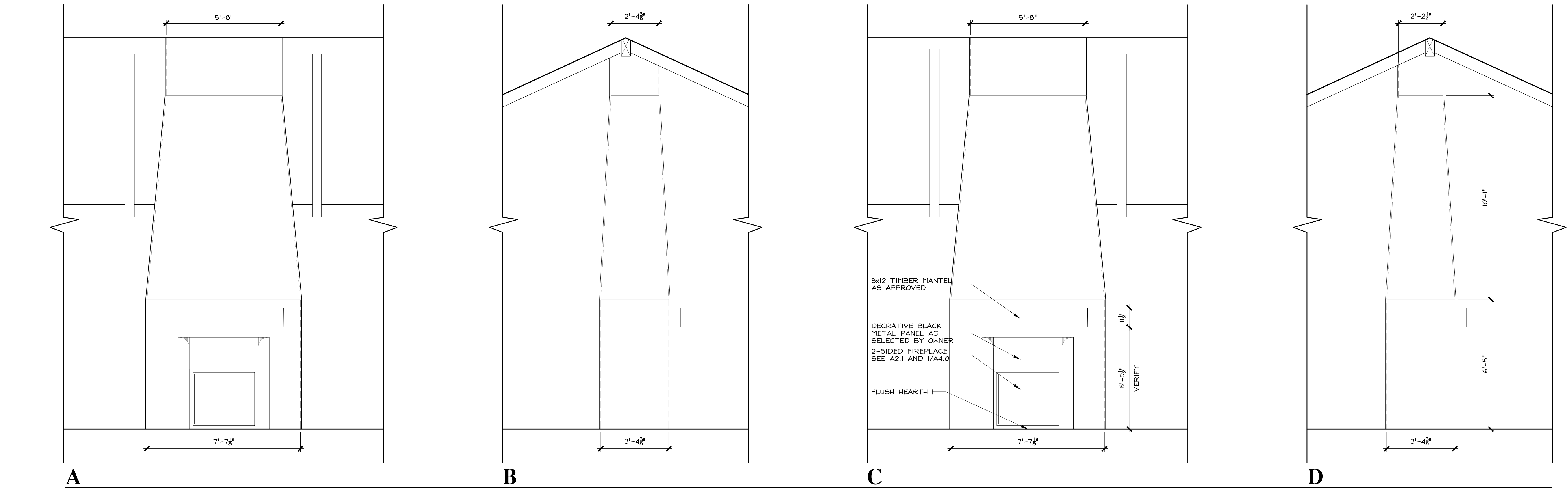
1 GALLERY 104
3/8" = 1'-0"
SEE A2.1



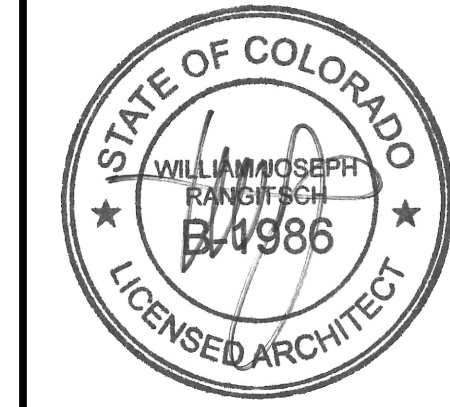
2 KITCHEN 103 - ISLAND
3/8" = 1'-0"
SEE A2.1



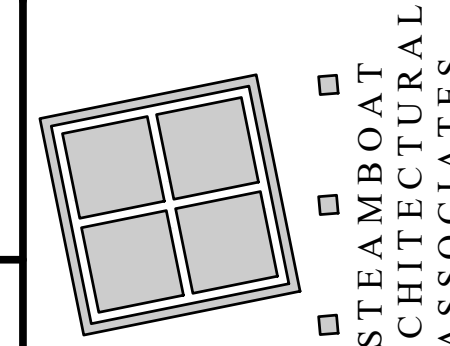
3 LIVING ROOM 101 - DINING ROOM 102 - FIREPLACE
3/8" = 1'-0"
SEE A2.1



RCRBD Record Set
T.A.
11/13/2020



William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

12 OCT 20

26 OCT 18

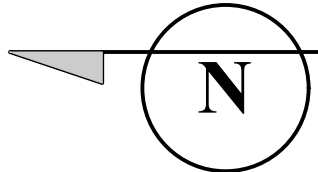
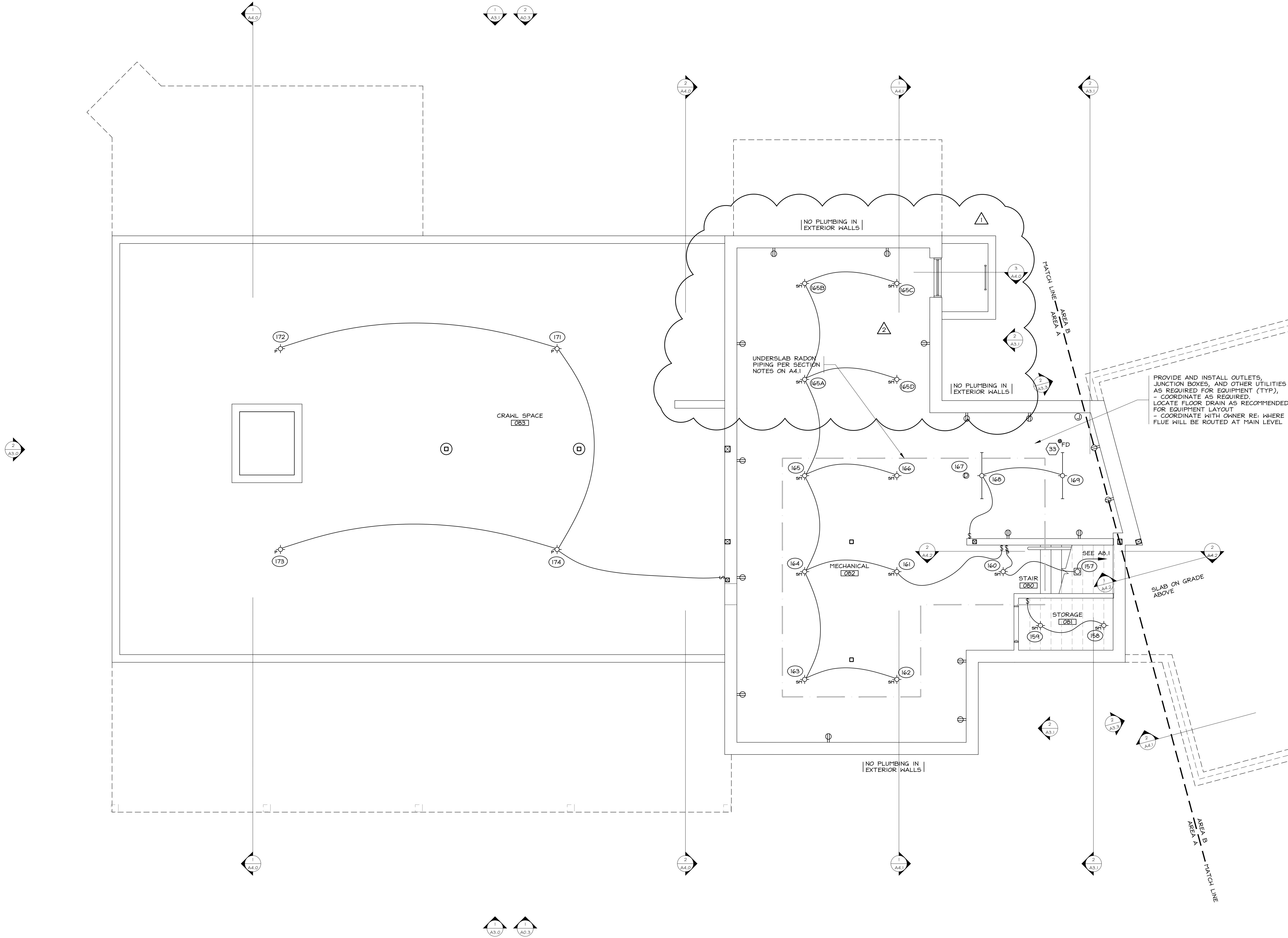
A6.1

15-22

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

10/12/2020 12:21 PM C:\Users\jranditsch\Documents\SA Projects\A-1\Blandford\01-Drawings\01-Current\Blandford A2.0 A8.0 LL UB A



1

LOWER LEVEL UTILITY PLAN - AREA "A"

1/4" = 1'-0"
SEE A2.0

42 SF STAIR
58 SF STORAGE
865 SF MECHANICAL

REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

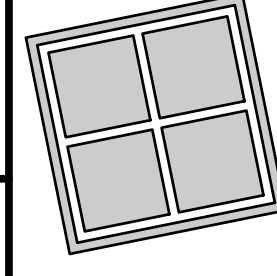
12 OCT 20

26 OCT 18

A8.0

15-22

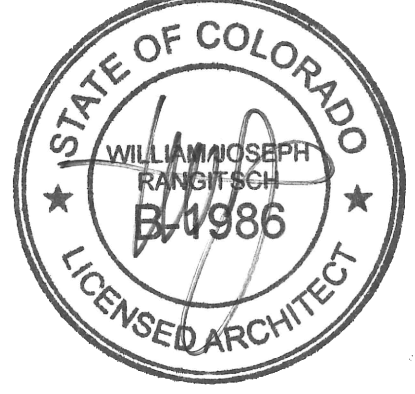
A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 Lincoln ave ste. 200
steamboat springs, co. 80477

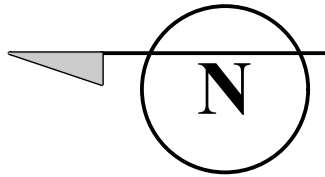
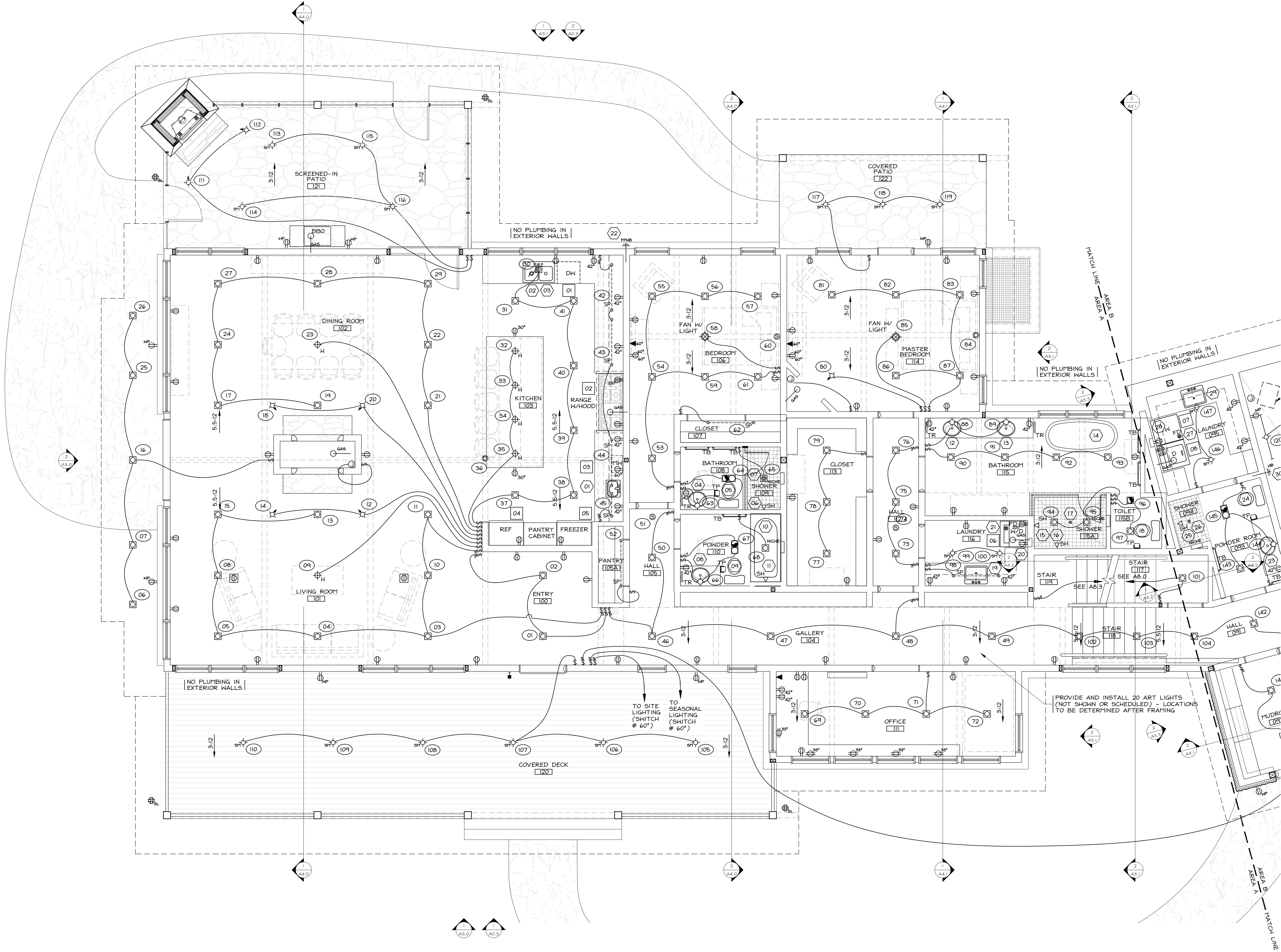


RORBD Record Set
T.A.
11/13/2020

LOWER LEVEL UTILITY PLAN - AREA "A"

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.



1

MAIN LEVEL UTILITY PLAN - AREA "A"

1/4" = 1'-0"
SEE A2.1

3,480 SF LIVING
1,192 SF GARAGE
1,174 SF COVERED PATIO

26 OCT 18

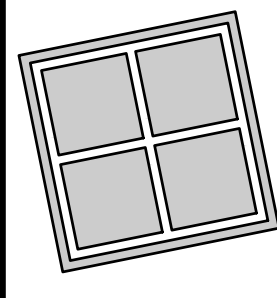
A8.1

15-22

A Single-Family Residence for

David & Jane Blandford

Lot B8, Marabou
Routt County, Colorado



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

William J. Rangitsch

970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477

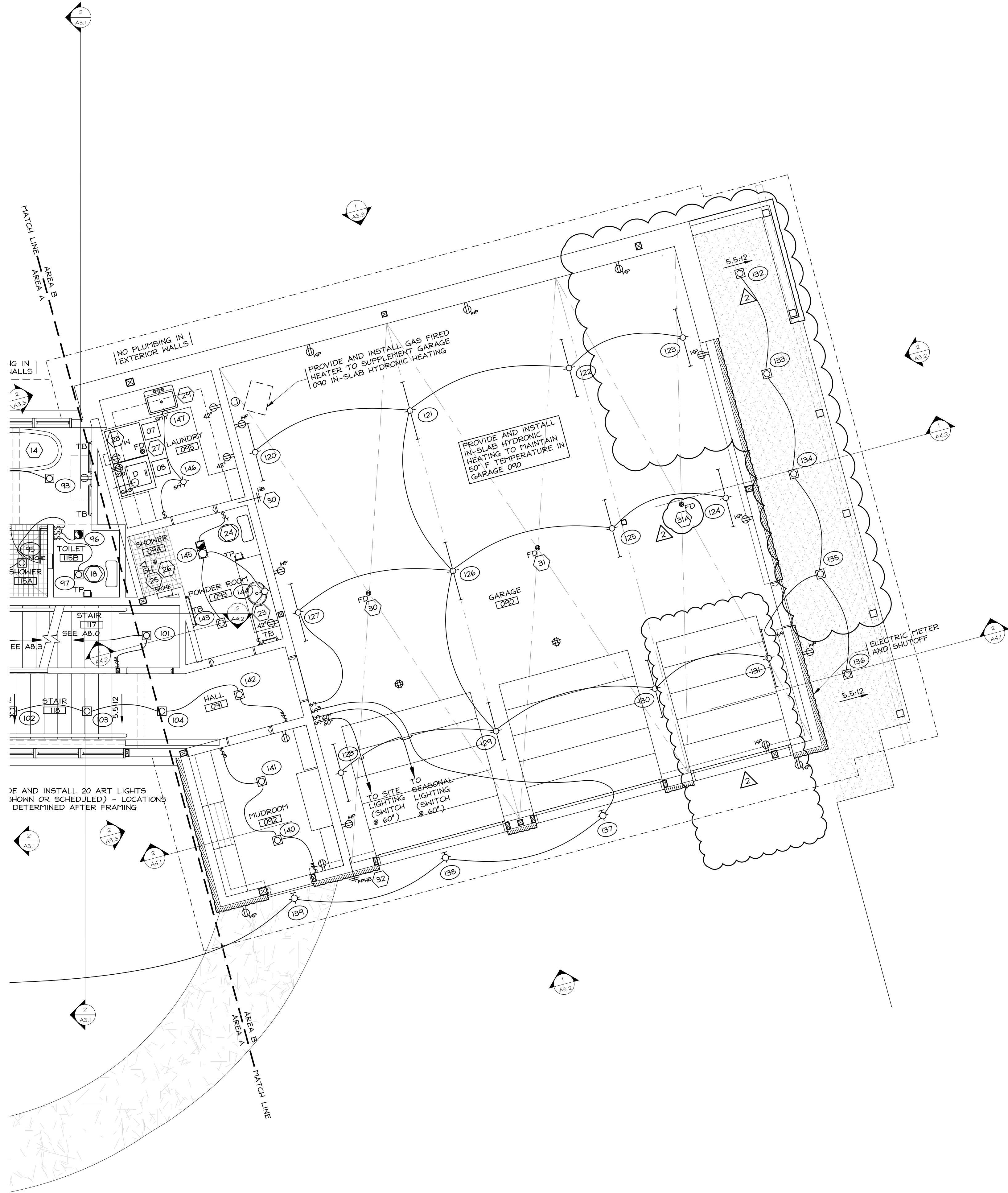


MAIN LEVEL UTILITY PLAN - AREA "A"
RCRBD Record Set
T.A.
11/13/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

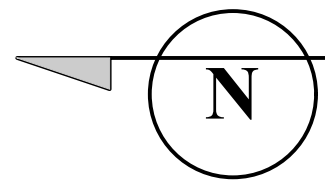
© Copyright 2015 SAA, P.C.

