

STEAMBOAT ARCHITECTURAL ASSOCIATES

345 Lincoln Avenue, Suite 200
P.O. Box 772910
Steamboat Springs, Colorado 80477

ph: (970) 879-0819
fax:(970) 879-3406
email: saa@steamboatarchitectural.com

FROM: ERICA HEWITT, HISTORIC PRESERVATION CONSULTANT TO THE CITY OF STEAMBOAT SPRINGS

TO: HISTORIC PRESERVATION COMMISSION
CITY OF STEAMBOAT SPRINGS

THROUGH: REBECCA BESSEY, AICP
PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR

DATE: December 7, 2020

SUBJECT: 873 Yahmonite Street – TB-20-1121 Permit Application Review

ADMINISTRATIVE REVIEW:

Upon receipt of any permit application under subsection 111.C.1 for the Alteration to any building, site, structure or object or site which is an Eligible Resource, the historic preservation staff shall review the application for compliance with the requirements of this section. Upon a determination by the historic preservation staff that the proposed Alteration will not significantly alter the historic character of such building, site, structure or object which is an Eligible Resource, the historic preservation staff may recommend approval to the HPC without referring the application for public hearing before the HPC.

In determining whether the proposed Alteration will significantly alter the historic character of such building, site, structure or object which is an Eligible Resource, the historic preservation staff shall apply the Secretary of the Interior's Standards, the Design Guidelines, this section and any other applicable provisions of the CDC.

The historic preservation staff shall notify the HPC in writing of the historic preservation staff 's decision to recommend approval without a public hearing by HPC. The historic preservation staff's recommendation shall take effect upon the passage of seven (7) days from the date of notice unless any member of HPC objects thereto in writing prior to the expiration of the seven-day period. An HPC member's objection must be based on an incorrectly applied standard, guideline, or other code provision. In the event of such objection, the proposed Alteration shall be scheduled for a public hearing within thirty (30) days of the written notice from the historic preservation staff to the HPC.

DATE OF RECOMMENDATION NOTICE: December 4, 2020

PROPERTY ADDRESS: 873 Yahmonite Street – Eligibility has not been established. There is an inventory form for the property that is incomplete. It states the property is ineligible, but there is no information about the property. Another section also says the property has a high level of integrity. But again, no description of the property. Therefore, eligibility has not been established. Attached is the incomplete inventory and the property card from the Routt County Assessor's Office.

OWNER: Lucas Mouttet and Shay Bright-Mouttet

PROPOSED ALTERATION: (See attached Sheets Permit drawings provided by Owner– Becker Architecture and AES dated 10/07/20.)

The permit submitted proposes adding a second story to the detached next to the main house. The house is sited at an angle to the road and the garage is next to/behind the house that faces the street. According to the Assessor, the house was built in 1957 and in 2019, the carport was enclosed with a garage door. The garage was built in 1978, making it non-historic per today's standards. It is not yet 50 years old.

The proposed addition is to add a second story to the garage with a shed roof. The roof pitch appears to match the roof pitch of the existing house. Since the existing house is only a one-story building, the garage addition will be taller than the house. At the high point of the shed roof, the height will be approximately 25' and 21' at the lower point of the roof. The garage doors will remain in the same location. The access to the addition will be off the back of the house. According to the owner, the siding will all have to be replaced. They are proposing to put a beetle kill horizontal lap siding painted to match house with barn wood accents.



While the height of the garage addition will be taller than the main resource, it is set back and away from the house. The design of the addition is sympathetic yet undeniable different than the main house.



The project has been reviewed in conformance with the Community Development Code Section (CDC) 112 and the Historic Preservation Design Guidelines. The garage is in conformance with the Design Guidelines for Treatment of Secondary Structures Chapter 8.

Recommendation: Consultant recommends administrative approval of the proposed addition based on compliance with the Design Guidelines as stated above and the following recommendations:

1. HPC encourages applying to the Steamboat Springs Register of Historic Places. Per CDC Section 112.1.2 Owners of Local Landmarks, Historic Resources and Contributing Properties can be entitled to certain rebates and waivers of city sales tax, and Planning Department permit fees associated with work consistent with the Design Guidelines and the Secretary of the Interior Standards.

In Conclusion:

The Steamboat Springs Historic Preservation Commission, City staff, and the City's consultants are available if the owner would care for further discussion or consultation. Improved value is a proven aspect of historic neighborhoods that implement design guidelines. The City of Steamboat Springs Historic Preservation Design Guidelines dated November 2001 is **mandatory for review but voluntary in compliance in the RN-2 zone district.**

We recommend the following in relation to the referenced guideline section:

11.1 Keep color schemes simple.

- Using one base color for the building is preferred. Muted colors are appropriate for the base color.
- Using only one or two accent colors is also encouraged, except where precedent exists for using more than two colors with some architectural styles.

11.2 Coordinating the entire building in one color scheme is usually more successful than working with a variety of palettes.

- Using the color scheme to establish a sense of overall composition for the building is strongly encouraged.

Architectural Inventory Form

Official Eligibility Determination (OAHF use only)

OAHF1403

Rev. 9/98

Date _____ Initials _____

- Determined Eligible – National Register
- Determined Not Eligible – National Register
- Determined Eligible – State Register
- Determine Not Eligible – State Register
- Need Data
- Contributes to eligible National Register District
- Noncontributing to eligible National Register District

I. IDENTIFICATION

- | | | | |
|-------------------------------|---|-------------------|------------------|
| 1. Resource number: | | Parcel number(s): | 176805003 |
| 2. Temporary resource number: | N/A | | |
| 3. County: | Routt | | |
| 4. City: | Steamboat Springs | | |
| 5. Historic Building Name: | Cary House | | |
| 6. Current Building Name: | Turek House | | |
| 7. Building Address: | 873 Yahmonite Street | | |
| 8. Owner Name: | Norbert Turek | | |
| Owner Organization: | | | |
| Owner Address: | P O Box 776192 | | |
| | Steamboat Springs, Co 80477-6192 | | |

44. National Register eligibility field assessment:	
Local landmark eligibility field assessment:	Not Eligible

Architectural Inventory Form

Page 2 of 6

II. GEOGRAPHIC INFORMATION

9. P.M.: **6th** Township: **6N** Range: **84W**
SW ¼ of SW ¼ of SW ¼ of NE ¼ of Section 8
10. UTM reference (Datum: NAD27)
 Zone: **13** **344631 mE** **4484186 mN**
11. USGS quad name: **Steamboat Springs, Colorado**
 Year: **1969** Map scale: **7.5'**
12. Lot(s): **Lots 3 & 4 Block 5**
 Addition: **Yahmonite Addition** Year of addition: **1909**
13. Boundary description and justification:
This legally defined parcel encompasses, but does not exceed, the land historically associated with this property.
 Metes and bounds?: Describe:

III. ARCHITECTURAL DESCRIPTION

14. Building plan (footprint, shape): **Circular Plan**
15. Dimensions in feet:
16. Number of stories:
17. Primary external wall material(s): **Earth**
18. Roof configuration: **Barrel Roof**
19. Primary external roof material: **Earth Roof**
 Other roof materials:
20. Special features:
21. General architectural description:
22. Architectural style:
 Building type: **Ranch Type**
23. Landscape or special setting features:
24. Associated buildings, features or objects:

IV. ARCHITECTURAL HISTORY

25. Date of construction: Estimate: Actual: **1957**
 Source of information:
26. Architect:
 Source of information:
27. Builder:
 Source of information:
28. Original owner:
 Source of information:
29. Construction history:

Architectural Inventory Form

30. Original location: Moved: Date of move(s):

V. HISTORICAL ASSOCIATIONS

31. Original use(s): **Domestic, Domestic/Single Dwelling/Single Dwelling**

32. Intermediate use(s): **Domestic/Single Dwelling**

33. Current use(s):

34. Site type(s): **Single family residence**

35. Historical background:

36. Sources of information:

VI. SIGNIFICANCE

37. Local landmark designation: Yes No Date of designation:

Designating authority:

38. Applicable National Register criteria:

A. Associated with events that have made a significant contribution to the broad pattern of our history;

B. Associated with the lives of persons significant in our past;

C. Embodies the distinctive characteristics of a type, period, or method of construction, or represents the work of a master, or that possesses high artistic values, or represents a significant and distinguished entity whose components may lack individual distinction;

D. Has yielded, or may be likely to yield, information important in history or prehistory.

Qualifies under Criteria Considerations A through G (see Manual).

Does not meet any of the above National Register criteria.

Steamboat Springs Standards for Designation:

Not Applicable A. Its character, interest, or value as part of the development, heritage, or cultural characteristics of Routt County, the State of Colorado, or the United States.

Not Applicable B. Its location as a site of a significant historic event.

Not Applicable C. Its identification with a person or persons who significantly contributed to the culture and development of Routt County.

Not Applicable D. Its exemplification of the cultural, economic, social, or historic heritage of Routt County.

Not Applicable E. Its portrayal of the environment of a group of people in an era of history characterized by a distinctive architectural style.

Not Applicable F. Its embodiment of distinguishing characteristics of an architectural type or specimen.

Not Applicable G. Its identification as the work of an architect or master builder whose individual work has influenced the development of Routt County.

Not Applicable H. Its embodiment of elements of architectural design, detail, materials, and/or

Architectural Inventory Form

Page 4 of 6

craftsmanship that represent a significant architectural innovation.

Not Applicable I. Its relationship to other distinctive areas that are eligible for preservation according to a plan based on an historic, cultural, or architectural motif.

Not Applicable J. Its unique location or singular physical characteristic representing an established and familiar visual feature of a neighborhood, a community, or Routt County.

39. Area(s) of significance: **Not Applicable**

40. Period of significance: **Not Applicable**

41. Level of significance: National: State: Local:

42. Statement of significance:

43. Assessment of historic physical integrity related to significance:

This property displays a ! standard of physical integrity, relative to the seven aspects of integrity as defined by the National Park Service and the Colorado Historical Society - setting, location, design, materials, workmanship, feeling and association.

