



RCRBD  
Record Set  
TC  
12/28/2020

PLANS FOR:  
VISTA VERDE RANCH  
57300 COWBOY WAY  
CLARK, COLORADO

JOB NO: 20-076  
DRAWN: ECS  
DATE: 12-17-20

REVISIONS		
NO.	DATE	DRAWN

SHEET NUMBER

T-1

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A CHANGE OF OCCUPANCY FOR:

CJU FAMILY HOLDINGS, INC

57300 COWBOY WAY  
CLARK, COLORADO

LEGAL DESCRIPTION

TR OF LAND IN PT OF TR 4| SECTIONS 7&8 & PT OF LOT 15  
8-9-84 TOTAL 35A  
ZONING = AF

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, PERMITS AND LAWS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL NEW CONSTRUCTION ON THE SITE
3. THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. IF A DISCREPANCY APPEARS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS, NOTIFY YAMPA VALLEY ENGINEERING AT ONCE.
4. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDUCT. THE JOB SITE SHALL BE FREE OF DEBRIS AND TRASH. MATERIALS AND EQUIPMENT SHALL BE REASONABLY PLACED. EACH SUB-CONTRACTOR ON COMPLETION OF HIS/HER PHASE OF THE JOB SHALL REMOVE ALL DEBRIS,TRASH AND EQUIPMENT.
5. ALL MATERIALS AND EQUIPMENT ON THE JOB SITE SHALL BE STACKED AND PROTECTED PROPERLY TO PREVENT DAMAGES AND OR DETERIORATION.
6. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS ARE TO FACE OF FRAMING AND FACE OF CONCRETE. ALL INTERIOR STUDS ARE TO BE 2X4 UNLESS OTHERWISE NOTED. ALL EXTERIOR STUDS ARE TO BE 2X6 UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL PROVIDE ALL BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES AND ELECTRICAL EQUIPMENT.
8. PROVIDE ALL ACCESS PANELS TO ALL ENCLOSED SPACES,VOIDS AND ATTICS AS REQUIRED BY GOVERNING CODES.

APPLICABLE CODES OF 2012

- 2015 INTERNATIONAL BUILDING CODE  
2015 INTERNATIONAL MECHANICAL CODE  
2015 INTERNATIONAL PLUMBING CODE  
2015 INTERNATIONAL ENERGY CONSERVATION CODE  
2017 NATIONAL ELECTRIC CODE

CODE ANALYSIS  
YAMPA VALLEY ENGINEERING  
P.O. BOX 77292  
STEAMBOAT SPRINGS, CO 80477  
970-870-9229

PROJECT LOCATION: 57300 COWBOY WAY ROUTT COUNTY, COLORADO

PROJECT DESCRIPTION: TO CHANGE OCCUPANCY FROM R-3 SINGLE FAMILY DWELLING TO R-3 BOARDING HOUSE

THIS CODE STUDY IS BASED ON THE 2015 INTERNATIONAL EXISTING BUILDING CODE. SECTION 1011 CHANGE OF OCCUPANCY CLASSIFICATION. THE HAZARD LEVELS STAY THE SAME. THERE WILL BE NO NEW CONSTRUCTION.

BASIC BUILDING DESCRIPTION:  
TYPE OF CONSTRUCTION = VB-NON-SPRINKLERED  
10 OCCUPANTS OR LESS

HEIGHT OF BUILDING:  
ACTUAL HEIGHT OF BUILDING = 26'-9 1/2" FT. ALLOWED BUILDING HEIGHT = 40'-0"

SQUARE FOOTAGE  
FIRST STORY-ACTUAL SQFT=3,455 ALLOWED SQFT=UL  
SECOND STORY-ACTUAL SQFT=1,149 ALLOWED SQFT=UL

STORIES  
ACTUAL STORIES = 2 ALLOWED STORIES = 3

EXIT/EGRESS  
FIRST FLOOR:  
R-3 BOARDING HOUSE REQD EXITS = 2, ACTUAL EXITS = 5  
DOOR SWING = ANY

SECOND FLOOR:  
R-3 BOARDING HOUSE EXITS = 1, ACTUAL EXITS = 2, MAX TRAVEL DISTANCE = 100'-0"  
DOOR SWING = ANY



RCRBD Review Notes:

1. This project is being reviewed under our Building Department Policy for Vacation Home Rental Properties, this projects meets our Amended IBC Section 310.4 Residential Group R-3 section as a Vacation Home Rental Property with 10 or fewer guests, and can be designed under the IRC due to this being the only property owned by the owner(s) being used as a Vacation Home Rental Property, as this was their personal residence previously.