KEY TO SYMBOLS	
	RECESSED CAN
	WALL WASH
	WALL MOUNT
	HANGING
	SURFACE MOUNT
	KICK SPACE LIGHT
	CEILING FAN
	CEILING FAN WITH LIGHT
	DOUBLE SPOTS
	SINGLE SPOTS
	EYEBALL
	SMOKE DETECTOR
	CARBON MONOXIDE DETECTOR
	COMBINATION SMOKE/CO DETECTOR
	PORCELAIN SURFACE MOUNT
	EXHAUST FAN
	EXHAUST FAN WITH LIGHT
	4' LED FIXTURE
	SPECIAL LED LIGHT AS NOTED
	DOOR BELL
	DOOR BELL CHIMES
	SWITCH
	SWITCH - 3 WAY
	SWITCH - 4 WAY
	WALL RECEPTACLE
	WALL RECEPTACLE HALF HOT
	FLOOR RECEPTACLE - LOCATE AS DIRECTED
	FLOOR RECEPTACLE HALF HOT
	WATERPROOF RECEPTACLE
	CEILING RECEPTACLE
	HORIZONTAL MOUNTED RECEPTACLE 220V
	SEASONAL LIGHTING RECEPTACLE
	TELEVISION
	TELEPHONE
	MOTION DETECTOR
	COMPUTER
	THERMOSTAT
	FLOOR DRAIN
	FREEZE PROOF HOSE BIB
	HOSE BIB
	JUNCTION BOX
	GAS HOOKUP FOR FIREPLACE OR GRILLE
	SINK DISPOSAL
	ELECTRICAL SCHEDULE KEY
	PLUMBING SCHEDULE KEY
	APPLIANCE SCHEDULE KEY



UTILITY NOTES

1. ALL WORK MUST COMPLY WITH FEDERAL, STATE, LOCAL LAWS, CODES AND ORDINANCES.
2. PLUMBING CONTRACTOR SHALL PROVIDE RISER ISOMETRIC, IF REQUIRED FOR PERMIT.
3. HEATING CONTRACTOR SHALL PROVIDE SHOP DRAWINGS ON SYSTEM LAYOUT, AND CUT SHEETS ON ALL EQUIPMENT AND ACCESSORIES.
4. ELECTRICAL CONTRACTOR SHALL SUPPLY LOAD CALCULATIONS AND ONE-LINE DIAGRAM, IF REQUIRED FOR PERMIT.
5. G.F.C.I. PROTECTED RECEPTACLES REQUIRED ABOVE COUNTER WITHIN 6' OF SINK IN KITCHEN AND LAUNDRY, IN ALL BATHROOM OUTLETS, IN GARAGE, AND IN ALL EXTERIOR OUTLETS.
6. ALL ELECTRICAL BOXES SHALL BE PLACED WITHIN PLASTIC WIRING ENCLOSURES.
7. COORDINATE LOCATION OF ELECTRICAL OUTLET AND SWITCH BOXES WITH TILE AND OTHER FINISH MATERIALS. REVIEW LOCATIONS WITH GENERAL CONTRACTOR BEFORE INSTALLATION.
8. MOUNT ALL LIGHT SWITCHES, THERMOSTATS, ELECTRICAL RECEPTACLES AND SIMILAR DEVICES BETWEEN 4" AND 54" FROM FINISHED FLOOR WHEN FLOOR SPACE ALLOWS FOR PARALLEL APPROACH. FOR FORWARD APPROACH, MOUNT ALL ELECTRICAL DEVICES BETWEEN 15" AND 48" ABOVE FINISHED FLOOR.
9. PROVIDE AND INSTALL FORCED HOT AIR HEATING SYSTEM IN ALL AREAS, INCLUDING UNFINISHED AREA 201.
10. PROVIDE AND INSTALL AIR CONDITIONING SYSTEM TO ALL MAIN LEVEL SPACES, ROOMS 91 THRU 94, AND UNFINISHED AREA 201 AS REQUIRED, AND APPROVED BY OWNER.
11. PROVIDE AND INSTALL 20 ART LIGHTS (NOT SHOWN) WHOSE LOCATIONS WILL BE DETERMINED AFTER FRAMING.
12. PROVIDE AND INSTALL MUSIC AND ENTERTAINMENT SYSTEMS AS REQUIRED AND APPROVED BY OWNER.
13. PROVIDE AND INSTALL SECURITY SYSTEM AS REQUIRED AND APPROVED BY OWNER.
14. PROVIDE AND INSTALL SLIDE TYPE DIMMER SWITCHES AS SHOWN. DO NOT INSTALL DIMMER SWITCHES AT FLUORESCENT LIGHTS, AND AS DIRECTED BY OWNER.
15. INSTALL OUTLETS AT UNDERSIDE OF WALL CABINETS WHERE 54" MOUNTING HEIGHT IS INDICATED IN KITCHEN.
16. PROVIDE AND INSTALL WIRELESS COMPUTER SYSTEM OR CAT 5 COMPUTER NETWORK CONNECTIONS AT ALL PHONE OUTLETS AS DIRECTED BY OWNER. VERIFY WITH OWNER WHICH SYSTEM WILL BE USED.
17. PROVIDE AND INSTALL POWER VENT SYSTEM IN CRAWL SPACES AS REQUIRED BY CODE.
18. PROVIDE AND INSTALL PHONE OUTLETS AT EACH T.V. OUTLET LOCATION. VERIFY THIS REQUIREMENT WITH FINAL T.V. PROVIDER.
19. PROVIDE AND INSTALL LUTRON OR EQUAL TOUCHPAD LIGHT SWITCHING AS DIRECTED BY OWNER. EXTENT OF TOUCHPAD LIGHT SWITCHING TO BE DETERMINED.
20. SEASONAL LIGHTING OUTLETS TO BE MOUNTED IN SOFFITS AS DIRECTED.
21. PROVIDE AND INSTALL HEATED WALKWAYS, PATIOS AND DRIVEWAY "APRON" IF REQUIRED BY OWNER. VERIFY EXTENT OF SNOW MELT WITH OWNER.
22. PROVIDE AND INSTALL LIGHTNING RODS IF REQUIRED BY OWNER.
23. PROVIDE AND INSTALL GENERATOR POWERED ELECTRIC BACK-UP SYSTEM IF REQUIRED BY OWNER.
24. AT TRACK LIGHTING, PROVIDE ONE MONO POINT FIXTURE FOR EACH 4 LINEAL FEET OF TRACK, OR PORTION THEREOF. CALCULATE THIS FOR EACH TRACK.
25. PROVIDE AND INSTALL SPRINKLER SYSTEM AS REQUIRED IN MARABOU DESIGN GUIDELINES AND AS APPROVED BY CONTRACTOR.
26. COORDINATE AS REQUIRED WITH SOLAR PANEL INSTALLATION AND CONNECTION.

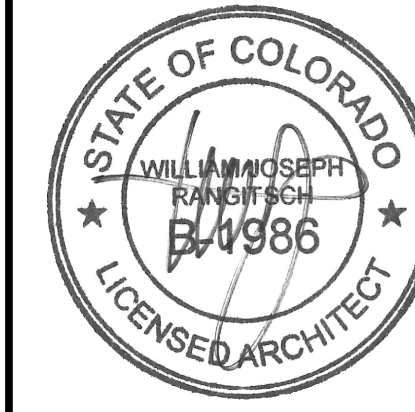


1

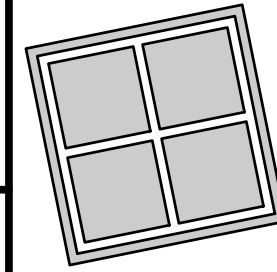
MAIN LEVEL UTILITY PLAN - AREA "B"

1/4" = 1'-0"
SEE A2.1 FOR SF NUMBERS
SEE A2.2

ROBBD Record Set
T.A.
11/13/2020



William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co. 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

A8.2

15-22

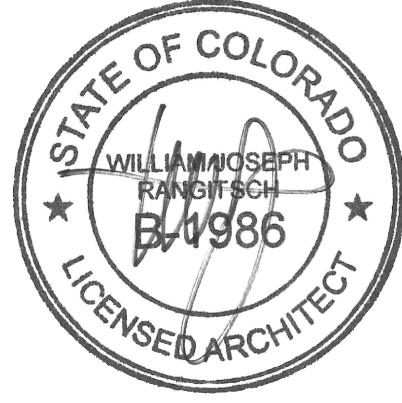
REVISIONS 1 & 2 - CHANGES FOR RCBD AND OWNER

12 OCT 20

26 OCT 18

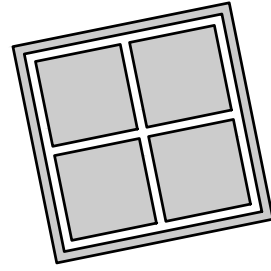
11/13/2020

UPPER LEVEL UTILITY PLAN - AREA "B"



970.879.0819

p.o. box 772910 345 lincoln ave ste. 200
steamboat springs, co 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for

Lot B8, Marabou

Routt County, Colorado

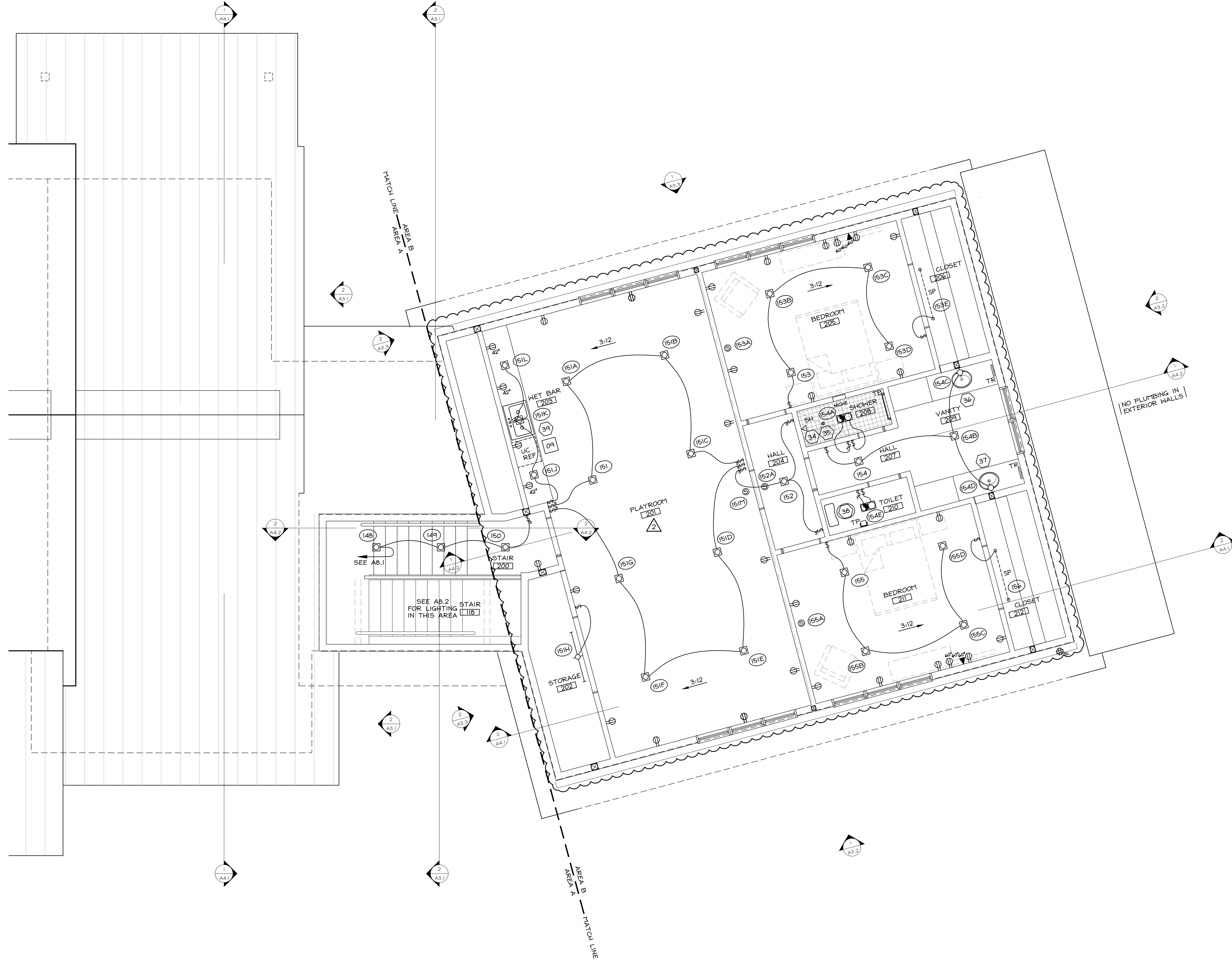
A8.3

15-22

REVISIONS 1 & 2 – CHANGES FOR RCBD AND OWNER

26 OCT 18

26 OCT 18



1

UPPER LEVEL UTILITY PLAN - AREA "B"

1/4" = 1'-0"
SEE A2.3

1,550 SF UNFINISHED

LANDSCAPE NOTES

- TOPOGRAPHIC PLAN OF LAND IN STEAMBOAT SPRINGS COLORADO, ARCHITECTURE, AND SITE PLAN INFORMATION PROVIDED BY: STEAMBOAT ARCHITECTURAL ASSOCIATES OF STEAMBOAT SPRINGS, COLORADO.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO AT: 1-800-922-1987 AND VERIFY THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- ALL PLANT MATERIALS TO BE SELECTED FROM APPROVED PLANT LIST AS PUBLISHED IN THE THE MARABOU RANCH DESIGN GUIDELINES, APPENDIX III (DATED: 02/14/07). PLANT MATERIAL WILL BE SPECIFIED AT THE TIME OF CONSTRUCTION DOCUMENT PREPARATION. QUANTITIES AND SPECIES MAY BE ADJUSTED, AND SHALL CONFORM WITH THE GUIDELINES AS PUBLISHED. OWNER OR LANDSCAPE DESIGNER SHALL APPROVE ALL PLANT LOCATIONS PRIOR TO INSTALLATION.
- NATIVE GRASSES SHALL CONFORM WITH THE MARABOU SEED MIX AS PUBLISHED IN THE THE MARABOU RANCH DESIGN GUIDELINES (DATED: 02/14/07). SEED WILL BE ESTABLISHED USING THE BROADCAST METHOD AND APPLIED PER THE RATES IN THE GUIDELINES. PENN MULCH WILL BE APPLIED PER MANUFACTURES RECOMMENDED RATES, AND STRAW BLANKETS WILL BE APPLIED WHERE NECESSARY.
- CONTRACTOR TO INSTALL EROSION CONTROL MEASURES IN COMPLIANCE WITH THE CURRENT ROUTT COUNTY GUIDE TO WATER QUALITY PROTECTION AND EROSION CONTROL AS PUBLISHED BY THE ROUTT COUNTY COMMITTEE ON WATER QUALITY. SEE EROSION CONTROL AND RE-VEGETATION PLAN PROVIDED BY OTHERS.
- CONTRACTOR TO ESTABLISH A LIMIT-OF-WORK LINE PRIOR TO THE INSTALLATION OF ANY EROSION CONTROL MEASURES. CUT AND FILL SLOPES THAT ARE FINISHED GRADED TO 2:1 OR STEEPER SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES FOR EROSION CONTROL.
- ALL DISTURBED AREAS, INCLUDING STOCKPILES ARE TO BE STABILIZED AND REVEGETATED WITHIN SIX MONTHS OR BEFORE WINTER.