VII. NATIONAL REGISTER ELIGIBILITY ASSESSMENT

44. National Register eligibility field assessment:

Local landmark eligibility field assessment: **Not Eligible**

45. Is there National Register district potential? Yes No

Discuss: **Historic buildings within the survey area do not collectively possess sufficient historical or architectural significance, and/or display sufficient physical integrity, to comprise a State or National Register historic district.**

If there is National Register district potential, is this building: Contributing Noncontributing N/A:

46. If the building is in existing National Register district, is it: Contributing Noncontributing N/A:

VIII. RECORDING INFORMATION

47. Photograph number(s): CD # CDs filed at: **City of Steamboat Springs**

48. Report title: **137 10th Street**

49. Date(s): **Steamboat Springs, CO
80477**

50. Recorder(s): **Carl McWilliams
Timothy Wilder**

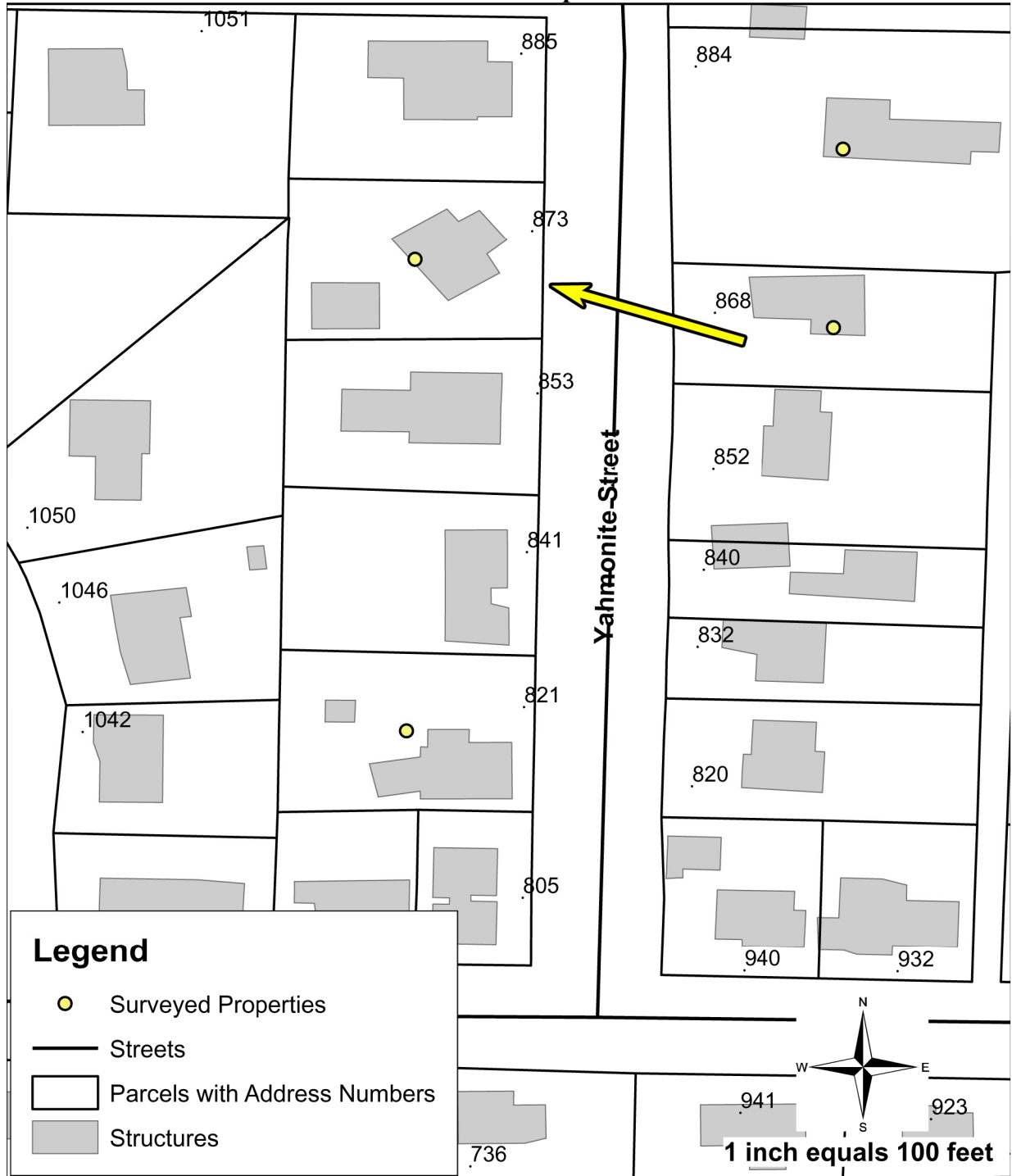
51. Organization: **Cultural Resource Historians**

52. Address: **1607 Dogwood Court
Fort Collins, CO 80525**

53. Phone number(s): **(970) 493-5270**

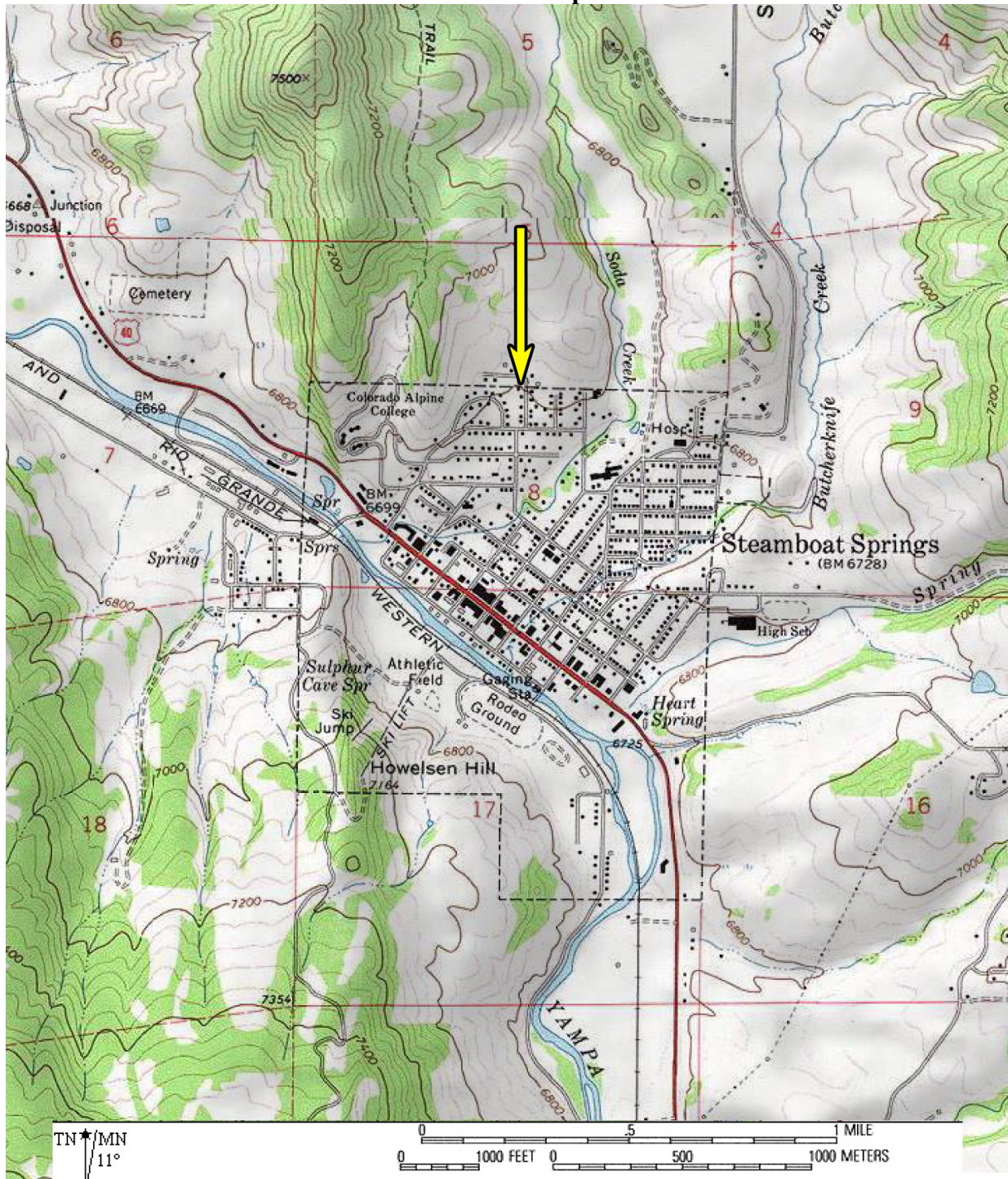
Architectural Inventory Form

Sketch Map



Architectural Inventory Form

Location Map



Property Record Card

Routt County Assessor

**MOUTTET, LUCAS M. &
BRIGHT-MOUTTET, SHAY
(JT)**

Account: R6777830

Tax Area: 20SS - *RE2* SS City
Limits_Old Town+Lower
Fish/Tamarack Areas & near Airport
Acres: 0.290

Parcel: 176805003

Situs Address:
873 YAHMONITE ST
STEAMBOAT SPRINGS, 80487

PO BOX 774801
STEAMBOAT SPRINGS, CO 80477

Value Summary

Value By:	Market	Override
Land (1)	\$425,000	N/A
Steamboat Res (1)	\$289,640	N/A
XFOB (1)	\$25,690	N/A
XFOB (2)	\$0	N/A
Total	\$740,330	\$740,330

Legal Description

LOTS 3 & 4 BLOCK 5 YAHMONITE ADD TO
SS



Public Remarks

Entry Date	Model	Remark
12/30/2009		12/30/09: SITUS PER MAX. SH
10/09/2012		MAILING ADDRESS CHANGED PER NORBERT TUREK. SH NW4 8-6-84
	Land Occurrence 1	
	Steamboat Res Occurrence 1	

Sale Data

Doc. #	Sale Date	Deed Type	Validity	Verified	Sale Price	Ratio	Adj. Price	Ratio	Time Adj. Price	Ratio
790891	06/15/2018	WD	QV	Y	\$645,000	114.78	\$645,000	114.78	\$645,000	114.78
607912	09/16/2004	WD	UV	N	\$340,000	217.74	\$340,000	217.74	\$454,240	162.98
485541	11/04/1997	QCD	QI	Y	\$12,500	5922.64	\$12,471	5936.41	\$12,471	5936.41