IBC Section 310.6 Vacation Home Rentals. A Residential Dwelling to be used by 10 or fewer guests that is rented out for compensation by the Property Owner to guests who will stay less than 30-days consecutively viewed as transient. Vacation Home Rentals with 10 or fewer guests shall be permitted to be constructed under the International Residential Building Code for all One- and Two-Family Dwellings or Townhouses not more than three stories above grade plane in height with a separate means of egress and their accessory structures not more than three stories above grade plane in height.

IRC Section R101.2 Scope

Exceptions:

3. Vacation Home Rentals with 10 or fewer guests shall be permitted to be constructed under the International Residential Building Code for all One- and Two-Family Dwellings or Townhouses not more than three stories above grade plane in eight with a separate means of egress and their accessory structures not more than three stories above grade plane in height.

IRC Section R320 Accessibility

Where there are four or more dwelling units or sleeping units in a single structure, the provisions of Chapter 11 of the International Building Code for Group R-3 shall apply.

R320.1.2 Vacation Home Rentals.

A Dwelling used as a Vacations Home Rental under IBC Section 310.6 but designed under the International Residential Code is subject to the provisions of Chapter 11 of the International Building Code for Group R-3.

Exception:

1. A Vacation Rental Property is exempt from Chapter 11 of the International Building Code when the Owner(s) of the Property only owns One Vacation Home Rental Property throughout all of Routt County. Owner(s) who share ownership or shares in any corporations and/or trusts that own Vacation Home Rental Properties throughout all of Routt County must disclose this information and count these properties as Legal Vacation Home Rental Properties as well.

SHEET INDEX	
ARCHITECTURALS	
T-1	TITLE SHEET
A-0	INFO SHEET
A-1	EXISTING MAIN LEVEL FLOOR PLAN
A-2	EXISTING UPPER LEVEL FLOOR PLAN
A-3	EXISTING STAIR SECTION

PROJECT DIRECTORY

OWNER  
G.W. FAMILY HOLDINGS, INC.  
58000 COWBOY WAY  
CLARK, COLORADO  
LICENSED DESIGN PROFESSIONAL & STRUCTURAL ENGINEER  
YAMPA VALLEY ENGINEERING, INC.  
1794 KAMAR PLAZA  
P.O. BOX 77292  
STEAMBOAT SPRINGS, COLORADO 80477  
970-870-9229  
yvengr@yvengr.com  
CONTRACTOR  
BOB DACKER

YVE,  
YAMPA VALLEY ENGINEERING, INC.