PLANT MATERIALS LIST

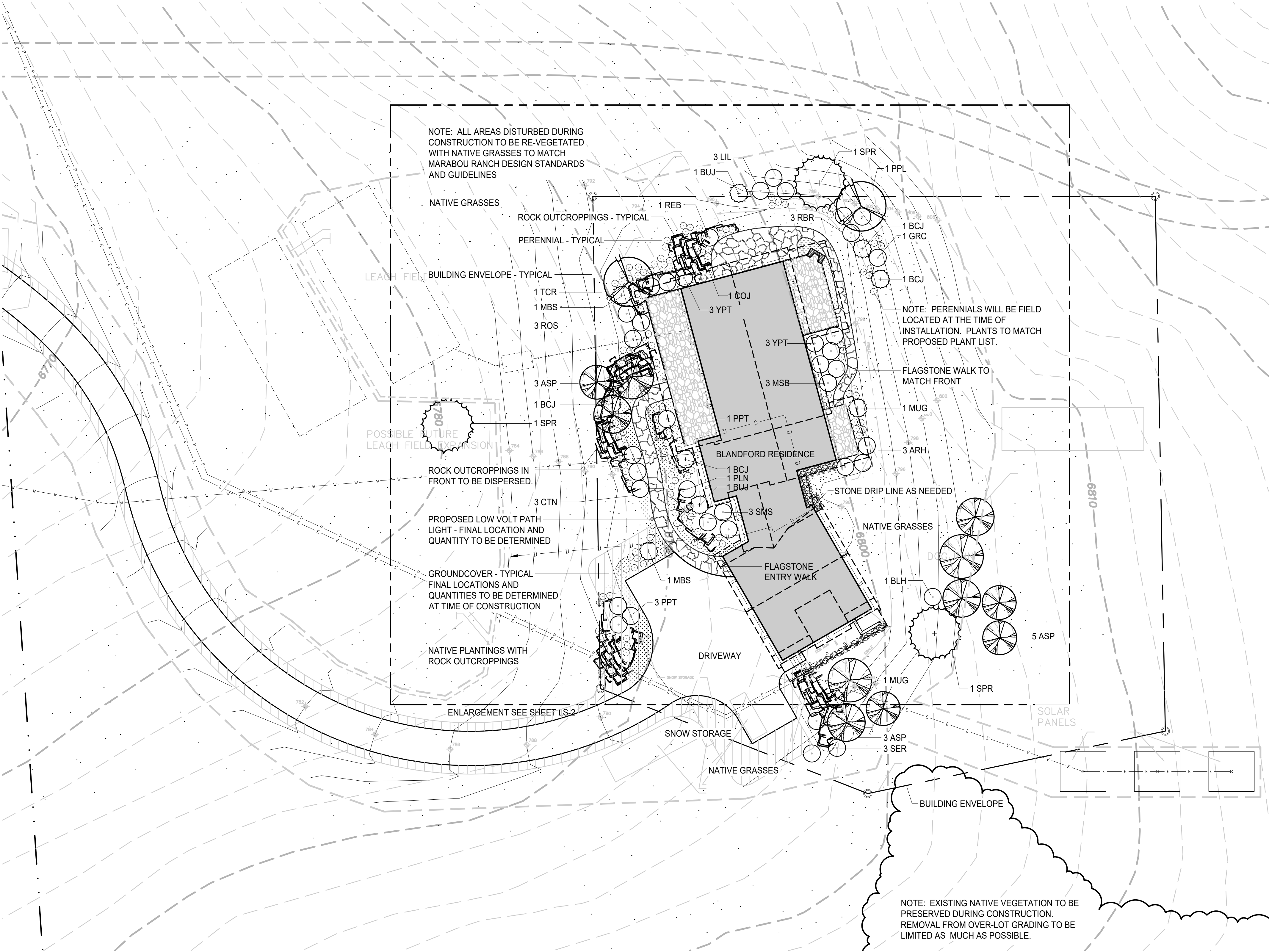
TREES - 16 TOTAL (13 DECIDUOUS AND 03 EVERGREEN)				
NOTE: DECIDUOUS TREES = 50% TO BE 2.00"-2.50" CALIPER; 45% TO BE 3" CALIPER; 5% TO BE 4" CALIPER MINIMUM. EVERGREEN TREES = 50% OF MIX TO BE 8' MINIMUM HEIGHT; 45% OF MIX TO BE 12' HEIGHT MINIMUM; 5% OF MIX TO BE 14' HEIGHT MINIMUM				
SYMBOL	#	COMMON NAME	SCIENTIFIC NAME:	SIZE
ASP	05	Quaking Aspen	Populus tremuloides	2.50" Caliper
	05	Quaking Aspen	Populus tremuloides	3.00" Caliper
	01	Quaking Aspen	Populus tremuloides	4.00" Caliper
	01	Thunder Child Crab Apple	Malus 'Thunder Child'	
TCR	01	Purple-leaf Plum	Prunus x cistinea	2.50" Caliper
PPL	01	Colorado Spruce	Picea pungens	2.50" Caliper
SPR	01	Colorado Spruce	Picea pungens	6'-8' Height
	01	Colorado Spruce	Picea pungens	12' Height

SHRUBS - 51 TOTAL (38 DECIDUOUS AND 13 EVERGREEN)				
NOTE: 50% OF MIX TO BE #5 POT; 40% OF MIX TO BE #15 POT; AND 10% OF MIX TO BE B&B				
SYMBOL	#	COMMON NAME	SCIENTIFIC NAME:	SIZE
COJ	02	Common Juniper	Juniperus communis	SEE NOTE
BCJ	04	Blue Chip Juniper	Juniperus horizontalis 'Blue Chip'	
BUJ	02	Buffalo Juniper	Juniperus sabina 'Buffalo'	
MBS	03	Montgomery Blue Spruce	Picea pungens 'Montgomery'	
MUG	02	Dwarf Mugo Pine	Pinus mugo murgus	
SYMBOL	#	COMMON NAME	SCIENTIFIC NAME:	SIZE
SER	03	Saskatoon Serviceberry	Amelanchier alnifolia	SEE NOTE
RBR	03	Low Rabbitbrush	Chrysothamnus viscidiflorus	
CTN	03	Spreading Coloneaster	Cotoneaster divaricatus	
BLH	01	Black Hawthorn	Crataegus douglasii	
PLN	01	Purple Leaf Ninebark	Physocarpus opulifolius 'Diablo'	
YPT	06	Yellow Potentilla	Potentilla fruticosa	
PPT	04	Pink Potentilla	Potentilla fruticosa 'Pink Beauty'	
ARH	03	Arnold's Red Honey Suckle	Lonicera involucrata 'Arnold's Red'	
GRC	01	Golden Currant	Ribes aureum	
ROS	03	Native Pink Shrub Rose	Rosa woodsii	
REB	01	Red Elderberry	Sambucus pubens	
SMS	03	Snowmound Spirea	Spirea nipponica 'Snowmound'	
MSB	03	Mountain Snowberry	Symphoricarpos oreophilus	
LIL	03	Common Lilac	Syrangia vulgaris	

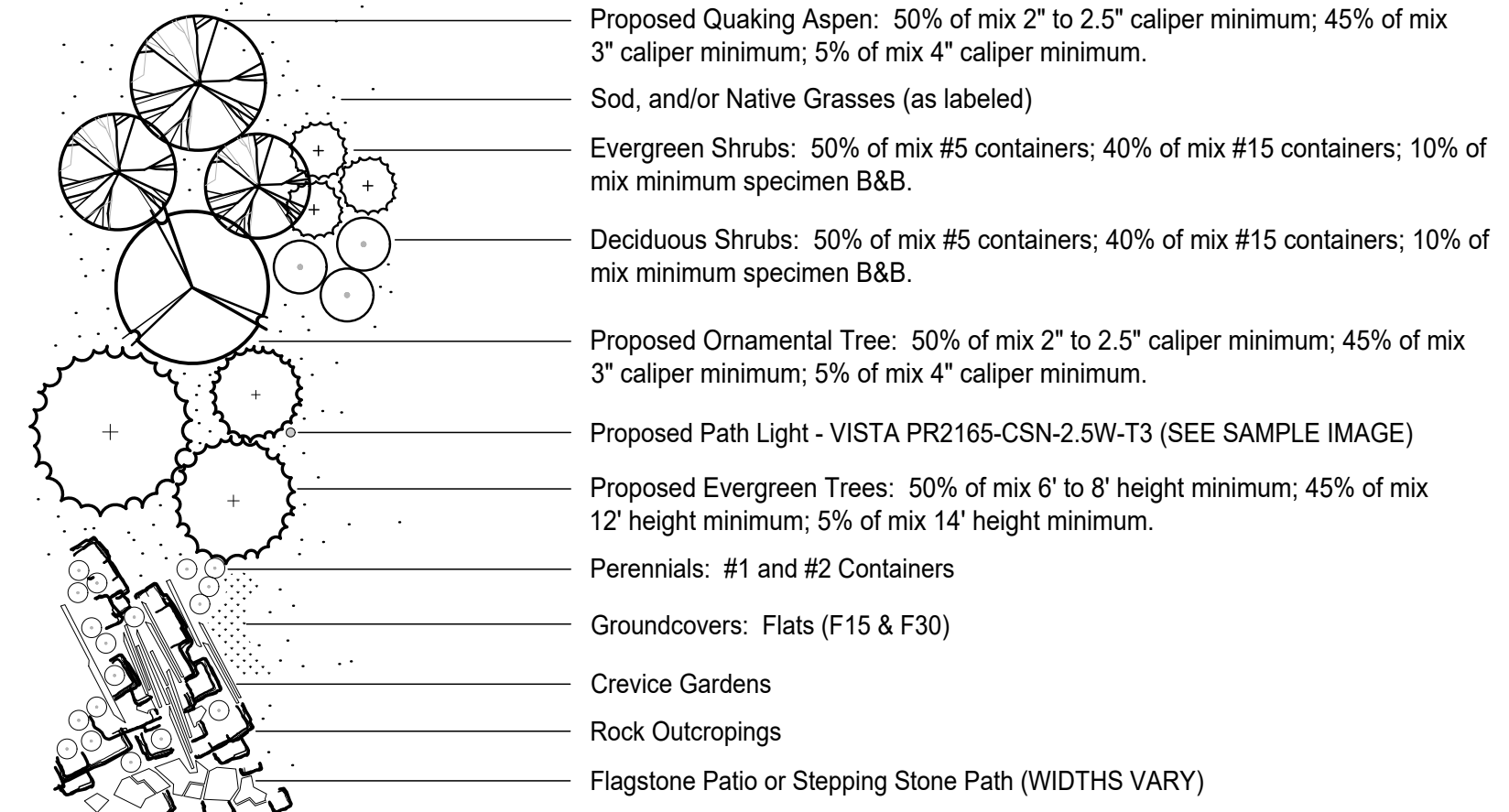
PERENNIALS AND ORNAMENTAL GRASSES - 150 TOTAL				
NOTE: FINAL LOCATIONS AND QUANTITIES TO BE DETERMINED				
SYMBOL	#	COMMON NAME	SCIENTIFIC NAME:	SIZE
YAR	00	White Yarrow	Achillea millefolium	#1 Pot
COL	00	Rocky Mountain Columbine	Aquilegia caerulea	#1 Pot
SLM	00	Silver Mound	Artemisia schmidtiana	#1 Pot
AST	00	Alpine Aster	Aster alpinus 'goliath'	#1 Pot
COR	00	Lance-leaf Coreopsis	Coreopsis lanceolata	#1 Pot
DIA	00	Maiden Pinks Dianthus	Dianthus deltoides	#1 Pot
DEL	00	Blue Lace Larkspur	Delphinium elatum 'Blue Lace'	#1 Pot
DIC	00	Bleeding Heart	Decentra spectabilis	#1 Pot
PCF	00	Purple Coneflower	Echinacea purpurea	#1 Pot
NBF	00	Native Blanket Flower	Gaillardia aristata	#1 Pot
GER	00	Johnson's Blue Geranium	Geranium 'Johnson's Blue'	#1 Pot
DAY	00	Daylily 'Mixed'	Hemerocallis hybrids	#1 Pot
WBF	00	Western Blue Flag	Iris missouriensis	#1 Pot
LUP	00	Blue Lupine	Lupinus 'the governor'	#1 Pot
CAT	00	Catmint	Nepeta spp.	#1 Pot
ORP	00	Oriental Poppy	Papaver orientale	#1 Pot
SAL	00	May Night Salvia	Salvia x superba 'May Night'	#1 Pot
RUD	00	Black-eyed Susan	Rudbeckia fulgida 'goldstrum'	#1 Pot
PEN	00	Roosky Mountain Penstemon	Penstemon strictus	#1 Pot

SYMBOL	#	COMMON NAME	SCIENTIFIC NAME:	SIZE
FGR	00	Fountain Grass	Pennisetum alopecuroides	#2 Pot
PFG	00	Purple-leaf Fountain Grass	Pennisetum sataceum rubrum	#2 Pot

GROUNDCOVERS				
NOTE: FINAL LOCATIONS AND QUANTITIES TO BE DETERMINED				
SYMBOL	#	COMMON NAME	SCIENTIFIC NAME:	SIZE
ALR	00	Alpine Rockcress	Arabis alpine	F15
KIN	00	Kinnikinnick	Arctostaphylos uva-ursi	F15
SIS	00	Snow-In-Summer	Cerastium tomentosum	F15
MAH	00	Oregon Grape Holly	Mahonia repens	F15
CPT	00	Creeping Potentilla	Potentilla vera 'Nana'	F15
PHL	00	Blue Creeping Phlox	Phlox subulata 'Emerald Blue'	F15
GCS	00	Golden Carpet Stonecrop	Sedum acre 'Uta'	F15
DBS	00	Dragon's Blood Sedum	Sedum spurius 'Dragon's Blood'	F15
SEM	00	Hen's-and-Chick's	Sempervivum spp.	F15
LTY	00	Lemon Thyme	Thymus serpyllium citroides	F15
WTY	00	Wolly Thyme	Thymus pseudolanuginosus	F15
VIN	00	Periwinkle	Vinca minor	F15
VER	00	Blue Wolly Speedwell	Veronica pectinata	F15



PLANT LEGEND



IRRIGATION NOTES

- ALL PLANT MATERIALS TO BE UNDER AN AUTOMATIC DRIP IRRIGATION SYSTEM TO BE INSTALLED. NATIVE SEED AREAS WILL BE TEMPORARILY AND PERIODICALLY IRRIGATED BY SINGLE COVERAGE POP-UP ROTOR SPRAY HEADS FOR ESTABLISHMENT. THERE ARE NO TURF LAWN AREAS PROPOSED AT THIS TIME.
- IRRIGATED AREAS:
- | | |
|--------------------------------------|---------|
| POP-UP SHRUB/PERENNIAL BEDS = | 1000 SF |
| POP-UP IRRIGATED TURF GRASS = | 0000 SF |
| POP-UP IRRIGATED NATIVE GRASS = | 6500 SF |
| TOTAL POP-UP SPRAY IRRIGATED AREAS = | 7500 SF |
- DRIP IRRIGATION - ALL SHRUB AND PERENNIAL PLANTINGS

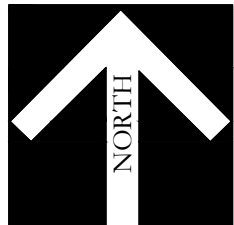
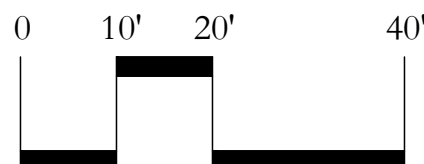
SEED MIXTURES

GRASS SEED TYPE	LBS./ACRE	FOR/WILDFLOWER SEED TYPE	LBS./ACRE
KENTUCKY BLUE GRASS	20.00	ALSIE CLOVER	1.00
CANADA BLUE GRASS	3.00	BIRDSFOOT TREFOLL	1.00
SHERMAN BIG BLUEGRASS	0.50	BLUE FLAX	1.00
SHEEP FESCUE	5.00	ROCKY MOUNTAIN PENSTEMON	0.50
HARD FESCUE	5.00	BLUE IRIS	0.50
CREEPING HARD FESCUE	12.00	PERENNIAL GAILLARDIA	0.50
STREAMBANK WHEATGRASS	3.00	PRAIRIE CONEFLOWER	0.25
THICKSPIKE WHEATGRASS	3.00	BLACK EYED SUSAN	0.25
CREEPING MEADOW FOXTAIL	8.00	WESTERN YARROW	1.00 (OZ)
ANNUAL RYE	30.00	DAISY FLEABANE	1.00 (OZ)

PATH LIGHT



SCALE: 1"=20'-0"



© Gecko Landscape & Design 2016

This document, ideas and designs incorporated herein, are an instrument of professional service, in the property of Gecko Landscape & Design, and is not to be used, in whole or in part, for any other project without written authorization of one of the principals of Gecko Landscape & Design.

By submitting these plans, the landscape designer has performed the professional design services with the client, and the client agrees to accept the design and construction of the landscape as shown on these plans. Any discrepancies discovered by the use of these plans shall be reported immediately to the landscape designer. A failure to immediately notify the landscape designer may release Gecko Landscape & Design from all liability.

RCRBD Record Set

T.A.