Property Record Card

Routt County Assessor

Sale Data

02/01/1993 Deeds UI N \$59,400 1246.35 \$59,400 1246.35 \$59,400 1246.35

Land Occurrence 1

Property Code	1112 - SINGLE FAM RESID LAND	Economic Area	1 - STEAMBOAT RESIDENTIAL
Super Neighborhood	3 - DOWNTOWN	Neighborhood	78002 - 78002 - NBHD
Land Code	7800440 - YAHMONITE TYPICAL	Land Use	1 - PRIME SITE
Zoning	RN2	Site Access	2 - YEAR-ROUND
Road	4 - PAVED	Site View	2 - GOOD
Topography	3 - SLOPING	Slope	2 - SLIGHT
Wetness	1 - NOT AFFECTED	Water	3 - COMM/PUBLIC
Utilities	4 - GAS/ELEC	Sewer	3 - COMM/PUBLIC
Zoning	RN2	Slope	2 - SLIGHT
Wetness	1 - NOT AFFECTED		

Steamboat Res Occurrence 1

Property Code	1212 - SINGLE FAM RESID IMPROVEMENTS	Economic Area	1 - STEAMBOAT
Super Neighborhood	3 - DOWNTOWN	Neighborhood	78002 - YAMONITE,N.HGLNDS,COMBS FLOOD,
Building Type	1 - 1 STORY	Grade/Quality	30 - AVERAGE
Foundation	1 - CONCRETE	Garage Capacity	1
Total Rooms	5	Bedrooms	3
Bath Count	2	Baths Full	0
Bath TQR	0	Baths Half	0
Kitchen Count	1	Fireplace Count	1
Fireplace Type	3 - MASONRY	Roof Style	1 - GABLE
Roof Cover	3 - METAL	Insulation	3 - AVERAGE
Windows	2 - SGL/GL W/ST	Exterior Condition	4 - NORMAL
Heating Fuel	2 - GAS	Heating Type	1 - FORCED AIR
Interior Condition	3 - NORMAL	Exterior Wall	13 - ASB/ASPH SHG
Percent	100	Architectural Style	18 - MODULAR
Effective Year Built	1990	Actual Year Built	1957
Fuel Type	2 - GAS		

SubArea	ABOVE GRADE LIVING	ACTUAL TOTAL SQ FT	Effective SqFt - Assessor Use Only	RENTAL AREA	UNIT VALUE
BSMT_FIN			374		
BSMT_TOTAL		1248	250		
FIRST	1248	1248	1248		
Total	1,248.00	2,496.00	1,872.00		
	Value	Rate	Rate	Rate	Rate
	\$289,640	232.08	116.04		154.72

XFOB Occurrence 1

Property Code	1212 - SINGLE FAM RESID IMPROVEMENTS	Paired Model	1
Grade	30 - AVERAGE	Effective Year Built	2005
XFOB Code	199 - UNAFFILIATED GARAGE	Actual Year Built	1978
Condition	4 - NORMAL		

SubArea	ABOVE GRADE LIVING	ACTUAL TOTAL SQ FT	Effective SqFt - Assessor Use Only	RENTAL AREA	UNIT VALUE
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Property Record Card

Routt County Assessor

XFOB Occurrence 1

SQFT			720	720		
Total			720.00	720.00		
	Value	Rate	Rate	Rate	Rate	Rate
	\$25,690		35.68	35.68		

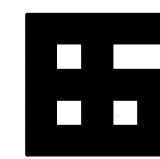
XFOB Occurrence 2

Property Code	1212 - SINGLE FAM RESID IMPROVEMENTS	Paired Model	1
Grade	30 - AVERAGE	Effective Year Built	1957
XFOB Code	201 - WOOD DECK	Actual Year Built	1957
Condition	3 - FAIR		

SubArea	ABOVE GRADE LIVING	ACTUAL TOTAL SQ FT	Effective SqFt - Assessor Use Only	RENTAL AREA	UNIT VALUE
SQFT		252	252		
Total		252.00	252.00		
	Value	Rate	Rate	Rate	Rate
	\$0				

Abstract Summary

Code	Classification	Actual Value	Value	Taxable Value	Actual Value Override	Taxable Override
1112	SINGLE FAM RESID LAND		\$425,000	\$30,390	NA	NA
1212	SINGLE FAM RESID IMPROVEMENTS		\$315,330	\$22,550	NA	NA
Total			\$740,330	\$52,940	NA	NA



Mouffet Caretaker
 837 Yahmonite Road
 Steamboat Springs, Colorado

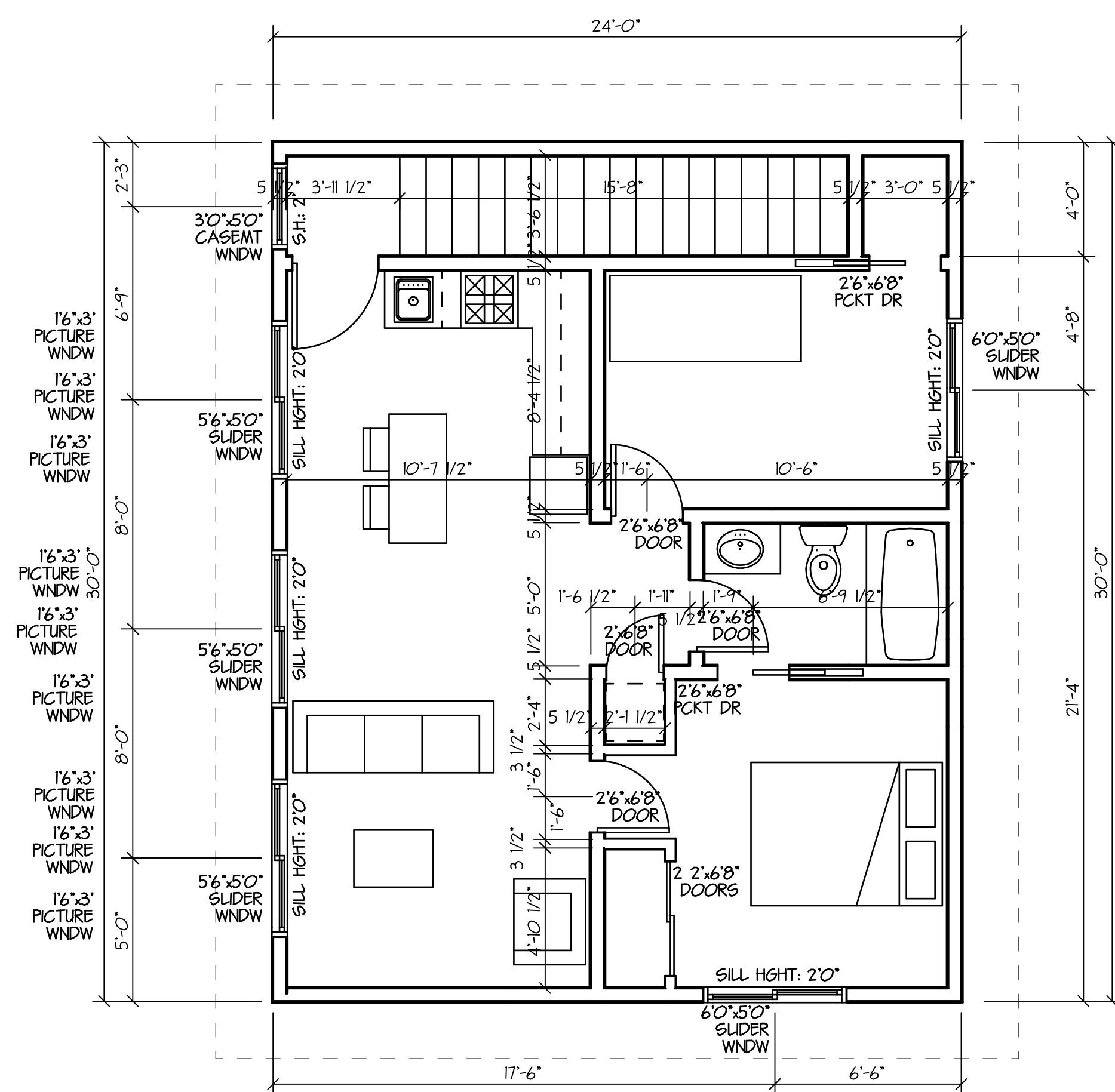
Frank X. Becker II, AIA
 35 5th Street, Unit 103, Office 107
 Steamboat Springs, Colorado 80487
 frankbecker@hotmail.com
 T 970.846.8016