STRUCTURAL  
MECHANICAL  
ENGINEERING  
DESIGN  
DRAFTING  
SERVICES

JAMES STEGMAIER, P.E.  
1794 KAMAR PLAZA  
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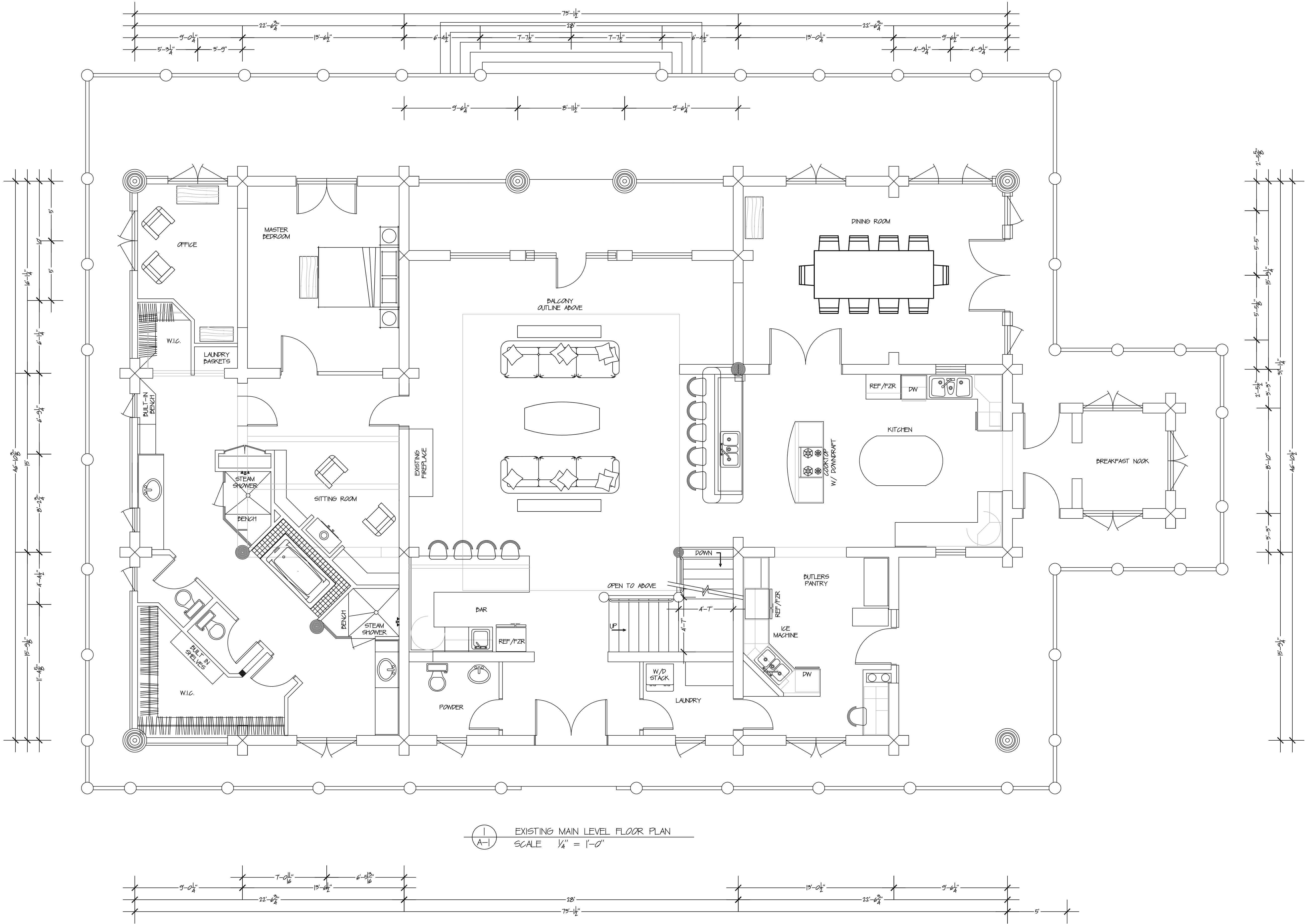
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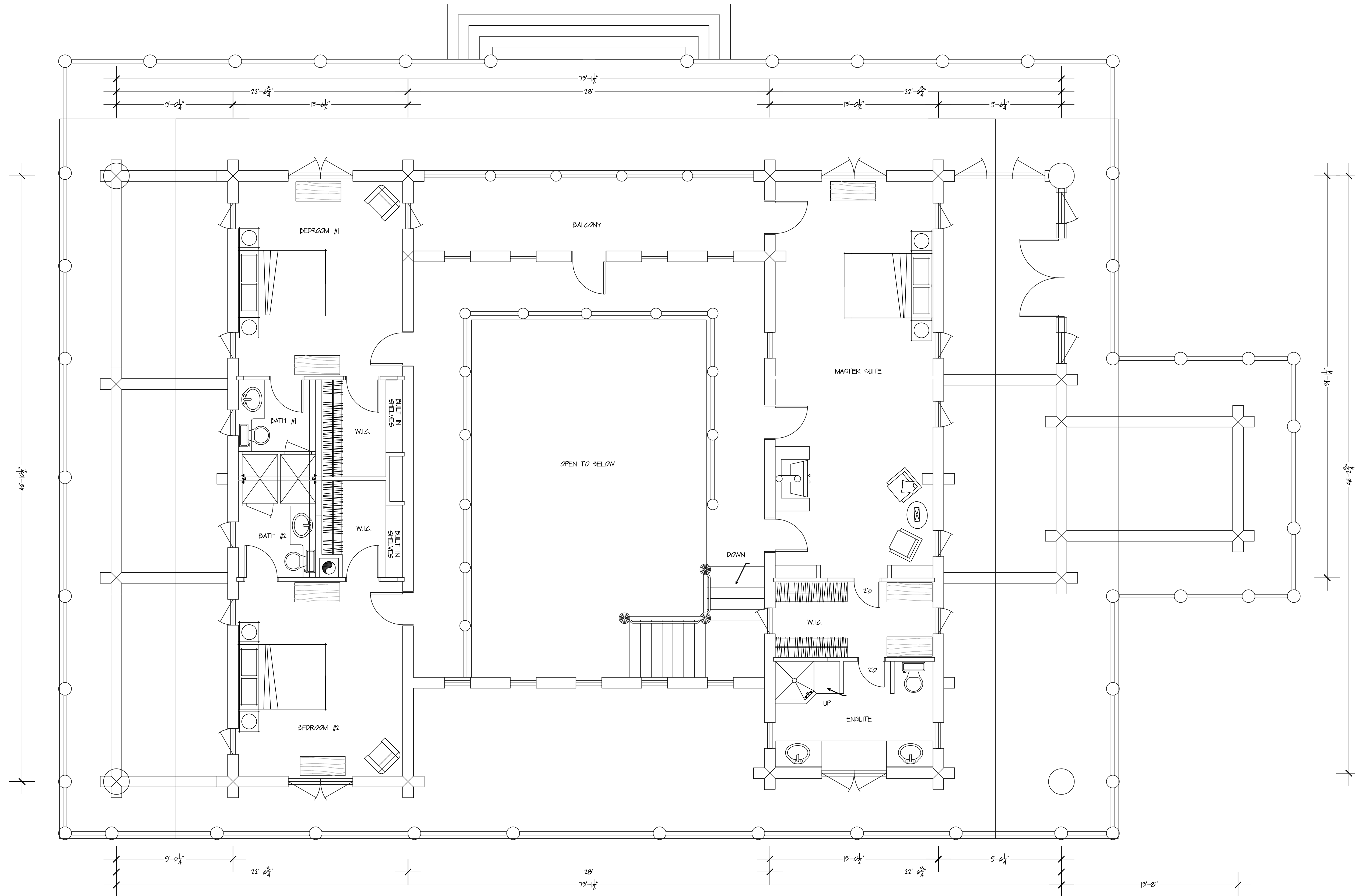
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1  
A-2  
EXISTING UPPER LEVEL FLOOR PLAN  
SCALE 1/4" = 1'-0"