11/13/2020

BLANDFORD RESIDENCE

PHASE ONE LANDSCAPE PLAN

Marabou Step Four Submittal - CONSTRUCTION PLAN REVIEW

42375 River Drum Trail

Steamboat Springs, Colorado

PHASE ONE LANDSCAPE PLAN

NOT FOR CONSTRUCTION

SCALE: 1" = 20' - 0"

DATE: 01/04/18

REVISION: 03/16/18

04/26/18

05/24/18

09/20/18

FILE NAME: Blandford LS-1STEP4.dwg

DRAWN BY: AAB

CHECKED BY: MB

SHEET NUMBER:

LS-1



© Gecko Landscape & Design 2016

This document, views and designs incorporated herein, are an instrument of professional service in the property of Gecko Landscape & Design, and is not to be used, in whole or in part, for any other project without written authorization of one of the principals of Gecko Landscape & Design.

By submitting these plans, the landscape designer has performed the estimated design services with due diligence and care in accordance with current Colorado law and accepted landscape design practices and ethics. Any discrepancy discovered by the use of these plans shall be reported immediately to the landscape designer. A failure to immediately notify the landscape designer may release Gecko Landscape & Design from all liability.

RCRBD Record Set

T.A.

11/13/2020

BLANDFORD RESIDENCE

PHASE ONE LANDSCAPE PLAN

Marabou Step Four Submittal - CONSTRUCTION PLAN REVIEW

42375 River Drum Trail

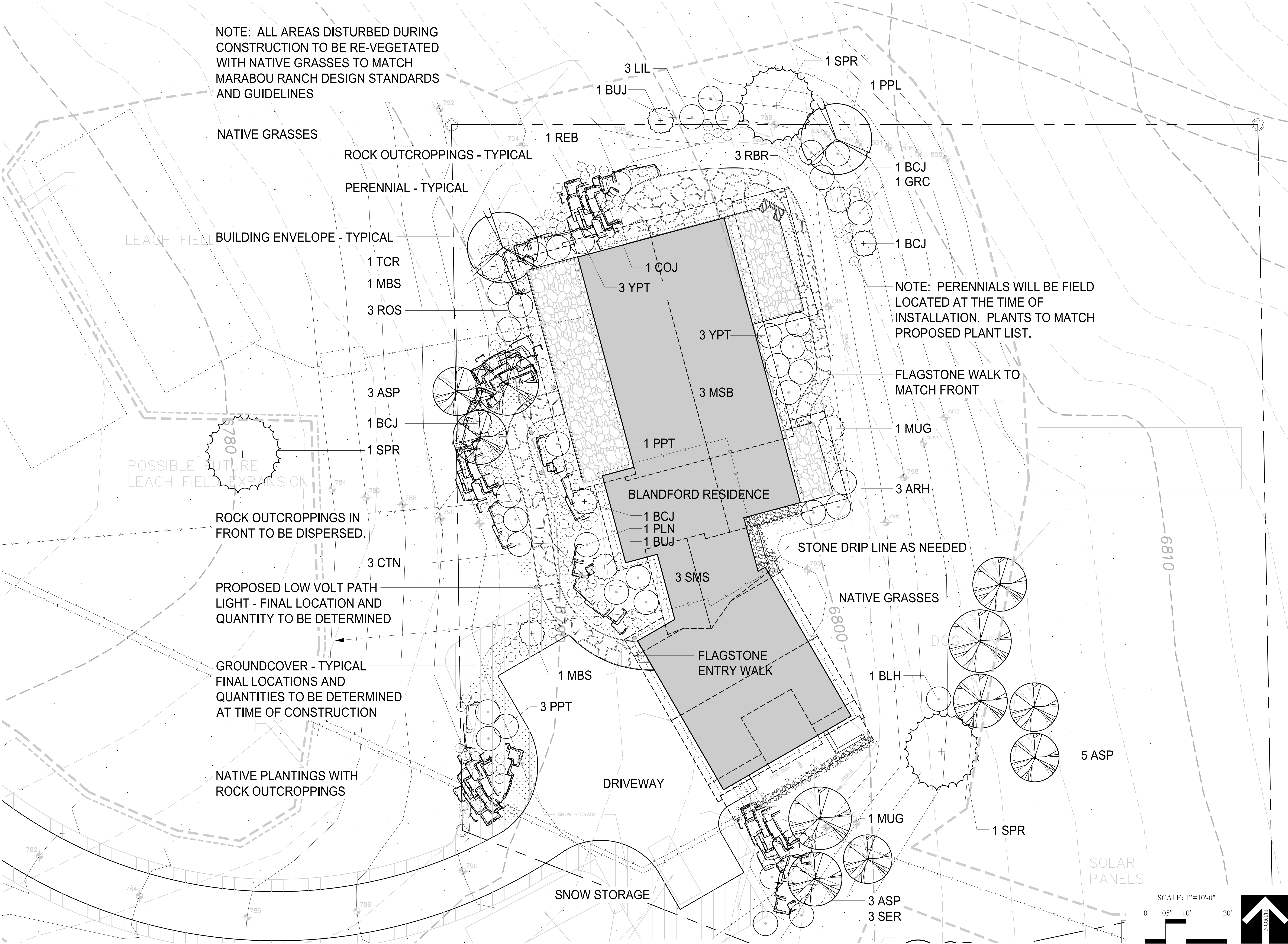
Steamboat Springs, Colorado

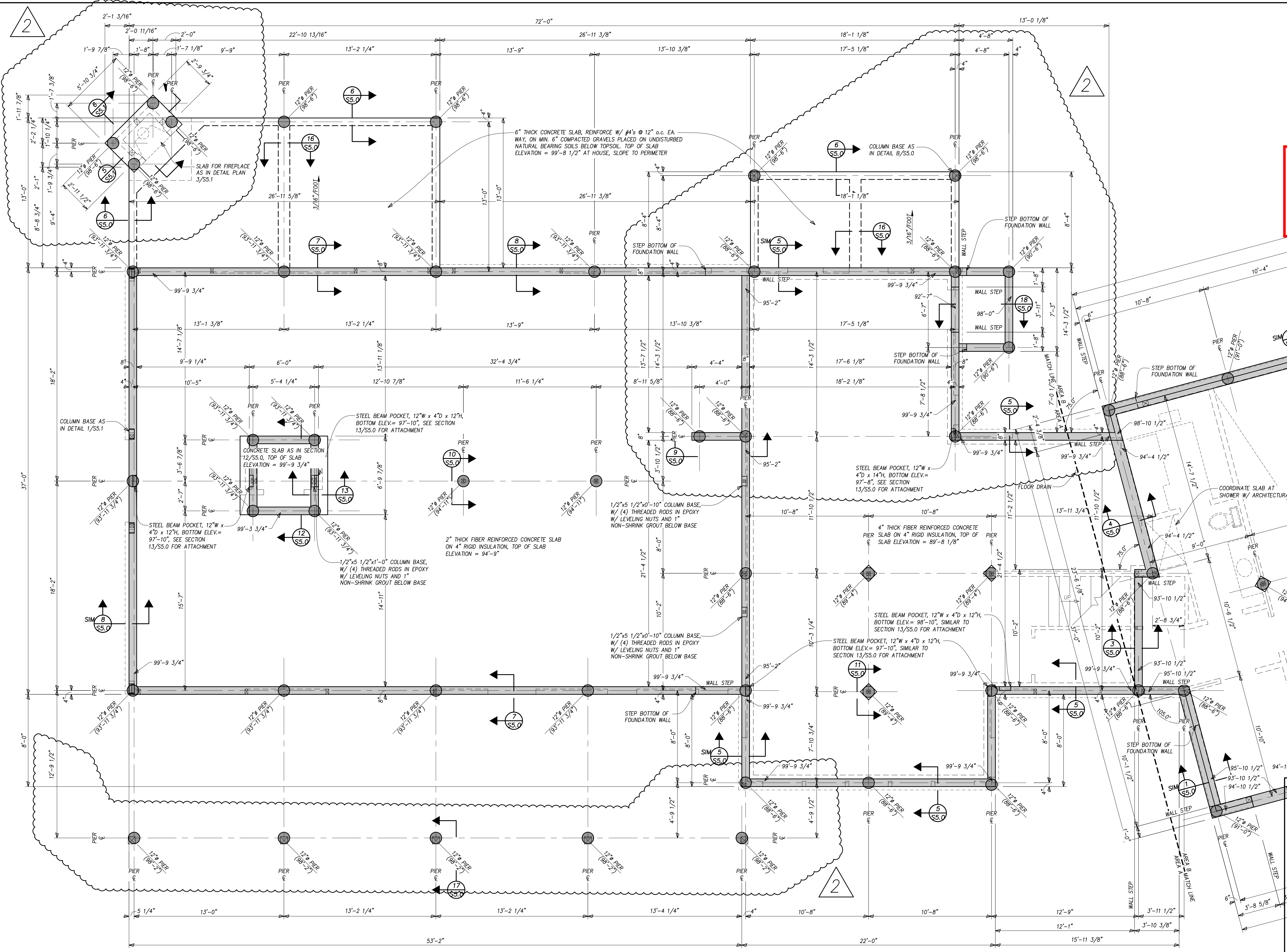
PHASE ONE LANDSCAPE PLAN ENLARGEMENT

NOT FOR CONSTRUCTION

SCALE:	1" = 10'-0"
DATE:	01/04/18
REVISION	03/16/18
	04/26/18
	05/24/18
	09/20/18
FILE NAME:	Blandford LS-1STEP4.dwg
DRAWN BY:	AAB
CHECKED BY:	MB
SHEET NUMBER:	

LS-2





FOUNDATION PLAN – AREA "A"
Scale: 1/4" = 1'-0"
NORTH
ELEVATION TOP OF CONCRETE WALL INDICATED THUS
DRILLED PIER LOCATION, DIAMETER, AND TOP OF CONCRETE PIER ELEVATION INDICATED THUS
PIER DIAMETER (ELEVATION)

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

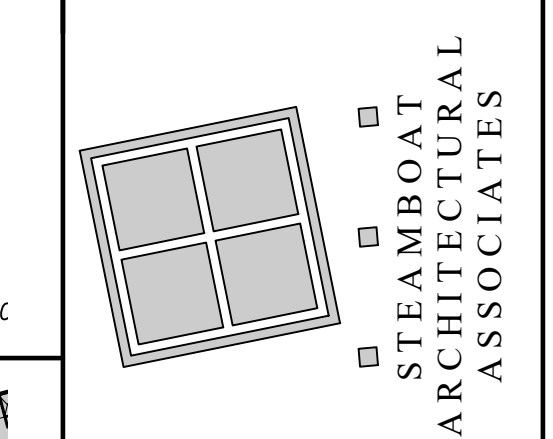
RCRBD Record Set
11/15/2020

ALPENGLOW
ENGINEERING SOLUTIONS
Consulting Structural Engineers
117 12th Street
Steamboat Springs, CO 80477
P: 970.879.1181
F: 970.879.1181
www.alpengloweng.com

DRAWN BY: CAS
PROJECT# 18-009
FOUNDATION PLAN



William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste 200
steamboat springs, co 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

REVISION 2 – CHANGES FOR RCBD AND OWNER
12 OCT 20
26 OCT 18
S2.0
15-22

GENERAL NOTES

DESIGN LIVE LOADS

- Roofs 85 psf
- Floors..... 40 psf
- Covered Porch..... 60 psf
- Wind..... Risk Category II, Ultimate Wind Speed 115 mph, Exposure "B"
- Seismic..... IBC Design Category B

FOUNDATION DESIGN

- Foundation design was based upon Subsoil and Foundation Investigation provided by Northwest Colorado Consultants, Inc. and all design values shall be field verified prior to construction
- Design of straight-shaft drilled piers is based on a maximum allowable skin friction value of 900 psf for the portion of the pier in natural clays and 3000 psf for the portion of the pier penetrating claystone bedrock, with the upper 5' pf penetration neglected.
- Soils report 17-10957 by Northwest Colorado Consultants, Inc.

REINFORCED CONCRETE

- Structural concrete shall have a minimum 28 day compressive strength of 3000 psi Type I.
- Reinforcing bars shall conform to ASTM Specification A615-79 and shall be Grade 60.
- All anchor bolts are to meet ASTM Specification F1554 Grade 36.
- At splices, lap bars 36 diameters. At corners and intersections, make horizontal bars continuous or provide matching corner bars. Around openings in walls and slabs, provide 2-#5, extending 2'-0" beyond edge of opening.

STRUCTURAL STEEL

- Structural steel rolled shapes shall conform to ASTM A572, Grade 50. Plates and angles shall conform to ASTM A36. Tube shapes shall conform to ASTM A500 Grade B, 46 ksi yield. Pipe shapes shall conform to ASTM A53, Grade B.
- All bolts shall conform to ASTM Specification A307.
- Expansion bolts called for on the drawings shall be "WEG-IT", "RED HEAD", or approved wedge type, with the following minimum embedments: 5/8" diameter bolts - 2 3/4", 1/2" diameter bolts - 2 1/4".
- All welding shall be done by a certified welder.

STRUCTURAL WOOD FRAMING

- Except where noted otherwise, all 2" lumber shall be Douglas Fir-Larch S4S No.2 or better, and all solid timber beams and posts shall be Douglas Fir-Larch No. 1. All studs over 12'-0" in length shall be 1.3E LSL with allowable fiber stress in bending = 1700 psi, modulus of elasticity of 1.3x10⁶ psi, and allowable shear stress = 425 psi. Logs shall be sized and graded according to notes on plan. Grade shall be as approved by TPI in accordance with ASTM D-3957-84.
- Except as noted otherwise, minimum nailing shall be provided as specified in Table 2304.10.1 "Fastening Schedule" of the I.B.C., 2015 edition.
- Floor and roof sheathing shall be APA rated Structural I sheathing with exterior glue and graded in accordance with APA standards. Panel identification and thickness shall be as noted on the drawings.
- Where light gage framing anchors are shown or required, they shall be Simpson "Strong Tie" or equal ICBO approved connectors and shall be installed with the number and type of nails recommended by the manufacturer to develop the rated capacity.
- Glued Laminated timber shall be of such stress grade to provide glued laminated beams with combination symbol 24F-14.
- Laminated Veneer Lumber shall be of such stress grade to provide members with allowable fiber stress in bending = 2600 psi, modulus of elasticity of 1.9x10⁶ psi, and allowable shear stress parallel to the glue line = 285 psi.
- Trussed rafters shall be designed by a Professional Engineer licensed in the state of Colorado to support the full dead and live loads of the roof, ceiling, and any other superimposed loads. Calculations and shop drawings, including member sizes, lumber species and grades, and substantiating data for connector capacities, shall be submitted to the Architect or Engineer for review and approval prior to fabrication.
- Roof and floor joists shall be plant-fabricated I-series with LVL wood flanges and plywood or OSB webs, and carry ICBO approval for the composite section. Joists shall be designed to carry the full dead and live loads of the roof and floor and any other superimposed loads. Bridging and blocking shall be installed according to the fabricator's requirement.

BACK FILLING

- Do not backfill against basement or retaining walls until supporting slabs and floor framing are in place and securely anchored.

EPOXY ADHESIVE ANCHORING SYSTEM

- Epoxy adhesive anchoring system shall be Hilti HIT-RE 500 or approved equal.
- Anchor rods shall be furnished with chamfered ends so that either end will accept a nut and washer and meet the requirements of ISO 898 Class 5.8.
- Anchors shall have the following minimum embedments: 3/4" - 6 3/4", 5/8" - 5 5/8", 1/2" - 4 1/2".