BECKER
 ARCHITECTURE

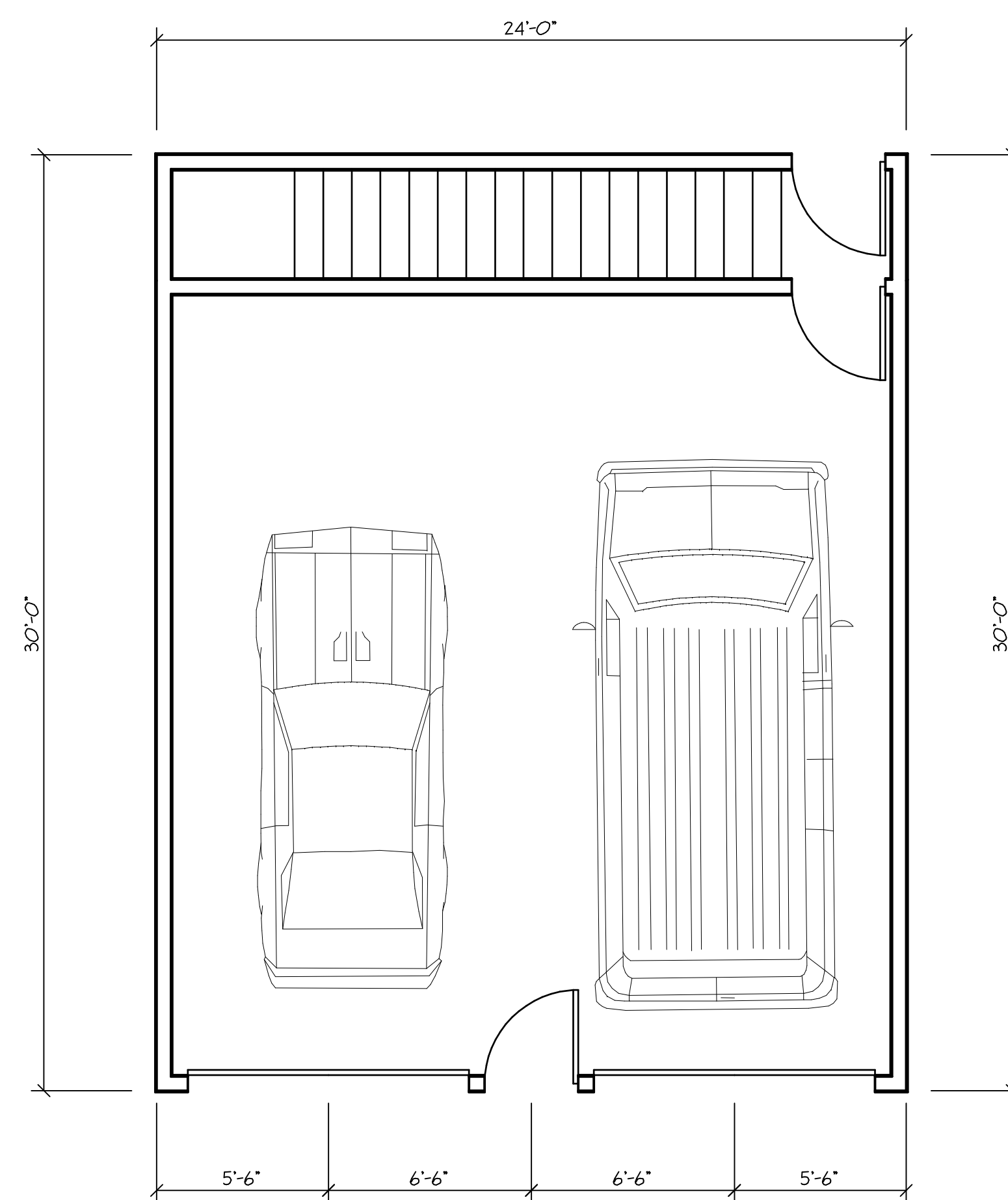
REVISIONS:

JOB NUMBER	2004
DATE	SEPT 1, 2020
SCALE	1/4"=1'-0"
DRAWN	F. BECKER
CHECKED	F.B./L.M.

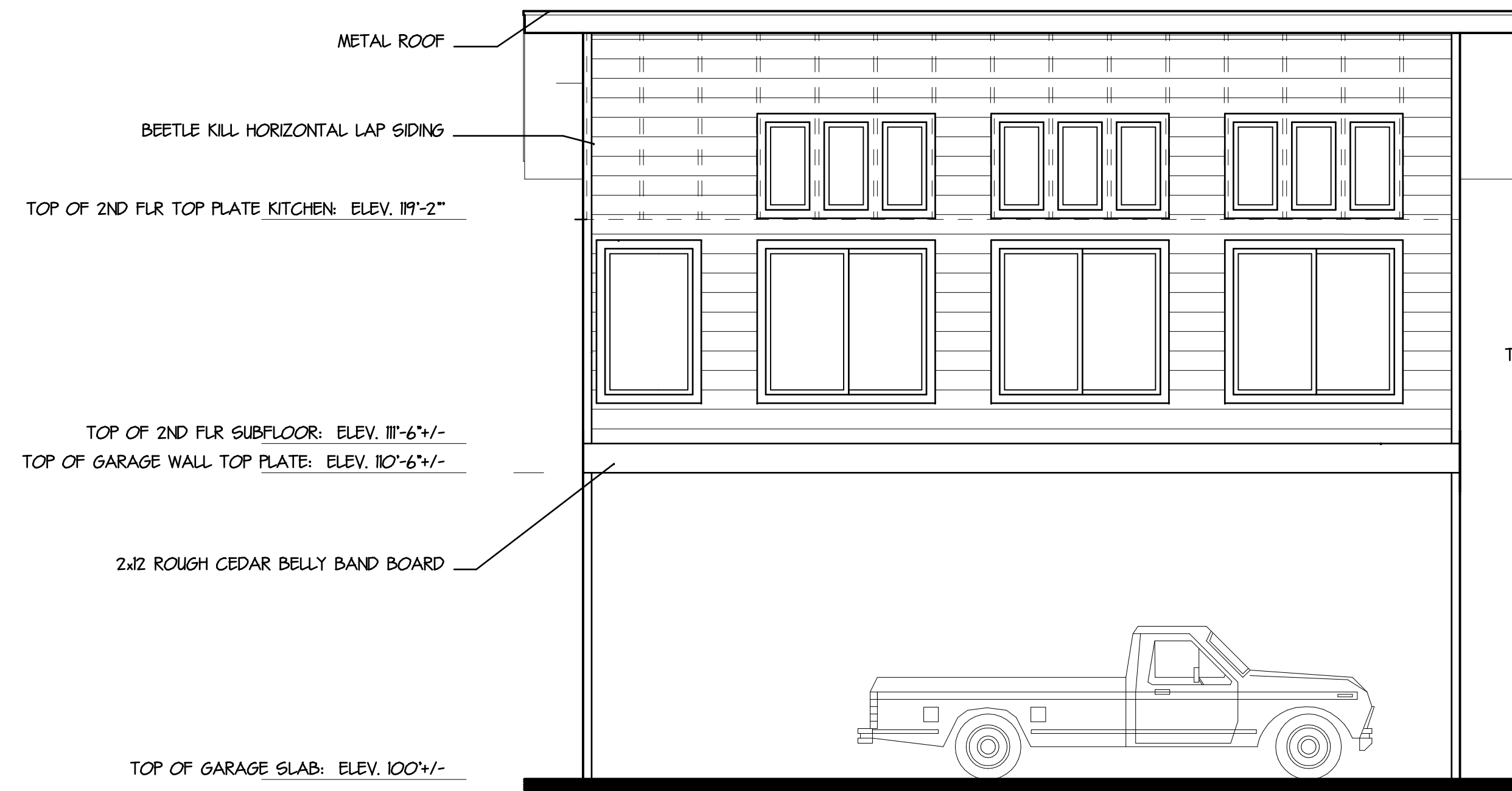
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OF SHEETS	



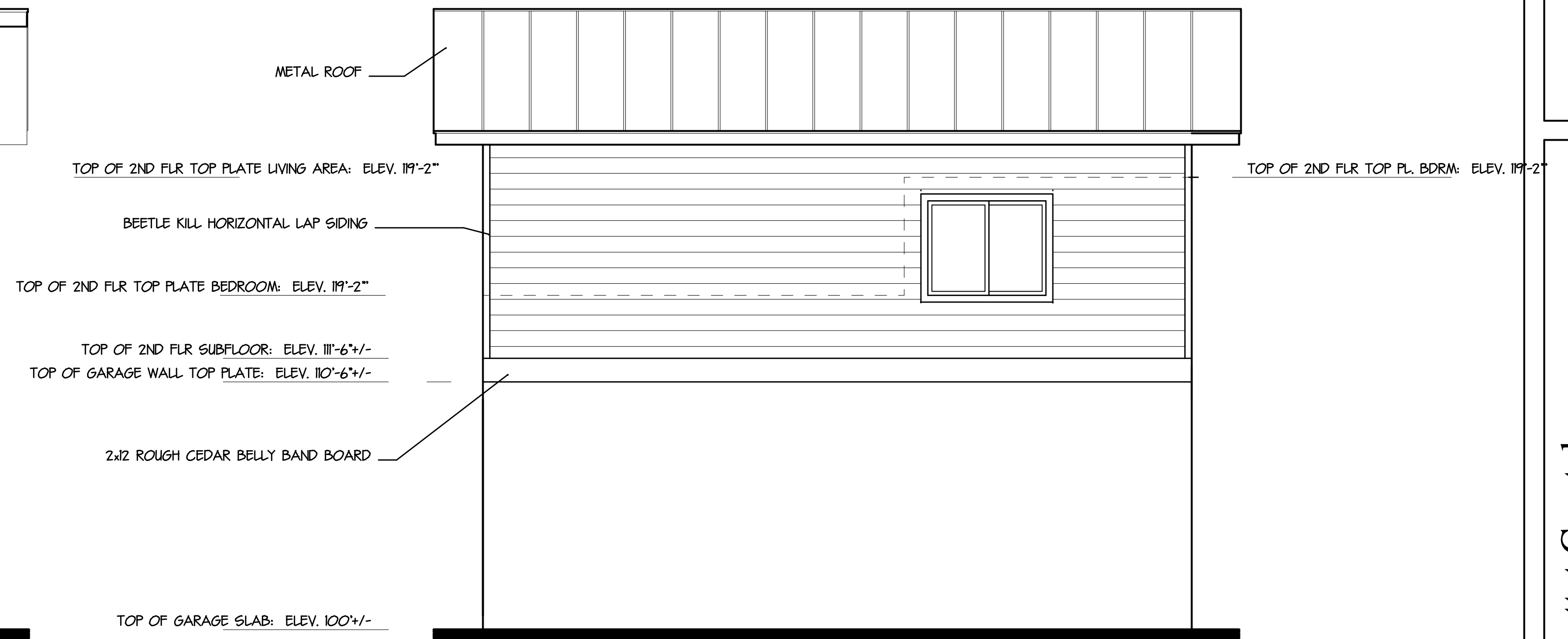
Caretaker Floor Plan, 1/4"=1'-0"
 North ↗ 624 Sq. Ft. (26'x24')