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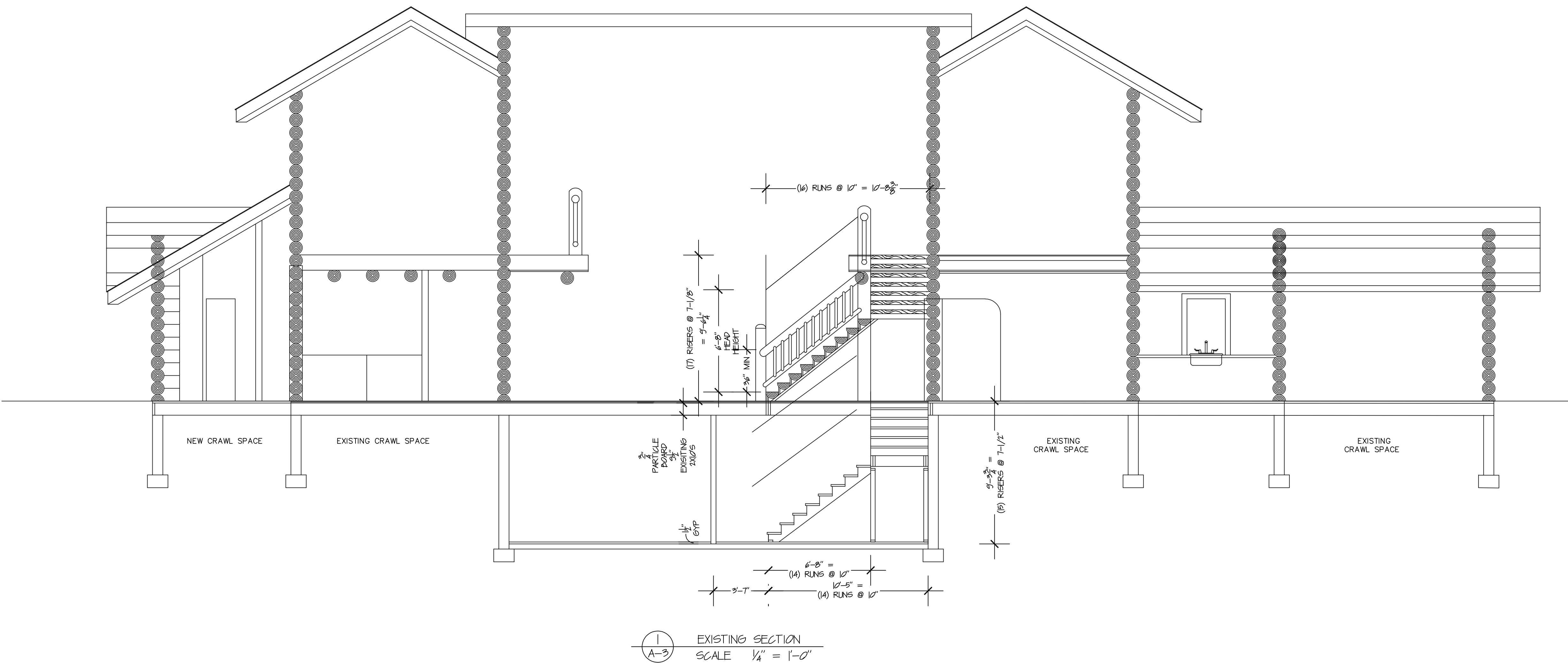
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Proudly Serving Rural Routt County \* City of Steamboat Springs \* Town of Hayden \* Town of Oak Creek \* Town of Yampa \* Routt County School Districts