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

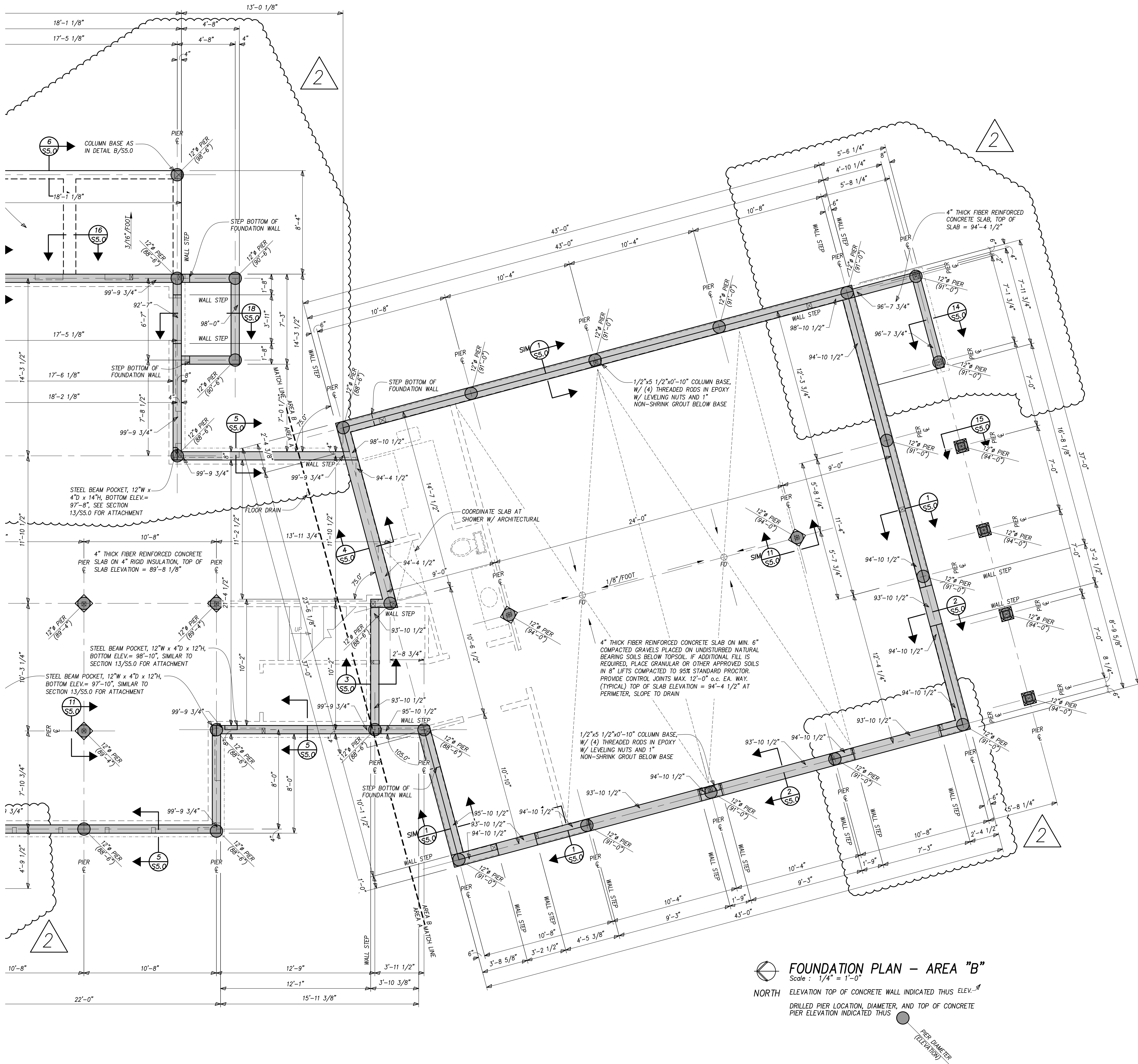
- The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced.
- The Contractor, in the proper sequence, shall provide proper shoring and bracing as may be required during construction to achieve the final completed structure.
- The Contractor shall submit a shoring plan for approval prior to construction and all shoring shall be inspected and approved by Engineer prior to demolition.

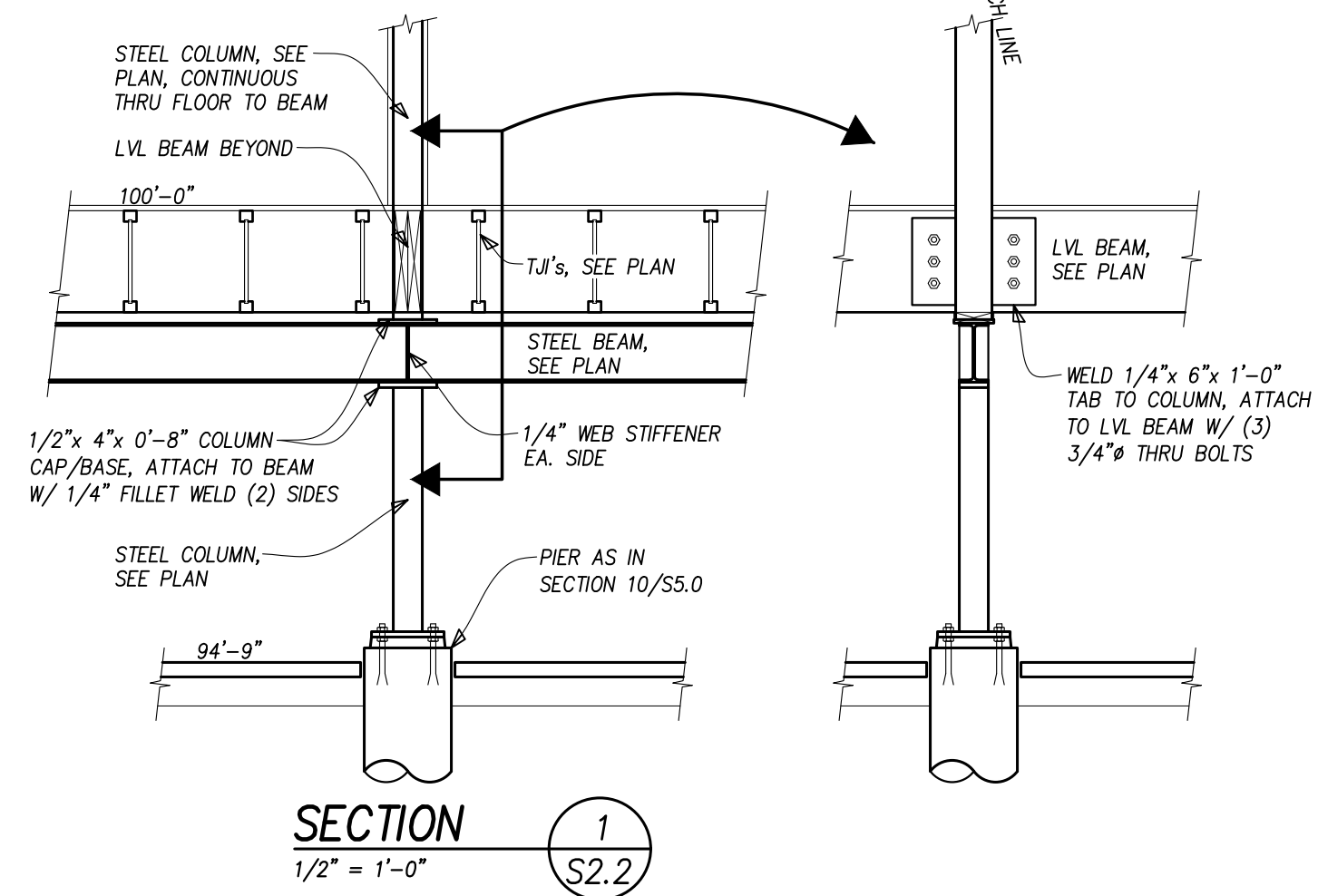
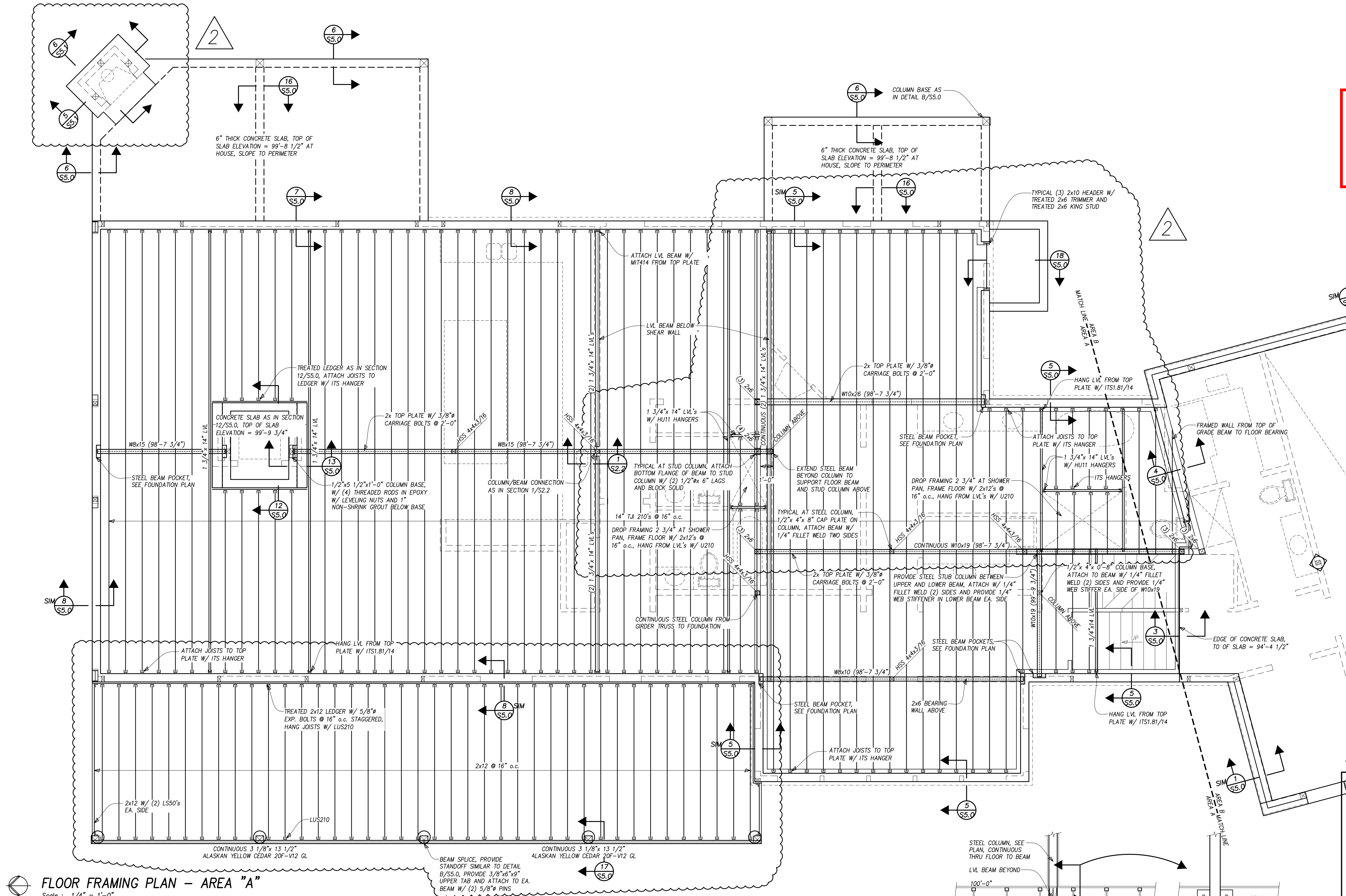
MASONRY

- Hollow load-bearing concrete masonry shall be normal weight units conforming to ASTM C90, Grade N. Minimum ultimate compressive strength (fm) = 1900 psi.
- Mortar shall be Type S consisting of a mixture of portland cement, hydrated lime and aggregate conforming to the proportion specifications of IBC Table 2103.7(1) or the property specifications of IBC Table 2103.7(2) and conforming to ASTM C270. Masonry cement shall not be used. Admixtures shall not be added for any reason unless approved by the Architect. Minimum 28-day cube strength = 1800 psi.
- Grout used in masonry walls and block cells shall be coarse grout conforming to proportion specifications of IBC Table 2103.10 or as defined by ASTM C476. Grout shall be placed by vibrating or puddling, if grout lifts exceed 4'-0" in height clean-out holes shall be provided in each grouted cell. Minimum cube strength = 2000 psi.
- Use continuous joint reinforcing in all masonry walls with a maximum vertical spacing of 16".
- Except for lintels, bond beam units shall be produced from standard vertically voided units with pre-cut knock-out cross walls.
- Reinforcing shall be grade 60. Stagger splices in the same block course by 4'-0" minimum and lap bars in all splices a minimum of 48 diameters. At corners and intersections, make horizontal bars continuous or provide matching corner bars. Provide dowels from the foundation to match size and location of all vertical reinforcing in walls.
- Special Inspection is required for all structural masonry construction.

SPECIAL INSPECTIONS

- All special inspections shall comply with chapter 17 of the International Building Code (IBC). These inspections are in addition to the inspections specified in Section 109 of the IBC.
- The Special Inspector and testing agent shall be engaged by the Owner or the Owner's Agent, and not by the Contractor or Subcontractor whose work is to be inspected or tested. Any conflict of interest must be disclosed to the Building Official prior to commencing work.
- The Special Inspector shall be a qualified person who shall demonstrate competence, to the satisfaction of the Building Official, for inspection of the particular type of construction or operation requiring special inspection.
- The credentials of all inspectors, administrators and testing technicians shall be provided if requested.
- The Special Inspector shall keep records of all inspections and shall furnish inspection reports to the Building Official and the Registered Design Professional in Responsible Charge.
- Discovered discrepancies shall be brought to the immediate attention of the Contractor for correction. If such discrepancies are not corrected, the discrepancies shall be brought to the attention of the Building Official and the Registered Design Professional in Responsible Charge.
- The Special Inspection program does not relieve the Contractor of his or her responsibilities.
- A Final Report of Special Inspections documenting completion of all required Special Inspections, testing and correction of any discrepancies noted in the inspections shall be submitted prior to issuance of a Certificate of Use and Occupancy.
- Job site safety and means and methods of construction are solely the responsibility of the Contractor.
- The Special Inspection program does not relieve the Contractor or any other entity of any contractual duties, including quality control, quality assurance, or safety.
- The Contractor is solely responsible for construction means, methods, and job site safety.
- Special inspection is required for the off site fabrication of structural steel load-bearing members and assemblies unless the work is done on the premises of a fabricator registered and approved to perform such work without special inspection.
- In addition to special inspections required by chapter 17 of the IBC and those required by the Building Official the following site specific inspections are required:
 - Installation of Epoxy Adhesive Anchors.
 - Visual inspection of all welds and continuous inspection of all complete and partial penetration groove welds.
 - Attachment of wood diaphragms to steel frame.





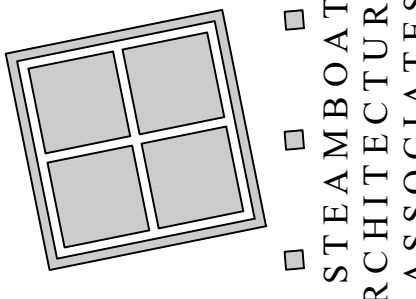
RCRBD Record Set
 11/15/2020

ALPENGLOW
 ENGINEERING & ARCHITECTURE
 Consulting Structural Engineers
 117 12th Street
 Steamboat, CO 80447
 P: 970.879.1181
 F: 970.879.1181

DRAWN BY: CAS
 PROJECT # 18-009
 FLOOR FRAMING PLAN



William J. Rangitsch
 970.879.0819
 p.o. box 772910 345 Lincoln ave ste 200
 steamboat springs, co 80447



A Single-Family Residence for
David & Jane Blandford
 Lot B8, Marabou
 Routt County, Colorado

REVISION 2 - CHANGES FOR RCBD AND OWNER

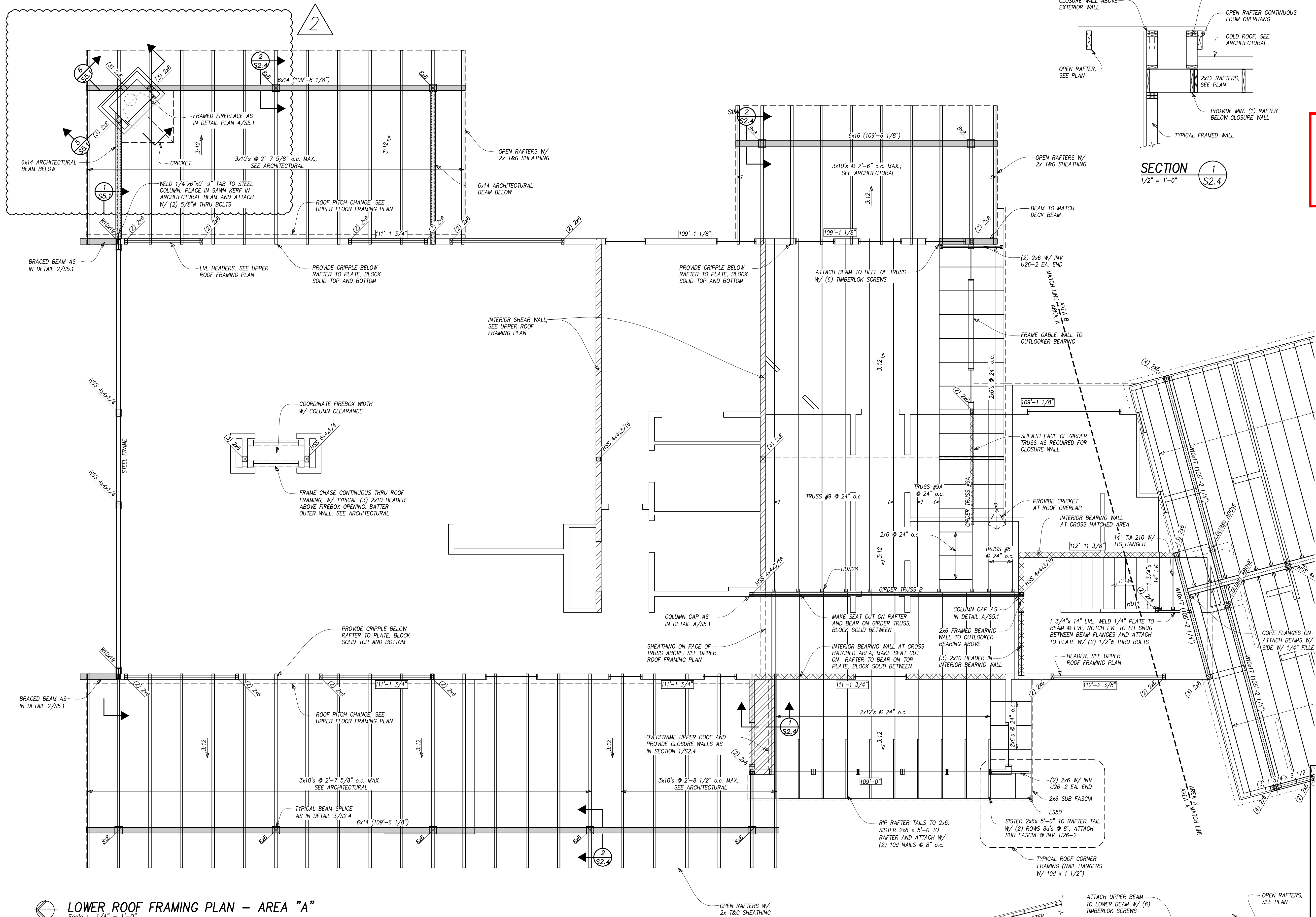
12 OCT 20

26 OCT 18

S2.2

15-22

THESE DRAWINGS
 DO NOT INCLUDE
 THE COMPONENTS
 NECESSARY FOR
 CONSTRUCTION
 SAFETY.
 © Copyright 2015 SAA, P.C.