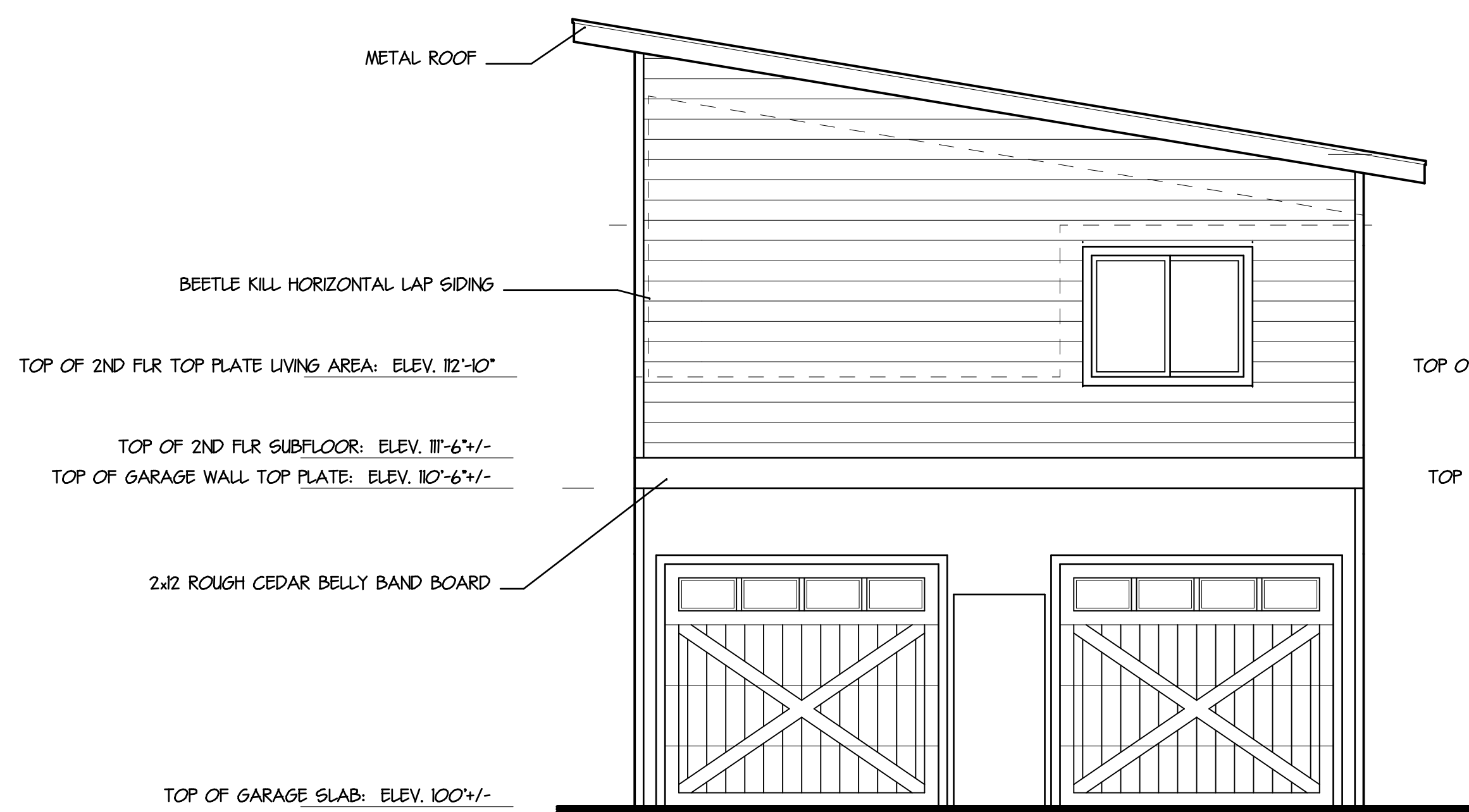
Garage Floor Plan, 1/4"=1'-0"
 North ↗ 720 Sq. Ft. (30'x24')



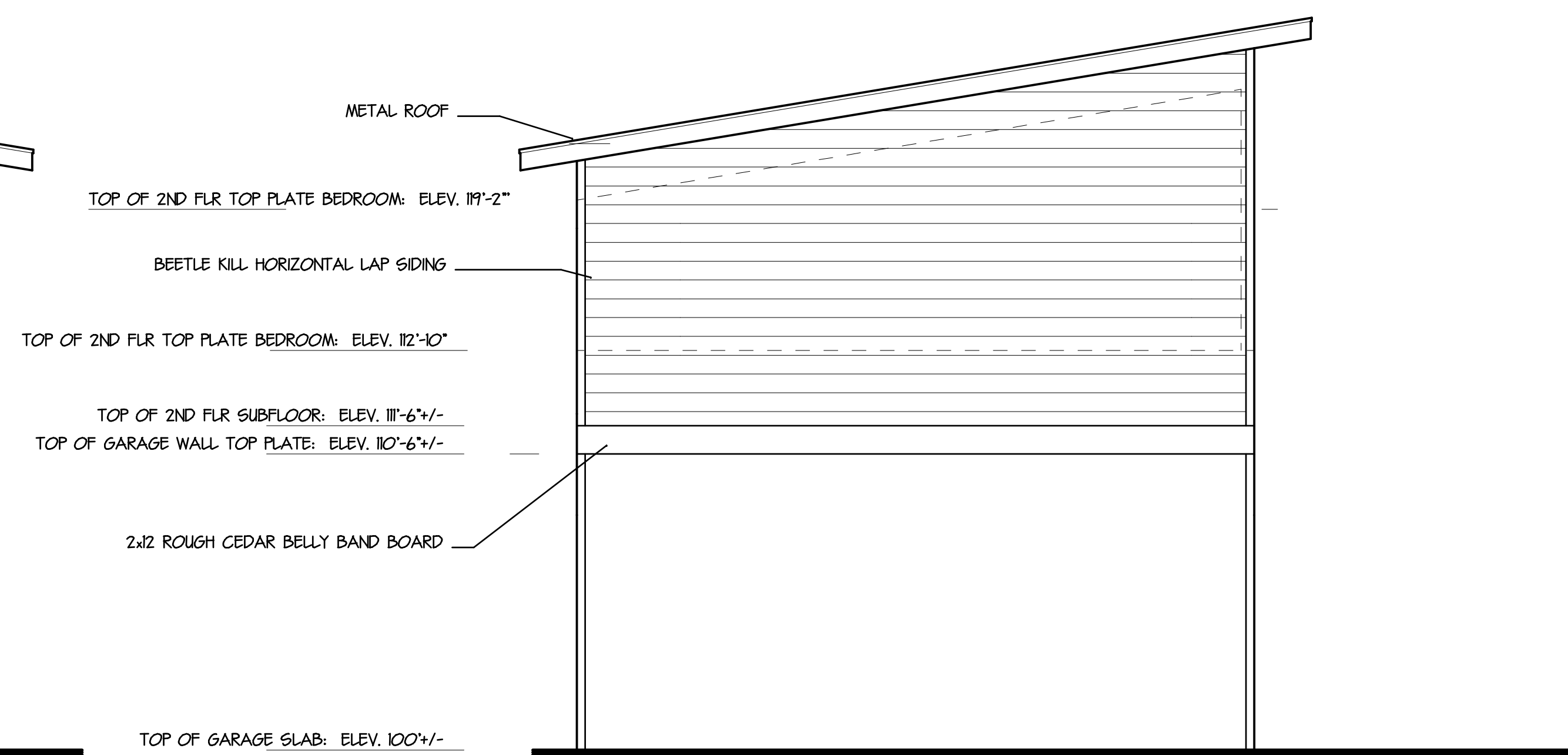
South Elevation, 1/4"=1'-0"



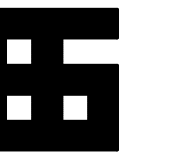
North Elevation, 1/4"=1'-0"



East Elevation, 1/4"=1'-0"



West Elevation, 1/4"=1'-0"



Moultet Caretaker
837 Yahmonite Road
Steamboat Springs, Colorado

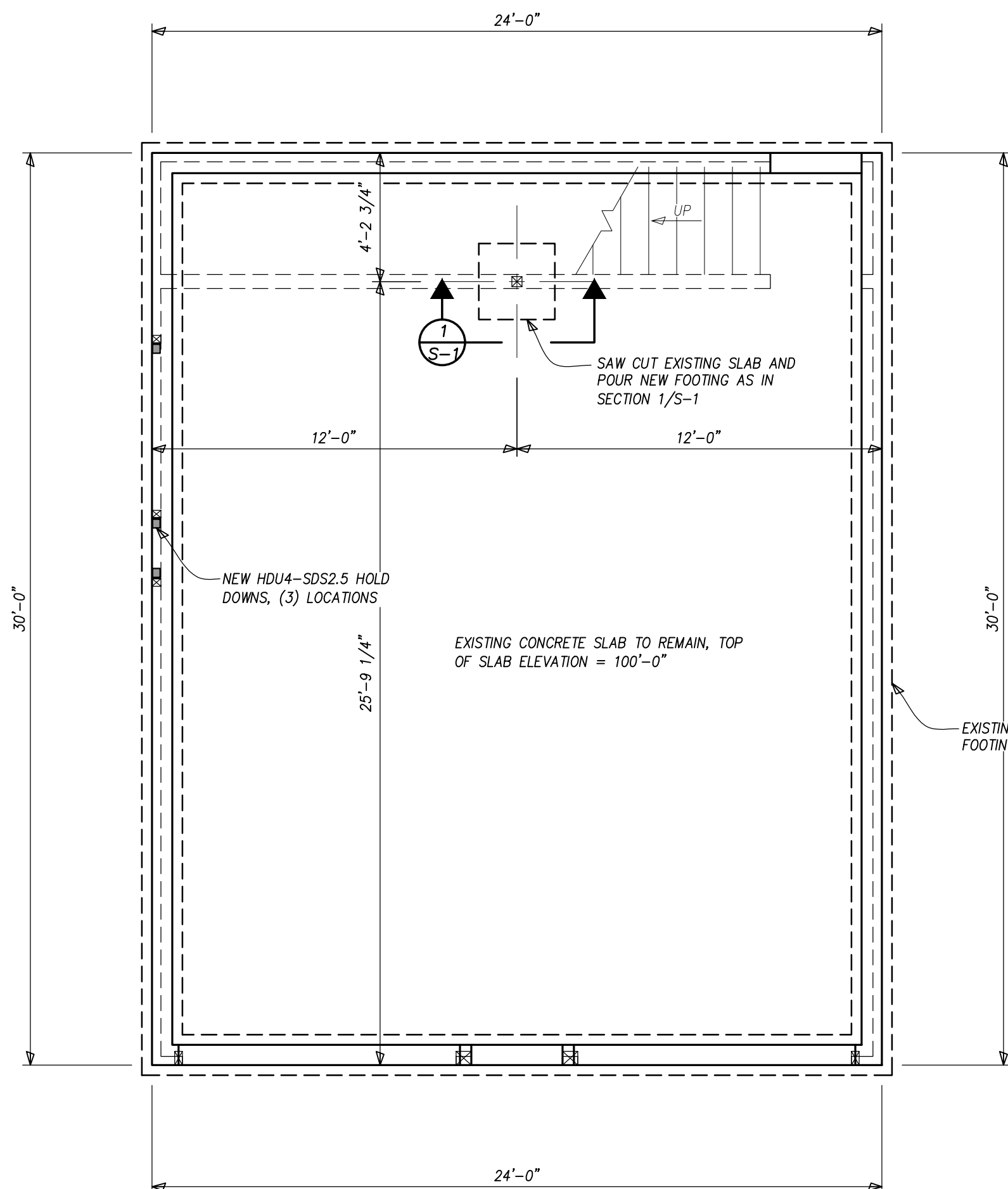
Frank X. Becker II, AIA
35 5th Street, Unit 103, Office 107
Steamboat Springs, Colorado 80487
frankxbecker@hotmail.com
T 970.846.8016