## **Vacation Home Rental Policy for Single Family Dwellings**

**Effective Date: 01/01/2021**

**Subject: Vacation Home Rentals of Single Family Dwellings or Units for Less than 30-Days**

The Routt County Regional Building Department has developed this Policy to Define and Declare an Occupancy for Vacation Home Rentals that are rented out less than 30-days consecutively providing lodging for compensation in a ***Transient*** environment. The International Residential Code and the International Building Code do not contain any language that will reference a Vacation Home Rental of a Single Family Dwelling, Condominium, or Apartment. The Routt County Building Department has composed this Policy for use on all Existing and New Buildings being constructed or converted through a Change of Occupancy to become a Vacation Rental Property.

### **Commercial Buildings/Multi-Family:**

Vacation Home Rentals within Commercial Buildings under the International Building Code shall be designed as a Group R-1 Occupancy per Policy Amending Section IBC 310.2 Residential Group R-1. New Construction of a Multi-Family Building that is to be used as a Vacation Rental Property allowing any of the units to be rented out less than 30-days consecutively which is a transient environment, shall be designed and constructed as a Group R-1 Occupancy per the International Building Code. Buildings of Mixed Occupancy Use that may contain a combination of Vacation Home Rental Units rented out less than 30-days consecutively in combination with any Apartment or Condominium units that will be rented out for 30-days or more, shall be designed as a Mixed-Use Building per Section 508 of the International Building Code as a Mixed Use R-1 and R-2 Occupancy. All Existing Commercial Building Dwelling Units that are to undergo a Change of Occupancy to a Vacation Home Rental Property are subject to the Change of Occupancy Section under the International Existing Building Code.

### **310.2 Residential Group R-1.**

Residential Group R-1 occupancies containing *sleeping units* where the occupants are primarily *transient* in nature, including:

- *Boarding houses (transient)* with more than 10 occupants
- *Congregate living facilities (transient)* with more than 10 occupants
- *Hotels (transient)*
- *Motels (transient)*
- **Vacation Rental Properties (transient)**

### **310.3 Residential Group R-2.**

Residential Group R-2 occupancies containing sleeping units or more than two dwelling units where the occupants are primarily permanent in nature, including:

- Apartment houses (nontransient)

**Routt County Regional Building Department**

136 6th Street, Ste 201, Steamboat Springs, CO 80487 PH: 970-870-5566 Fax 970-870-5489 Email: [Building@co.routt.co.us](mailto:Building@co.routt.co.us)