LOWER ROOF FRAMING PLAN – AREA "A" Scale : 1/4" = 1'-0"

NORTH

FRAME EXTERIOR WALLS ARE TO BE 2x6 @ 16" o.c. W/ 1 1/2" R6 ZIP SYSTEM SHEATHING UNLESS NOTED OTHERWISE

TYPICAL HEADER THIS PLAN, (3) 2x10's W/ (1) 2x6 TRIMMER AND (1) 2x6 KING STUD EACH END UNLESS NOTED OTHERWISE

TYPICAL AT ROOF, 5/8" APA RATED, EXPOSURE 1, SHEATHING

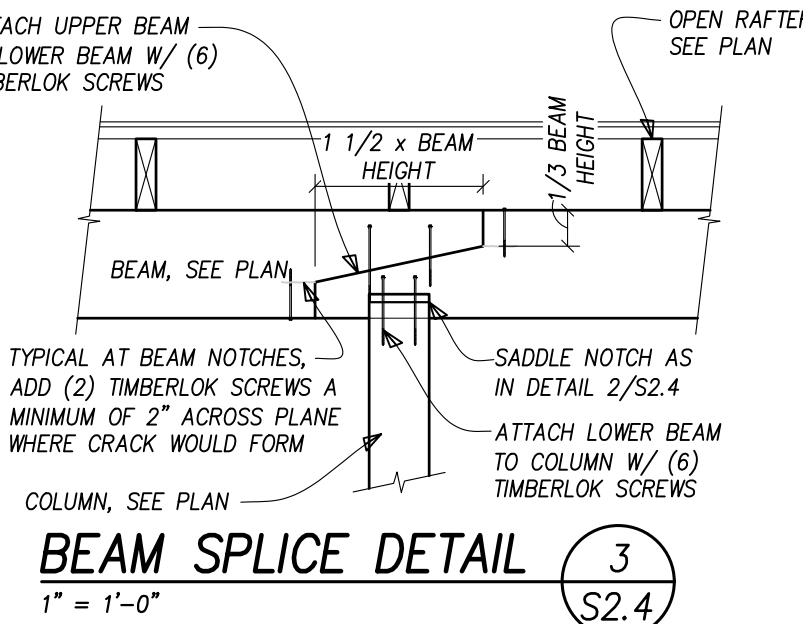
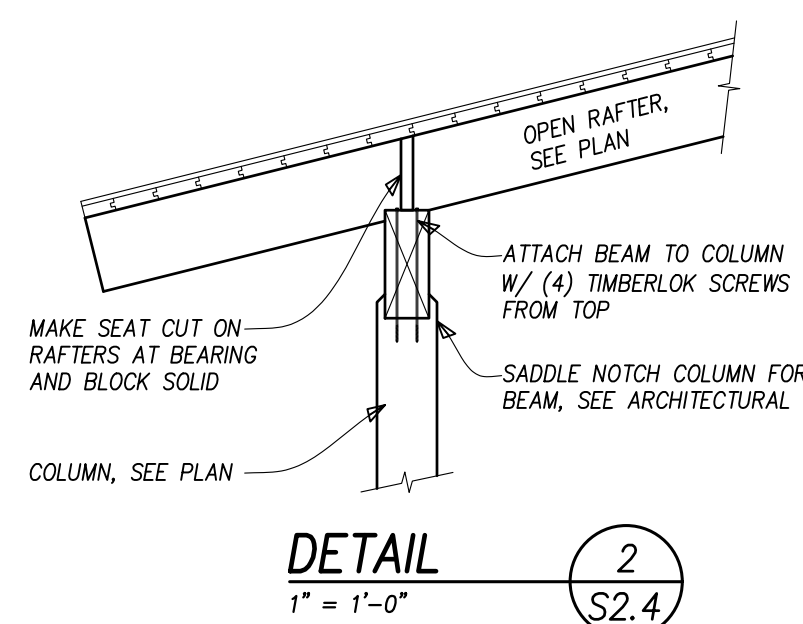
TYPICAL SUB-FASCIA THIS PLAN, IS TO BE 2x6

TOP OF PLATE ELEVATION ON FRAME BEARING WALL SHALL BE INDICATED BY XX'-XX"

(XX'-XX") INDICATES ELEVATION TOP OF STEEL OR TIMBER BEAM

TYPICAL TIMBER CONNECTIONS TO BE CONCEALED OR COUNTERSUNK AND PLUGGED

INDICATES SIZE OF COLUMN BELOW BEAM AT INDICATED LOCATION



THESE DRAWINGS DO NOT INCLUDE THE COMPONENTS NECESSARY FOR CONSTRUCTION SAFETY.

Copyright 2015 SAA, P.C.

RCRBD Record Set

ALPENGLOW

ENGINEERING SOCIETY OF PROFESSIONAL ENGINEERS

Consulting Structural Engineers

117 12th Street, Suite 200
Steamboat Springs, CO 80487
970.879.1181
alpenglowsa.com

11/15/2020

DRAWN BY: CAS
PROJECT# 18-009
LOWER ROOF FRAMING

COLORADO LICENSED
BRADWIN F. SCHULTZ
40325
PROFESSIONAL ENGINEER

William J. Rangitsch

970.879.0819

p.o. box 772910 345 Lincoln ave ste 200
steamboat springs, co 80487

STEAMBOAT ARCHITECTURAL ASSOCIATES

A Single-Family Residence for
David & Jane Blandford

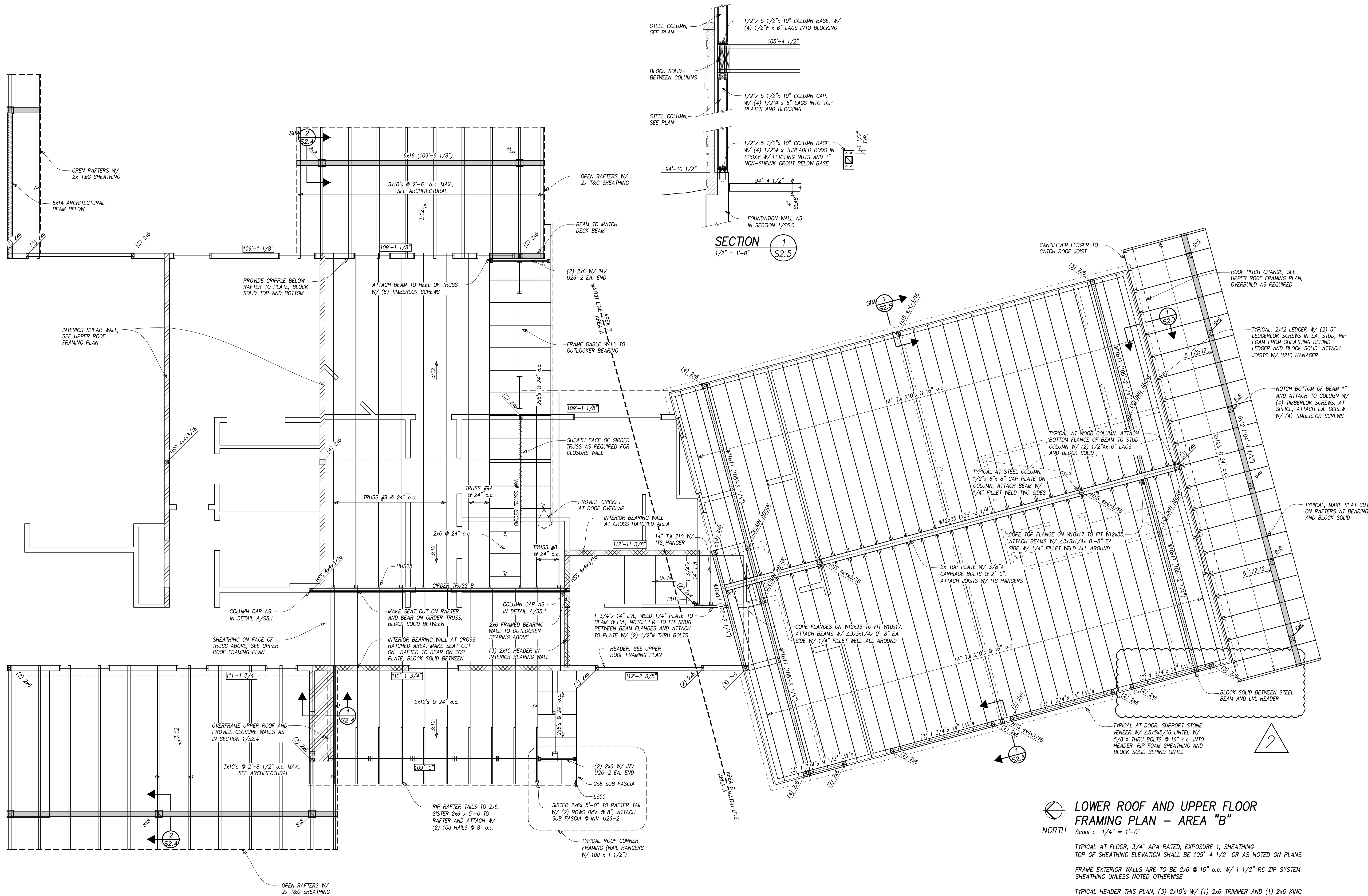
Lot B8, Marabou
Routt County, Colorado

S2.4

12 OCT 20

26 OCT 18

15-22



**LOWER ROOF AND UPPER FLOOR
FRAMING PLAN – AREA "B"**
Scale : 1/4" = 1'-0"

TYPICAL AT FLOOR, 3/4" APA RATED, EXPOSURE 1, SHEATHING
TOP OF SHEATHING ELEVATION SHALL BE 105'-4 1/2" OR AS NOTED ON PLANS

FRAME EXTERIOR WALLS ARE TO BE 2x6 @ 16" o.c. W/ 1 1/2" R6 ZIP SYSTEM
SHEATHING UNLESS NOTED OTHERWISE

TYPICAL HEADER THIS PLAN, (3) 2x10's W/ (1) 2x6 TRIMMER AND (1) 2x6 KING
STUD EACH END UNLESS NOTED OTHERWISE

TYPICAL AT ROOF, 5/8" APA RATED, EXPOSURE 1, SHEATHING
TYPICAL SUBFASCIA THIS PLAN, IS TO BE 2x12

(XX'-XX") INDICATES ELEVATION TOP OF STEEL OR TIMBER BEAM

TYPICAL TIMBER CONNECTIONS TO BE CONCEALED OR COUNTERSUNK AND
PLUGGED

INDICATES SIZE OF COLUMN BELOW BEAM AT INDICATED LOCATION

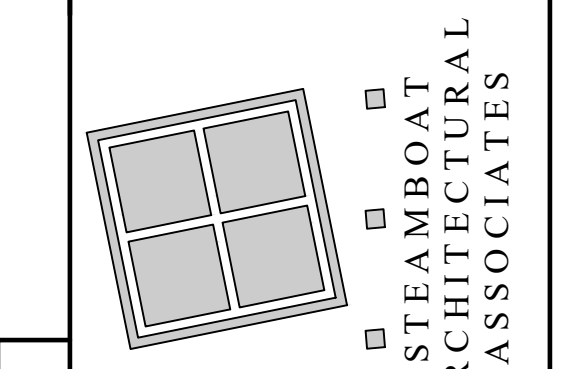
RCRBD Rec. Set
11/15/2020

ALPENGLOW
ENGINEERING & ARCHITECTURE
Consulting Structural Engineers
117 12th Street
Steamboat Springs, CO 80477
970.879.1181
alpenglowsa.com

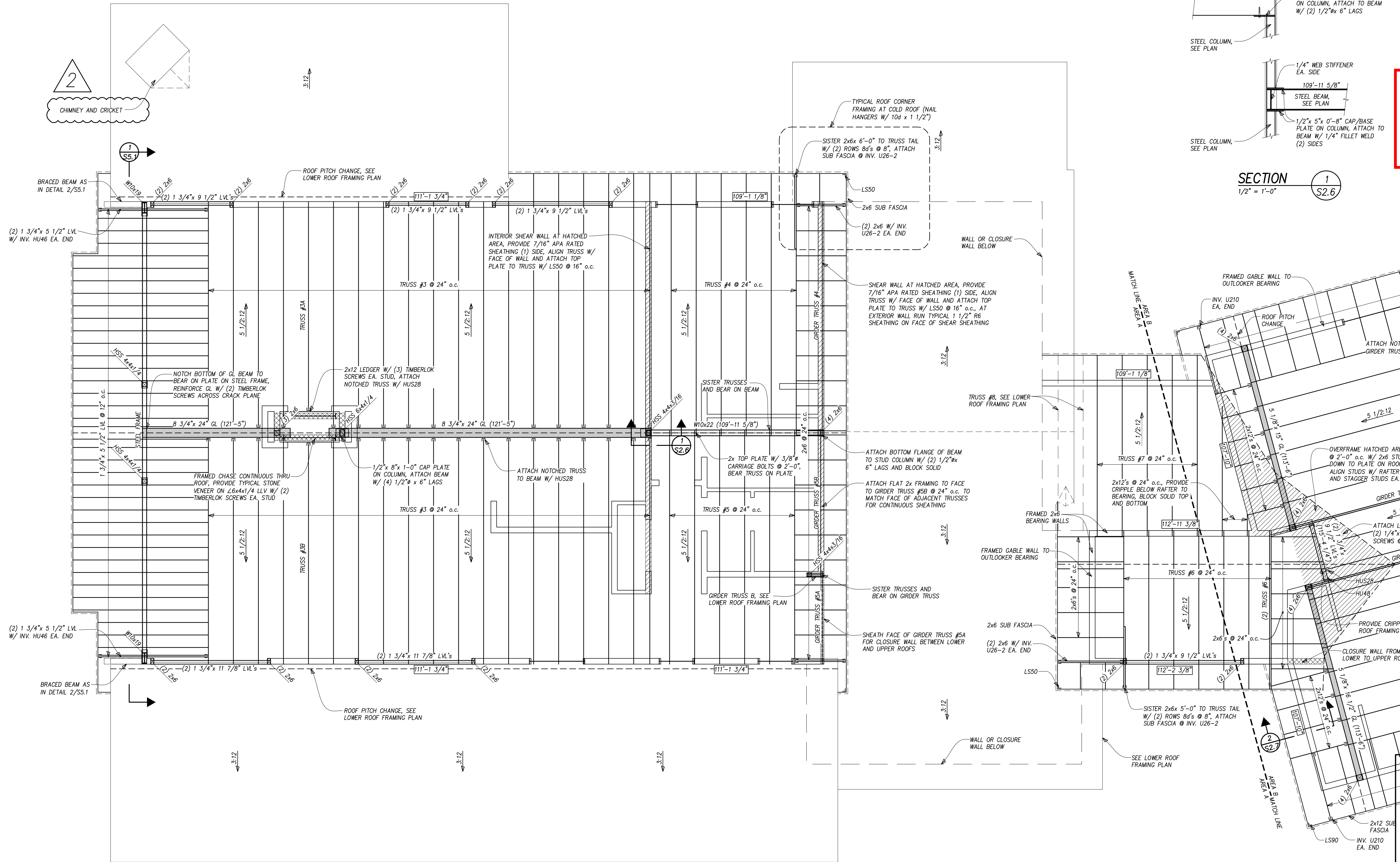
DRAWN BY: CAS
PROJECT# 18-009
UPPER FLOOR FRAMING



William J. Rangitsch
970.879.0819
p.o. box 772910 345 lincoln ave ste 200
steamboat springs, co 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado



UPPER ROOF FRAMING PLAN - AREA "A"

Scale : 1/4" = 1'-0"