BECKER
ARCHIT
ECTURE

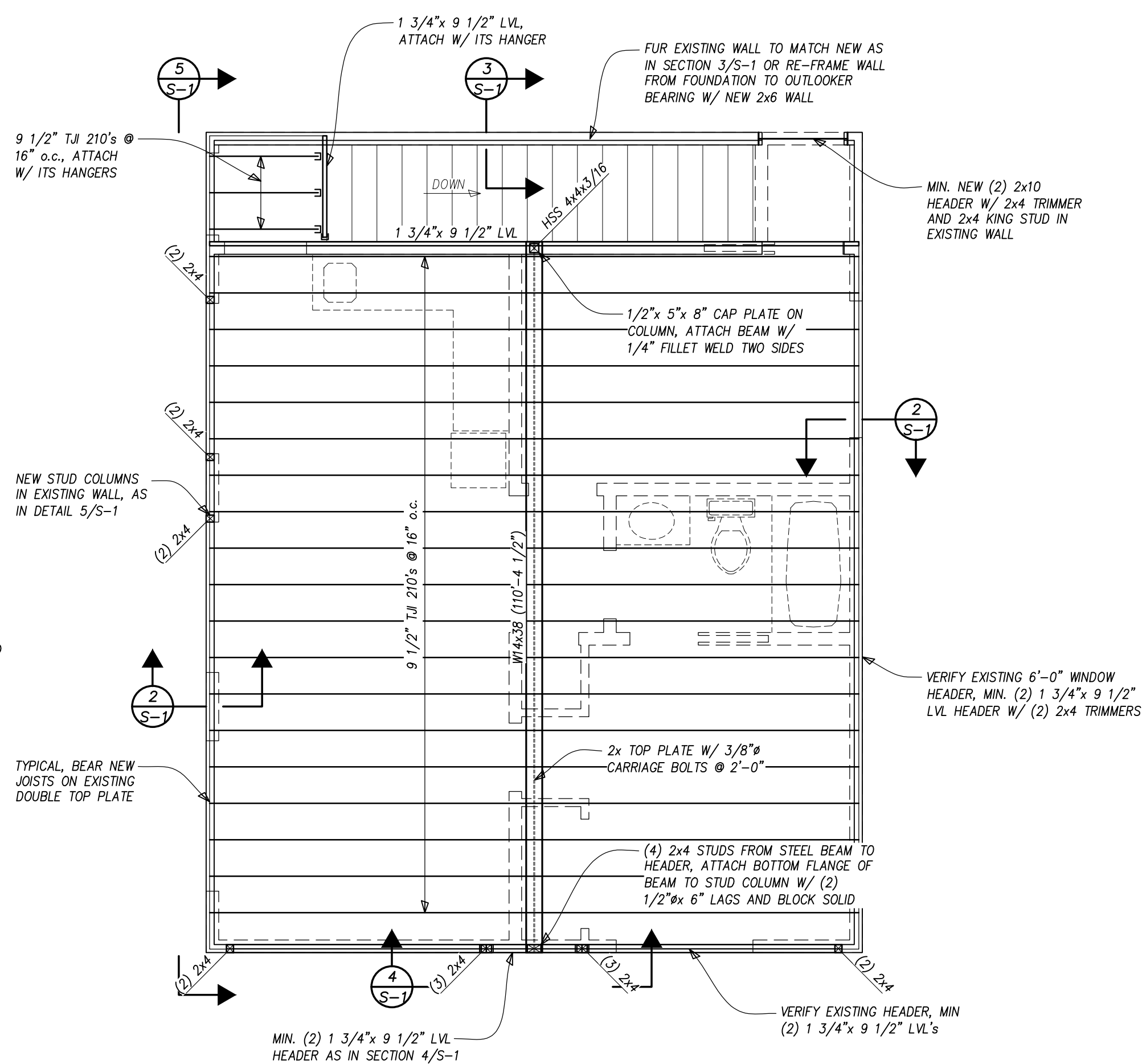
REVISIONS:

JOB NUMBER
2004
DATE
SEPT 1, 2020
SCALE
1/4"=1'-0"
DRAWN
F. BECKER
CHECKED
F.B./L.M.

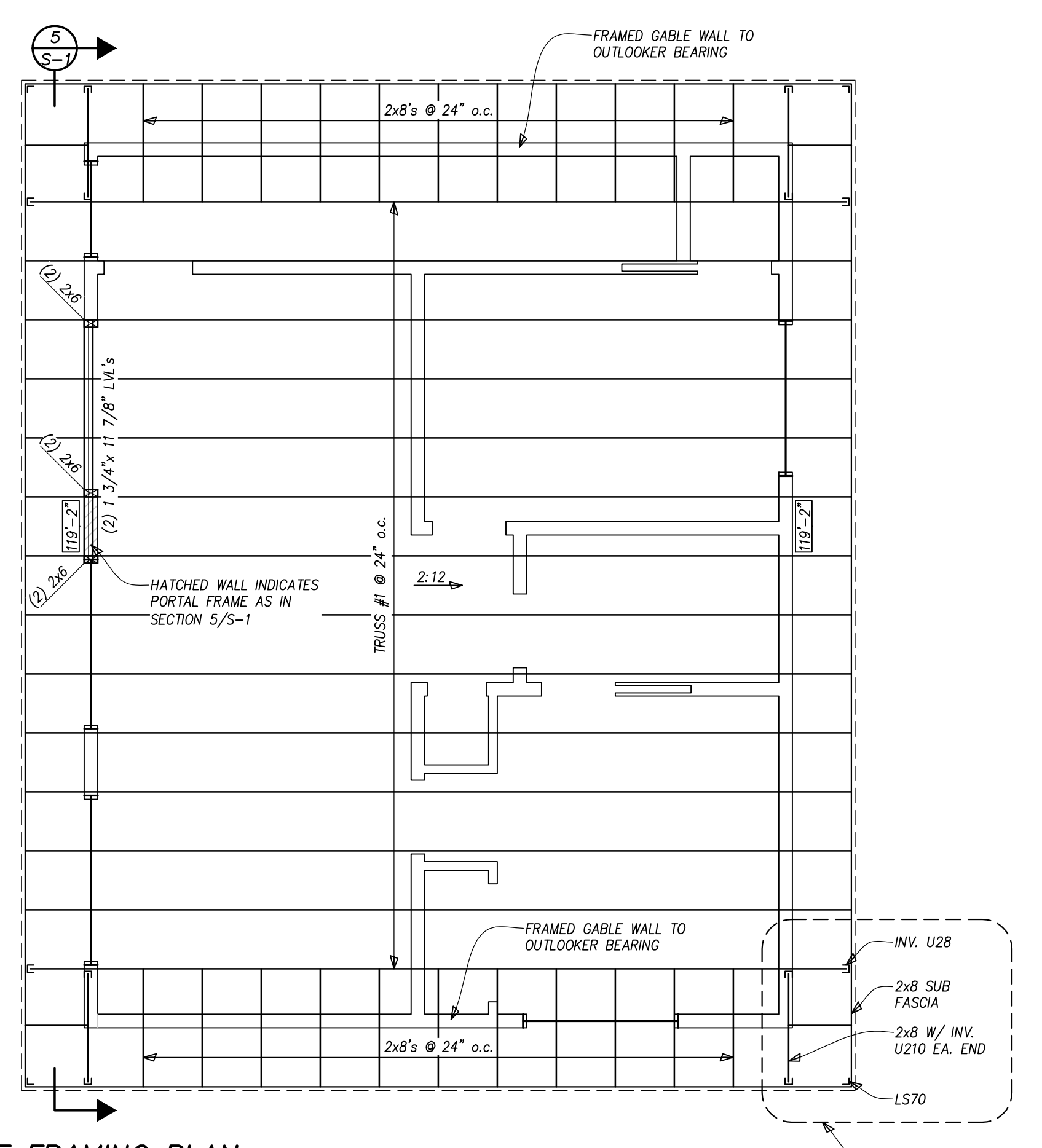
SHEET NUMBER
A2
OF SHEETS



FOUNDATION PLAN
Scale: 1/4" = 1'-0"
PLAN NORTH
ELEVATION TOP OF CONCRETE WALL INDICATED THUS ELEV.
ELEVATION TOP OF CONCRETE FOOTING INDICATED THUS (ELEV.)
INDICATES SIZE OF COLUMN BELOW BEAM AT INDICATED LOCATION



FLOOR FRAMING PLAN
Scale: 1/4" = 1'-0"
PLAN NORTH
TYPICAL AT FLOOR, 3/4" APA RATED, EXPOSURE 1, SHEATHING
TOP OF SHEATHING ELEVATION SHALL BE 111'-10 1/4" OR AS NOTED ON PLANS
EXISTING FRAME EXTERIOR WALLS ARE ASSUMED TO BE 2x4 @ 16" o.c. W/ 7/16" APA RATED SHEATHING UNLESS NOTED OTHERWISE
TYPICAL HEADER THIS PLAN, (2) 2x10'S W/ (1) 2x6 TRIMMER AND (1) 2x6 KING STUD EACH END UNLESS NOTED OTHERWISE
TOP OF PLATE ELEVATION ON FRAME BEARING WALL SHALL BE INDICATED BY XX'-XX"
(XX'-XX") INDICATES ELEVATION TOP OF STEEL OR TIMBER BEAM
INDICATES SIZE OF COLUMN BELOW BEAM AT INDICATED LOCATION