- Boarding houses (nontransient) with more than 16 occupants
- Congregate living facilities (nontransient) with more than 16 occupants
- Convents (nontransient)
- Dormitories (nontransient)
- Fraternities and sororities(nontransient)
- Hotels (nontransient)
- Live/work units (nontransient)
- Monasteries (nontransient)
- Motels (nontransient)
- Vacation timeshare properties(nontransient)

#### **Residential One and Two Family Dwelling Buildings:**

Vacation Home Rentals within a Single Family or Two-Family Residential Dwelling shall be designed as a Group R-3 Occupancy per Policy Amending Section IBC 310.4 Residential Group R-1. New Construction of One and Two-Family Dwellings or Townhouses not more than three stories above grade plane in height with a separate means of egress and their accessory structures not more than three stories above grade plane in height shall be designed and constructed as a Group R-3 Occupancy in accordance with the International Building Code. All Existing One and Two-Family Dwellings or Townhouses that are to undergo a Change of Occupancy to a Vacation Home Rental Property are subject to the Change of Occupancy Section under the International Existing Building Code.

#### **IBC Section 310.4 Residential Group R-3.**

Residential Group R-3 occupancies where the occupants are primarily permanent in nature and not classified as Group R-1, R-2, R-4 or I, including:

- Buildings that do not contain more than two dwelling units
- Care facilities that provide accommodations for five or fewer persons receiving care
- Congregate living facilities (nontransient) with 16 or fewer occupants
- Boarding houses (nontransient)
- Convents
- Dormitories
- Fraternities and sororities
- Monasteries
- Congregate living facilities (transient) with 10 or fewer occupants
- Boarding houses (transient)
- Lodging houses (transient) with five or fewer guest rooms and 10 or fewer occupants
- **Vacation Home Rental Property (transient) with 10 or fewer occupants**

**IBC Section 310.6 Vacation Home Rentals.** A Residential Dwelling to be used by 10 or fewer guests that is rented out for compensation by the Property Owner to guests who will stay less than 30-days consecutively viewed as transient. Vacation Home Rentals with 10 or fewer guests shall be permitted to be constructed under the International Residential Building Code for all One- and Two-Family Dwellings or Townhouses not more than three stories above grade plane in height with a separate means of egress and their accessory structures not more than three stories above grade plane in height.

#### **IRC Section R101.2 Scope**

##### **Exceptions:**

**3. Vacation Home Rentals with 10 or fewer guests shall be permitted to be constructed under the International Residential Building Code for all One- and Two-Family Dwellings or Townhouses not more than three stories above grade plane in**

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height with a separate means of egress and their accessory structures not more than three stories above grade plane in height.

#### **IRC Section R320 Accessibility**

Where there are four or more dwelling units or sleeping units in a single structure, the provisions of Chapter 11 of the International Building Code for Group R-3 shall apply.

**R321.1.1 Guestrooms:** A dwelling with guestrooms shall comply with the provisions of Chapter 11 of the International Building Code for Group R-3. For the purpose of applying the requirements of Chapter 11 of the International Building Code, guestrooms shall be considered to be sleeping units.

#### **R320.1.2 Vacation Home Rentals.**

*A Dwelling used as a Vacation Home Rental under IBC Section 310.6 but designed under the International Residential Code is subject to the provisions of Chapter 11 of the International Building Code for Group R-3.*

#### **Exception:**

1. Owner-Occupied Lodging Houses with five or fewer guestrooms constructed in accordance with the International Residential Code are not required to be accessible.
2. *A Vacation Rental Property is exempt from Chapter 11 of the International Building Code when the Owner(s) of the Property only owns **One Vacation Home Rental Property throughout all of Routt County**. Owner(s) who share ownership or shares in any corporations and/or trusts that own Vacation Home Rental Properties throughout all of Routt County must disclose this information and count these properties as Legal Vacation Home Rental Properties and are then subject to design in accordance with Chapter 11 of the IBC for a Group R-3 Occupancy.*

The Routt County Building Department developed this Policy to create an Occupancy Classification for Vacation Home Rental Properties, this Policy shall be used for both Existing Buildings being converted to a Vacation Home Rental Property through a Change of Occupancy Building Permit Application, and for new building being designed and constructed to be used a Vacation Home Rental Property.

Sincerely,



Todd Carr, Building Official  
Routt County Building Department

**Routt County Regional Building Department**

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