FRAME EXTERIOR WALLS ARE TO BE 2x6 @ 16" o.c. W/ 1 1/2" R6 ZIP SYSTEM SHEATHING UNLESS NOTED OTHERWISE

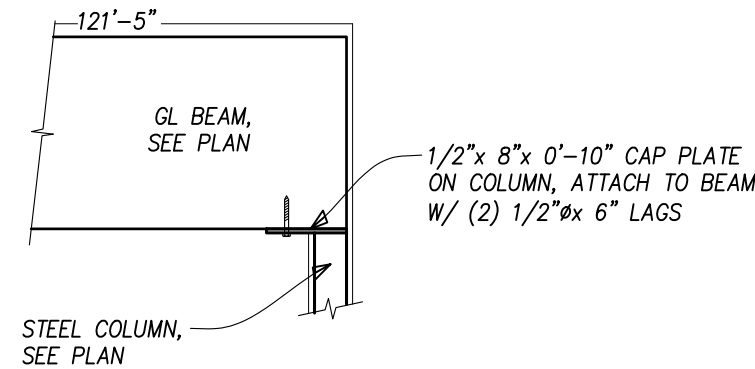
TYPICAL HEADER THIS PLAN, (3) 2x10's W/ (1) 2x6 TRIMMER AND (1) 2x6 KING STUD EACH END UNLESS NOTED OTHERWISE

TYPICAL AT ROOF, 5/8" APA RATED, EXPOSURE 1, SHEATHING TYPICAL SUB-FASCIA THIS PLAN, IS TO BE 2x6

TOP OF PLATE ELEVATION ON FRAME BEARING WALL SHALL BE INDICATED BY XX'-XX"

(XX'-XX") INDICATES ELEVATION TOP OF STEEL OR TIMBER BEAM

INDICATES SIZE OF COLUMN BELOW BEAM AT INDICATED LOCATION



SECTION 1

1/2" = 1'-0"

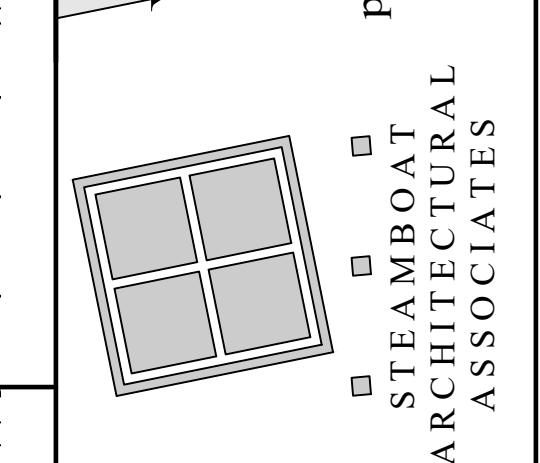
RCRB Record Set
11/15/2020

ALPENGLOW
ENGINEERING & ARCHITECTURE
Consulting Structural Engineers
117 12th Street
Steamboat Springs, CO 80487
970.879.1181

DRAWN BY: CAS
PROJECT# 18-009
UPPER ROOF FRAMING



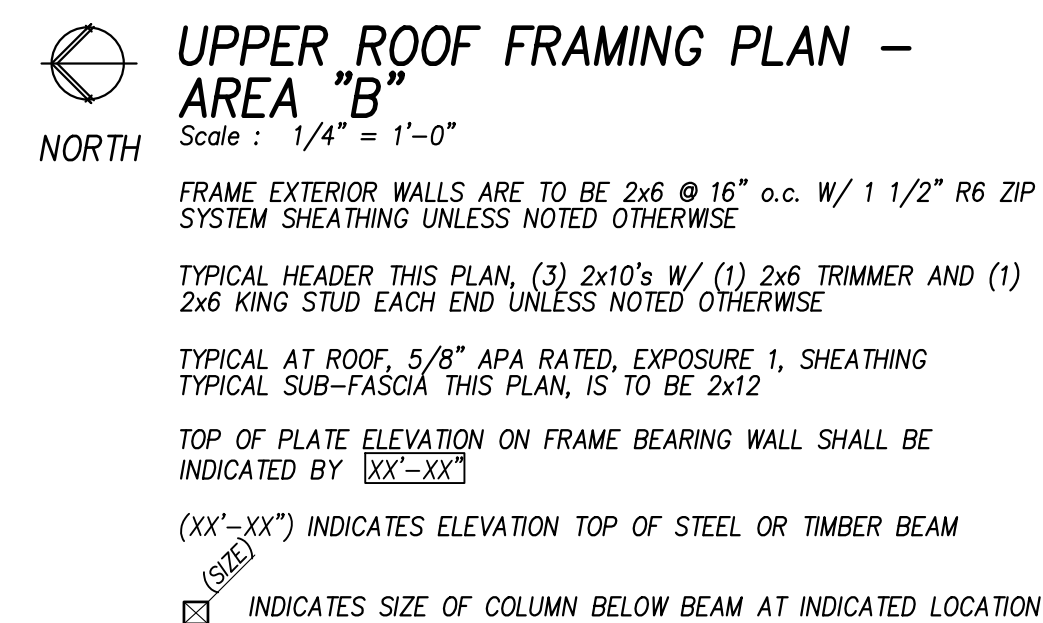
William J. Rangitsch
970.879.0819
p.o. box 772910 345 Lincoln Ave Ste 200
Steamboat Springs, CO 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

REVISION 2 - CHANGES FOR RCBD AND OWNER
12 OCT 20
26 OCT 18
S2.6
15-22

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.
© Copyright 2015 SAA, P.C.



THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

© Copyright 2015 SAA, P.C.

RCRBD Record Set

ALPENGLOW
ENGINEERING SOLUTIONS;
Consulting Structural Engineers

117 12th Street, P.O. Box 773501
Steanboat Springs, CO 80477
970.879.1181 alpenglows.com

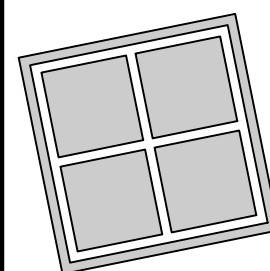
DRAWN BY: CAS
PROJECT# 18-009
UPPER ROOF FRAMING



William J. Rangitsch

970.879.0819

p.o. box 772910 345 lincoln ave ste. 200
steamboat springs co 80477



STEAMBOAT
ARCHITECTURAL
ASSOCIATES

A Single-Family Residence for

David & Jane Blandford

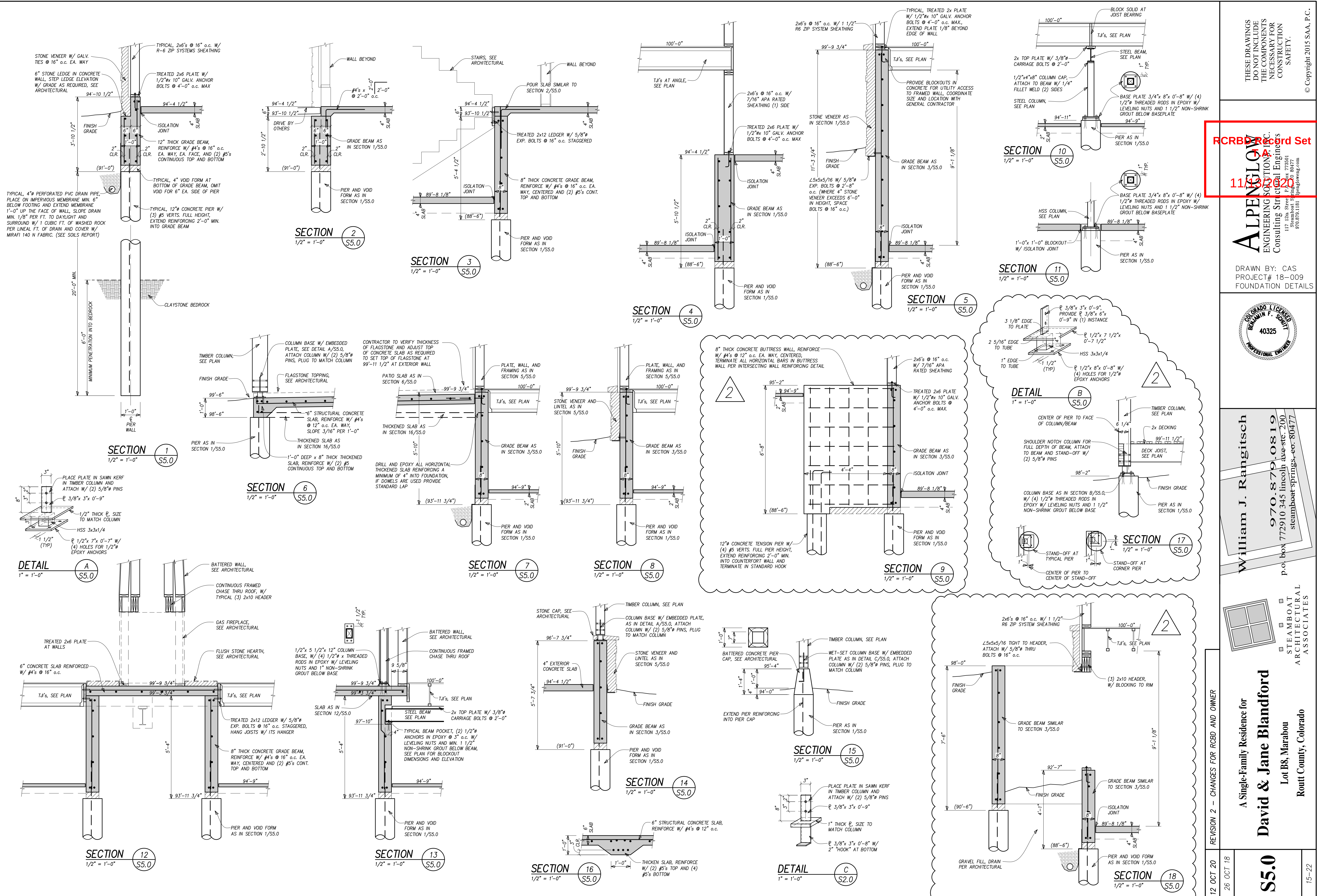
Lot B8, Marabou

Routt County, Colorado

26 OCT 18

S2.7

15-22



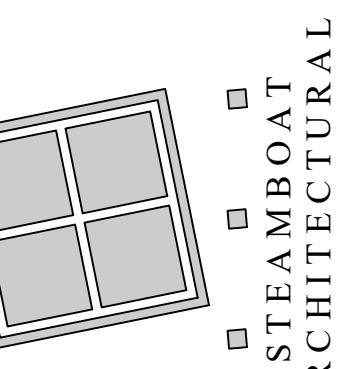
RCRBD Record Set
11/15/2020

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.

Copyright 2015 SAA, P.C.



William J. Rangitsch
970-879-0819
772910 345 Lincoln Ave Ste 200
Steamboat Springs, CO 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