ROOF FRAMING PLAN
Scale: 1/4" = 1'-0"
PLAN NORTH
TYPICAL AT ROOF, 5/8" APA RATED, EXPOSURE 1, SHEATHING
TYPICAL SUB-FASCIA THIS PLAN, IS TO BE 2x8
NEW FRAME EXTERIOR WALLS ARE TO BE 2x6 @ 16" o.c. W/ 7/16" APA RATED SHEATHING UNLESS NOTED OTHERWISE
TYPICAL HEADER THIS PLAN, (3) 2x10'S W/ (1) 2x6 TRIMMER AND (1) 2x6 KING STUD EACH END UNLESS NOTED OTHERWISE
TOP OF PLATE ELEVATION ON FRAME BEARING WALL SHALL BE INDICATED BY XX'-XX"
(XX'-XX") INDICATES ELEVATION TOP OF STEEL OR TIMBER BEAM
INDICATES SIZE OF COLUMN BELOW BEAM AT INDICATED LOCATION

- GENERAL NOTES**
- DESIGN LIVE LOADS**
- a. Roofs 75 psf
 - b. Floors 40 psf
 - c. Covered Porch 60 psf
 - d. Wind Risk Category II, 115 mph Ultimate Wind Speed, Exposure "B"
 - e. Seismic IBC Design Category B

FOUNDATION DESIGN

a. Design of individual and continuous footings is based on an assumed maximum allowable bearing pressure of 2500 psf dead load plus live load placed on the natural undisturbed soils below frost depth.

REINFORCED CONCRETE

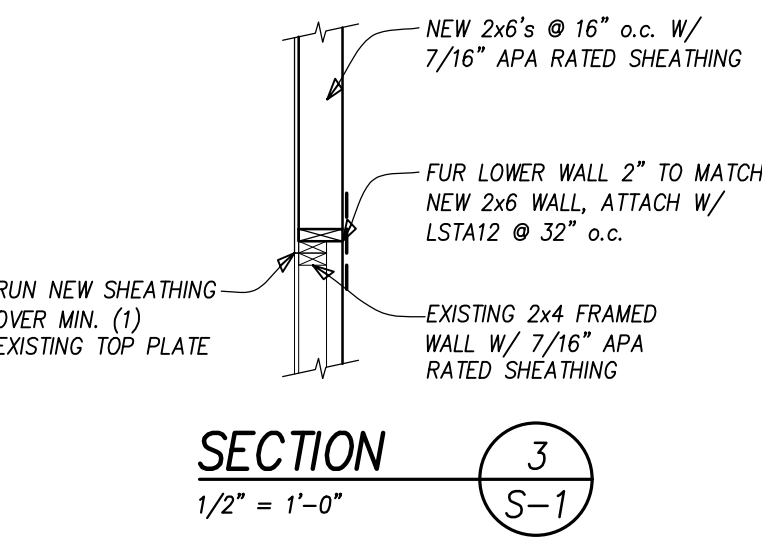
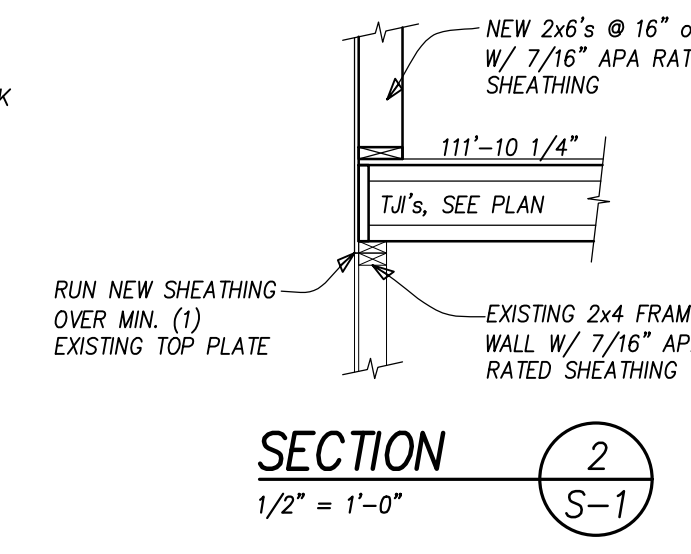
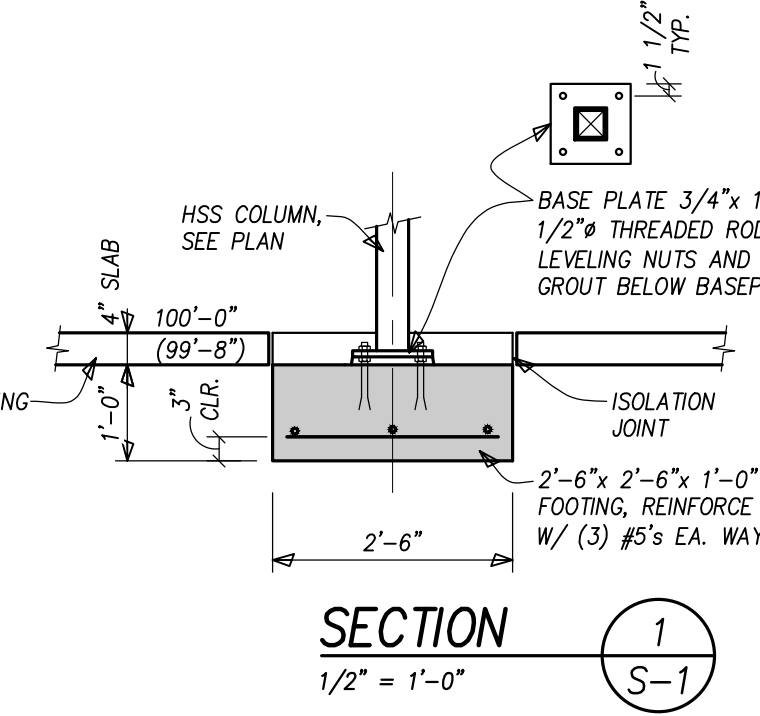
- a. Structural concrete shall have a minimum 28 day compressive strength of 3000 psi Type I.
- b. Reinforcing bars shall conform to ASTM Specification A615-79 and shall be Grade 60.
- c. All anchor bolts are to meet ASTM Specification F1554 Grade 36.
- d. At splices, lap bars 38 diameters. At corners and intersections, make horizontal bars continuous or provide matching corner bars. Around openings in walls and slabs, provide 2-#5, extending 2'-0" beyond edge of opening.

STRUCTURAL STEEL

- a. Structural steel rolled shapes shall conform to ASTM A572, Grade 50. Plates and angles shall conform to ASTM A36. Tube shapes shall conform to ASTM A500 Grade B, 46 ksi yield. Pipe shapes shall conform to ASTM A53, Grade B.
- b. All bolts shall conform to ASTM Specification A307.
- c. Expansion bolts called for on the drawings shall be "HLTI" "WEG-IT", "RED HEAD", or approved wedge type, with the following minimum embedments: 5/8" diameter bolts - 2 3/4", 1/2" diameter bolts - 2 1/4".
- d. All welding shall be done by a certified welder.

STRUCTURAL WOOD FRAMING

- a. Except where noted otherwise, all 2" lumber shall be Douglas Fir-Larch S4S No.2 or better, and all solid timber beams and posts shall be Douglas Fir-Larch No. 1. All studs over 12'-0" in length shall be 1.3E LSL with allowable fiber stress in bending = 1700 psi, modulus of elasticity of 1.3x10(6) psi, and allowable shear stress = 425 psi.
- b. Except as noted otherwise, minimum nailing shall be provided as specified in Table 2304.10.1 "Fastening Schedule" of the I.B.C., 2015 edition.
- c. Floor and roof sheathing shall be APA rated Structural I sheathing with exterior glue and graded in accordance with APA standards. Framed identification and thickness shall be as noted on the drawings.
- d. Where light gage framing anchors are shown or required, they shall be Simpson "Strong Tie" or equal ICC-ES approved connectors and shall be installed with the number and type of nails recommended by the manufacturer to develop the rated capacity.
- e. Glued Laminated timber shall be of such stress grade to provide glued laminated beams with combination symbol 24F-V4.
- f. Laminated Veneer Lumber shall be of such stress grade to provide members with allowable fiber stress in bending = 2800 psi, modulus of elasticity of 1.9x10(6) psi, and allowable shear stress parallel to the glue line = 285 psi.
- g. Parallel Strand Lumber used in header or beam conditions shall be of such stress grade to provide member with allowable fiber stress in bending = 2900 psi, modulus of elasticity of 2.0x10(6) psi, and allowable shear stress parallel to the glue line = 290 psi. Parallel Strand Lumber used in column conditions shall be of such stress grade to provide members with allowable fiber stress in bending = 2400 psi, modulus of elasticity of 1.8x10(6) psi, and allowable shear stress parallel to the glue line = 190 psi.
- h. Trussed rafters shall be designed by a Professional Engineer licensed in the state of Colorado to support the full dead and live loads of the roof, ceiling, and any other superimposed loads. Calculations and shop drawings, including member sizes, lumber species and grades, and substantiating data for connector capacities, shall be submitted to the Architect or Engineer for review and approval prior to fabrication.
- i. Roof and floor joists shall be plant-fabricated I-series with LVL wood flanges and plywood or OSB webs, and carry ICBO approval for the composite section. Joists shall be designed to carry the full dead and live loads of the roof and floor and any other superimposed loads. Bridging and blocking shall be installed according to the fabricator's requirement.



EPOXY ADHESIVE ANCHORING SYSTEM

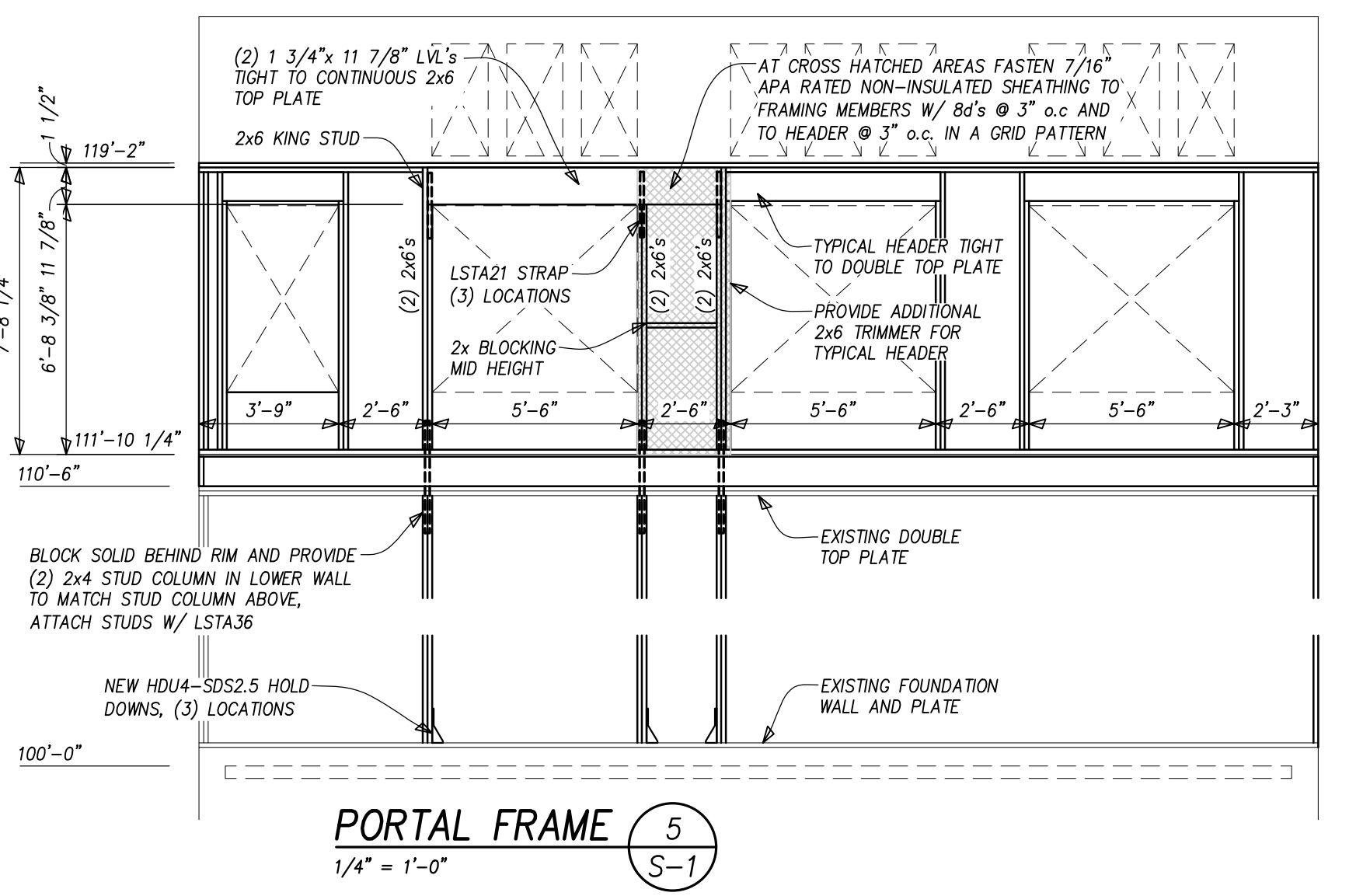
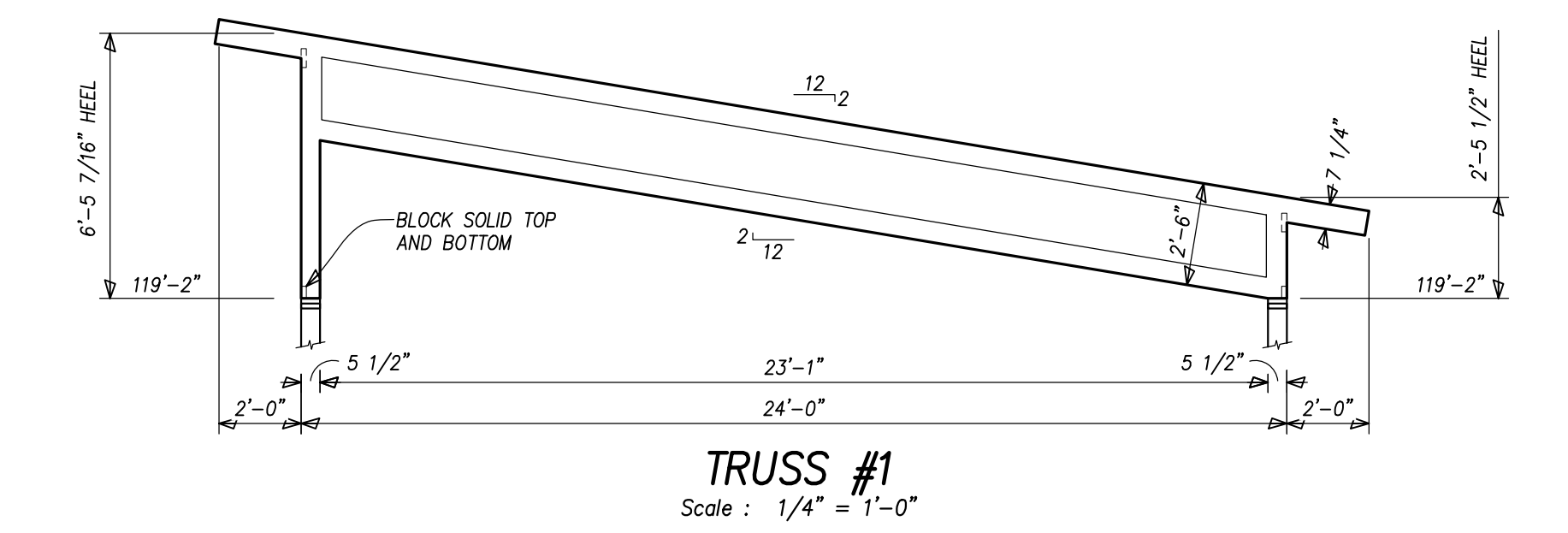
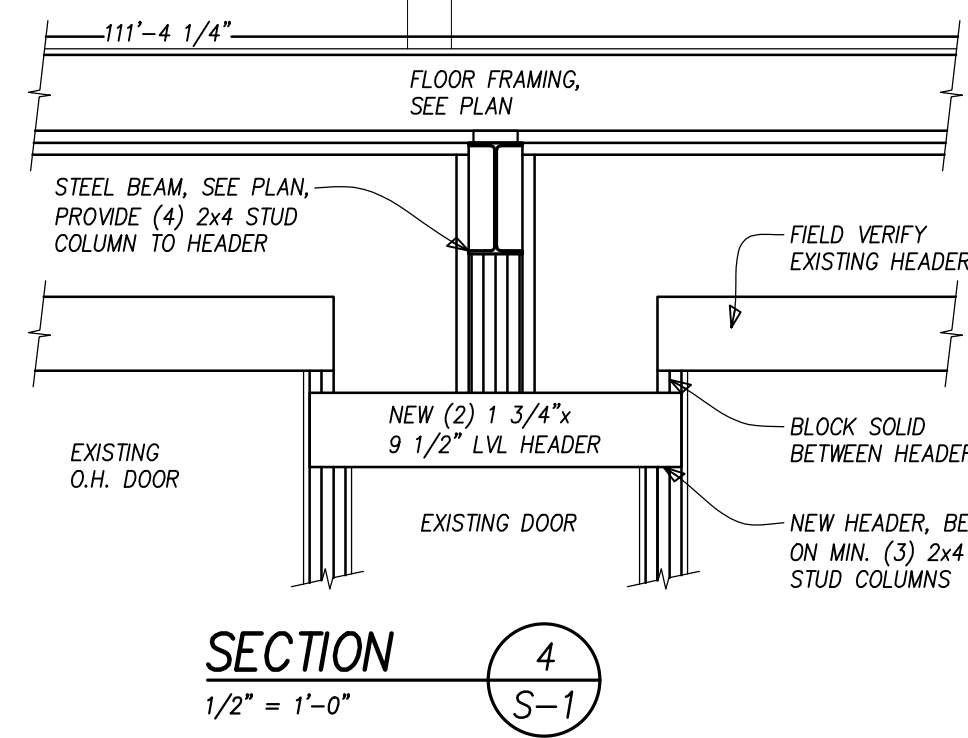
- a. Epoxy adhesive anchoring system shall be Hilti HIT-RE 500 V3 or approved equal.
- b. Anchor rods shall be furnished with chamfered ends so that either end will accept a nut and washer and meet the requirements of ISO 898 Class 5.8.
- c. Anchors shall have the following minimum embedments: 3/4" - 6 3/4", 5/8" - 5 5/8", 1/2" - 4 1/2".

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- a. The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced.
- b. The Contractor, in the proper sequence, shall provide proper shoring and bracing as may be required during construction to achieve the final completed structure.

NOTE FOR ADDITIONS TO EXISTING STRUCTURES

- a. All parties involved should be aware that additions to existing structures carry the potential risk of differential movement from settlement and shrinkage between the new and existing structures. These potential movements can result in apparent distress in the finishes soon after completion of the project, however should not result in any significant structural distress.
- b. The contractor shall take these factors into consideration during construction and take the appropriate measures to minimize potential differential movements by materials with low moisture content to lessen the shrinkage potential, and placing new foundations on properly compacted natural soils or approved compacted structural fill as required. Note that even with proper measures there will still be some risk of differential settlement.
- c. The contractor shall notify the engineer of any field conditions that may potentially affect the performance of the new structure or may lead to differential movements in the new structure or between the new and existing structures.



DATE	REVISIONS
10/7/20	
PROJECT #20-077	
DRAWN CAS	
CHECKED BFS	
FILE Mouttet.dwg	
SCALE 1/4" = 1'-0"	

LUCAS MOUTTET
FRAMING PLANS AND DETAILS
CARETAKER
873 YAHMONITE ROAD
STEAMBOAT SPRINGS, COLORADO 80477