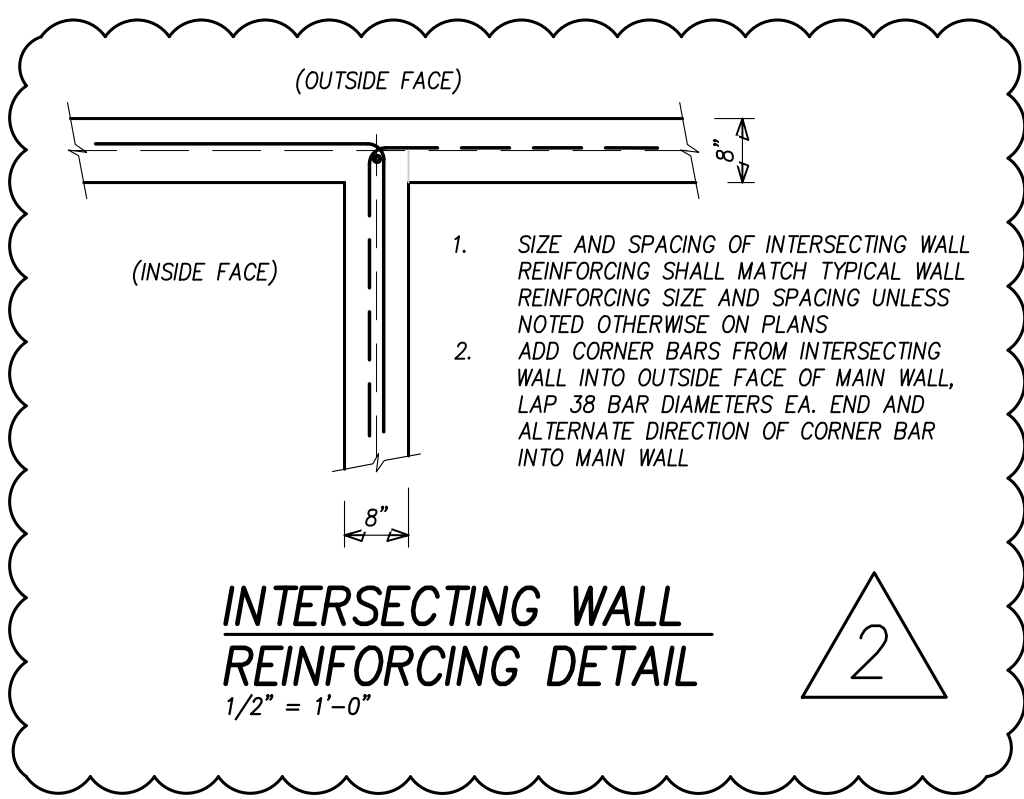
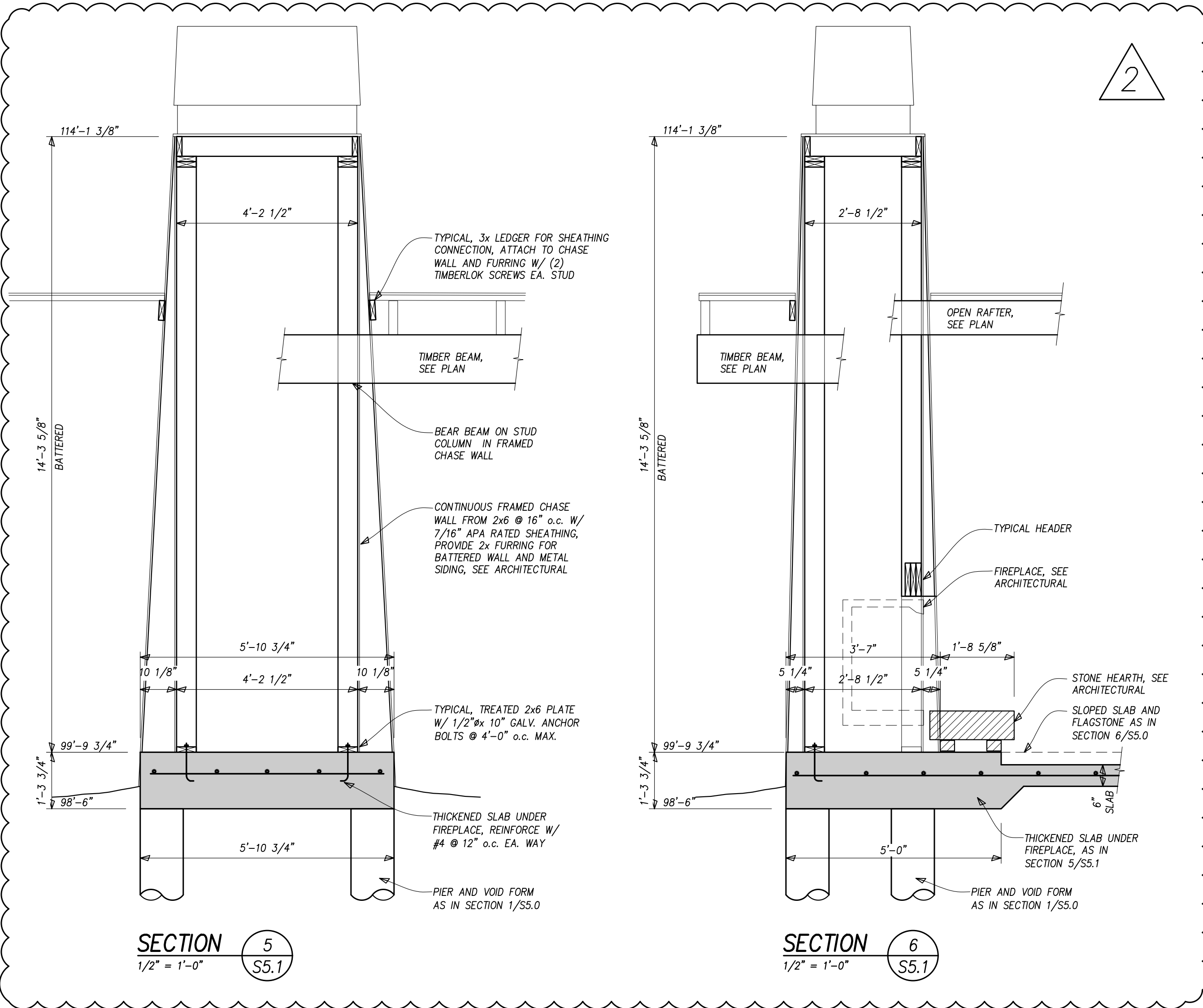
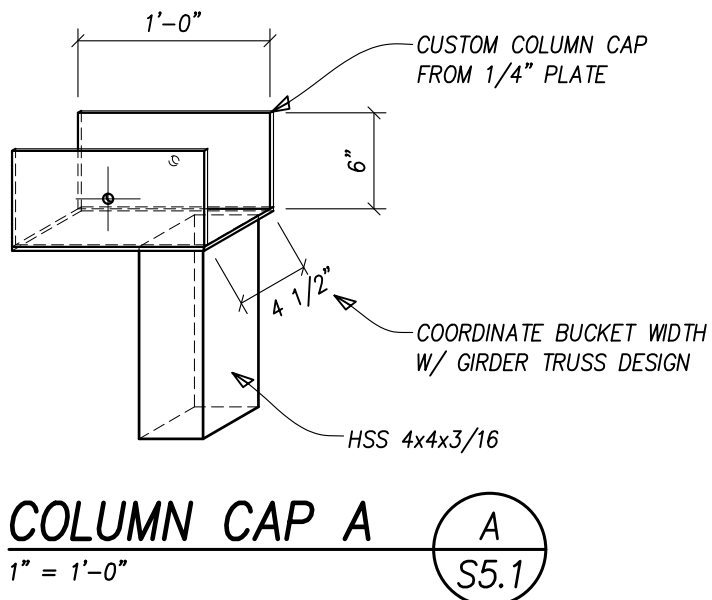
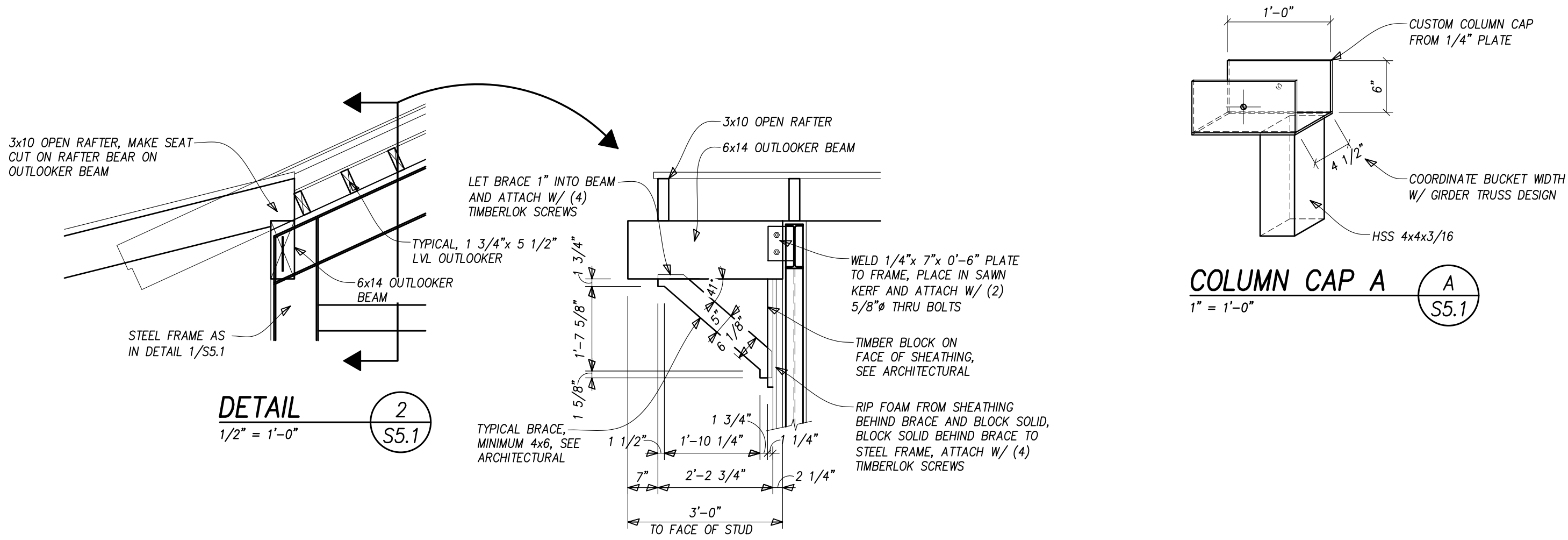
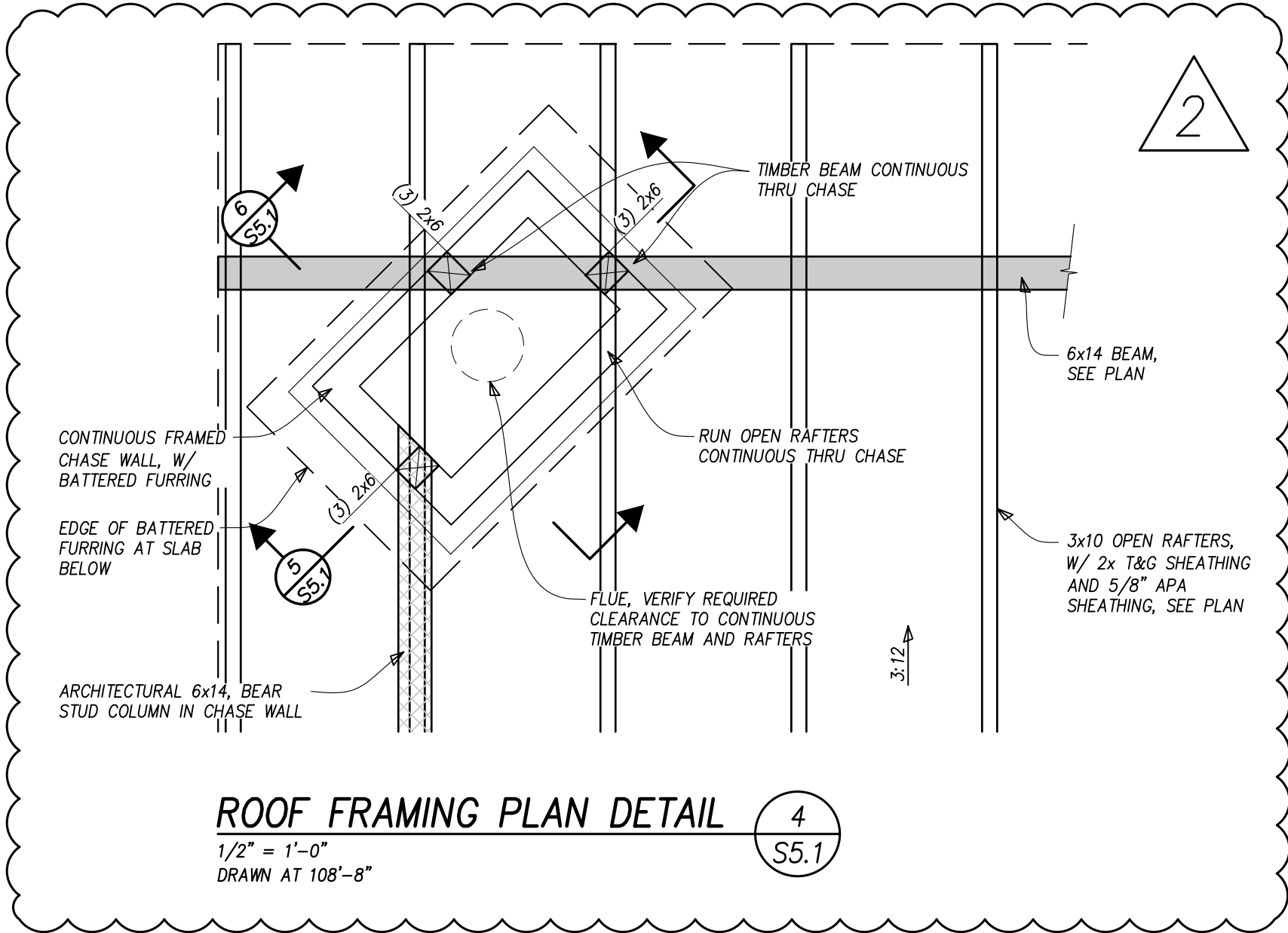
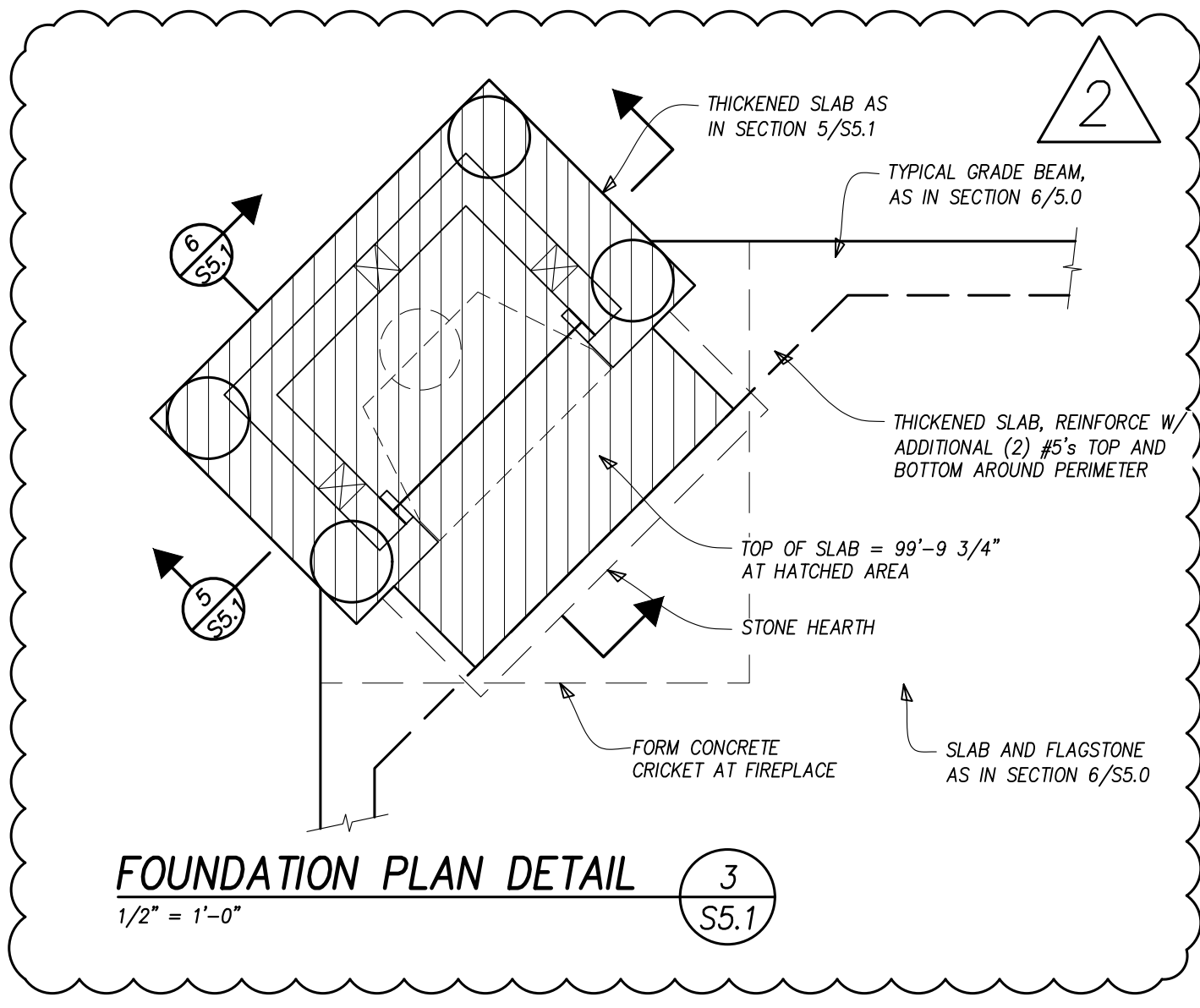
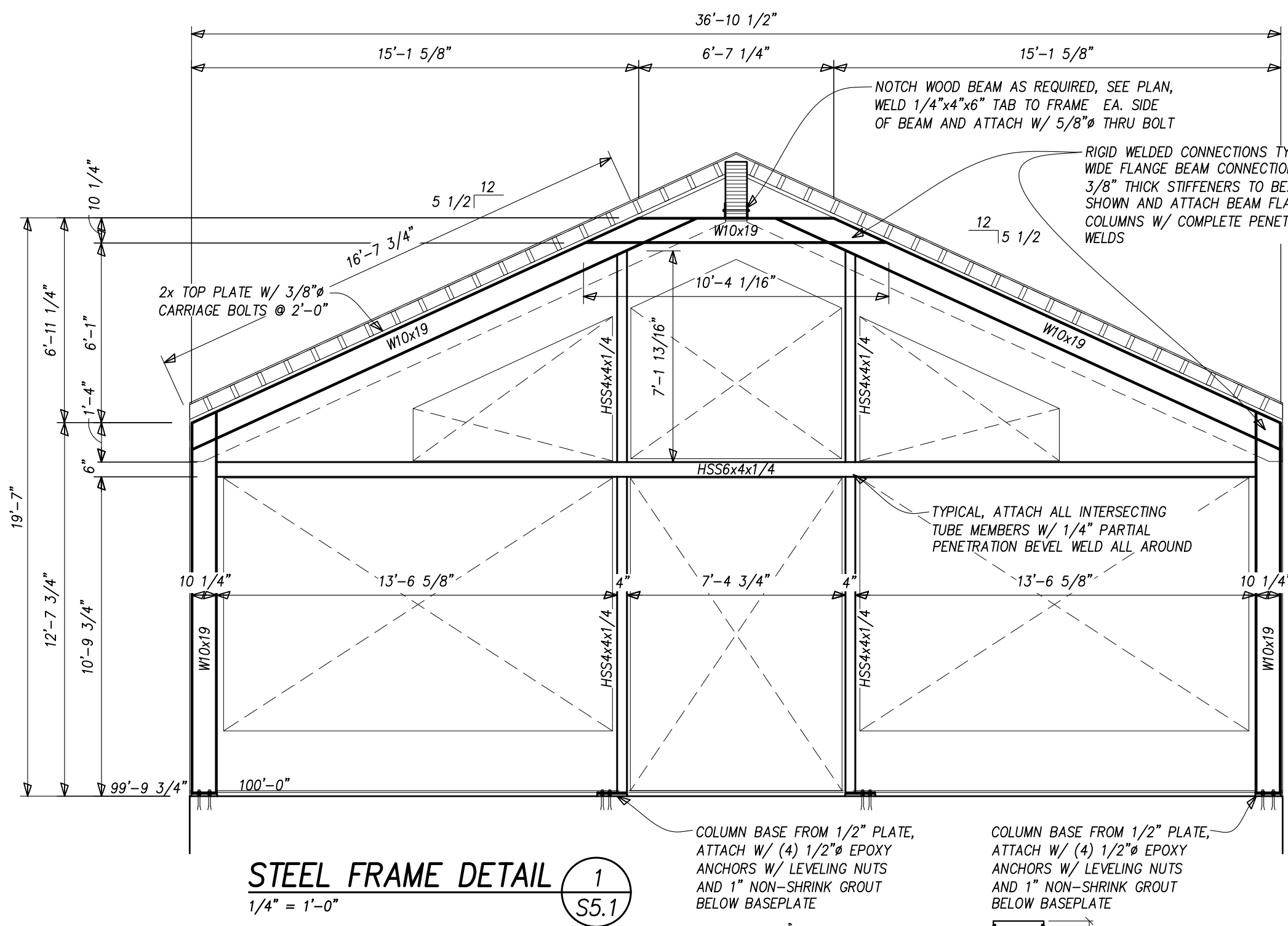
S5.0

15-22

REVISION 2 - CHANGES FOR RCB AND OWNER

12 OCT 20

26 OCT 18



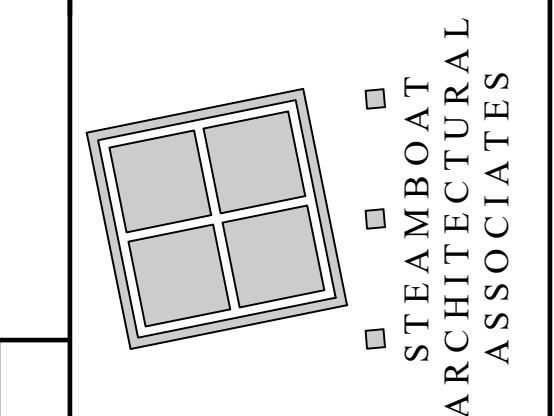
RCRBD Record Set
11/18/2020

ALPENGLOW P.C.
ENGINEERING & ARCHITECTURE
Consulting Structural Engineers
117 12th Street
Steamboat Springs, CO 80477
970.879.1181
alpenglowsa.com

DRAWN BY: CAS
PROJECT# 18-009
FRAMING DETAILS



William J. Rangitsch
970.879.0819
p.o. box 772910 345 Lincoln Ave. Ste. 200
Steamboat Springs, CO 80477



A Single-Family Residence for
David & Jane Blandford
Lot B8, Marabou
Routt County, Colorado

REVISION 2 - CHANGES FOR RCB AND OWNER

12 OCT 20

26 OCT 18

S5.1

15-22

THESE DRAWINGS
DO NOT INCLUDE
THE COMPONENTS
NECESSARY FOR
CONSTRUCTION
SAFETY.
© Copyright 2015 SAA, P.C.

