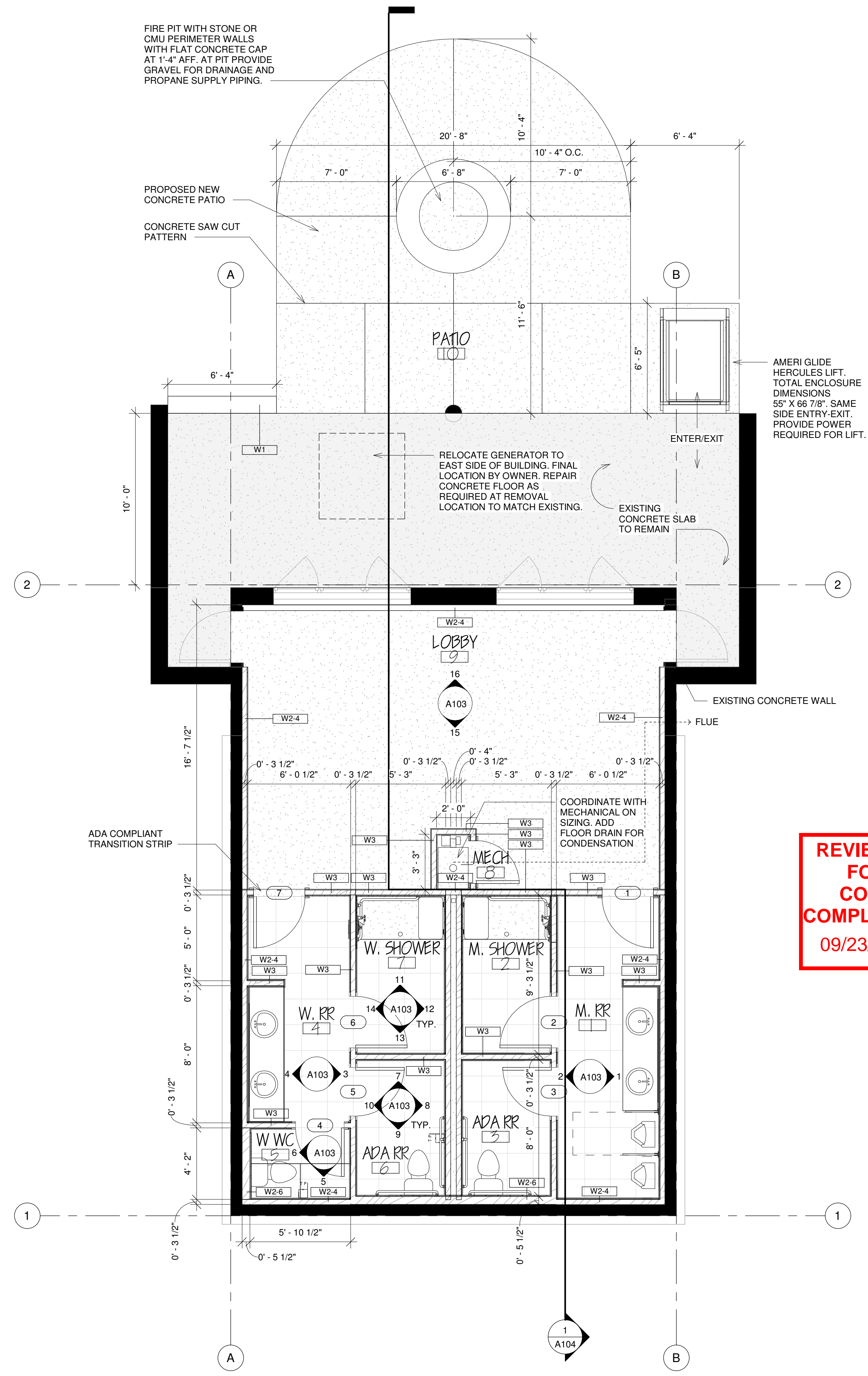
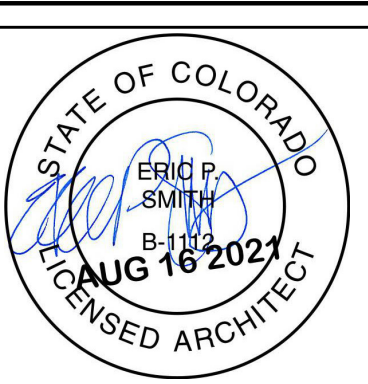


1 MAIN LEVEL
A101 1/4" = 1'-0"



2 LOWER LEVEL
A101 1/4" = 1'-0"

REVIEWED FOR CODE COMPLIANCE
09/23/2021



NOTICE OF COOPERATION
Release of these plans constitutes further cooperation among the owner, the contractor and the architect. Design and construction are complex. Although the architect and his consultants have performed their services with due care and diligence, they cannot guarantee perfection. Communication is imperfect and every contingency cannot be anticipated. Any ambiguity or discrepancy discovered by the use of these plans shall be reported immediately to the architect. Failure to notify the architect compounds misunderstanding and increases construction costs. A failure to cooperate by a simple notice to the architect shall release the architect from responsibility for the consequences. Changes made from the plans without consent of the architect are unauthorized and shall release the architect of responsibility for all consequences arising out of such changes.
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Eric Smith Associates, P.C.

REVISIONS		
No.	Description	Date

**STAGECOACH SKI AREA
UPPER BUILDING REMODEL**
ROUTE COUNTY, CO



Job Number: 21031.00
Date: 08/19/2021
Drawn By: Author
Checked By: Checker

Project Phase	SCHEMATIC DESIGN
Sheet Title	FLOOR PLANS
Sheet Number	A101

PERMIT SUBMITTAL: 08-16-2021

GENERAL NOTES

- DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSION AND CONDITIONS IN FIELD. DISCREPANCIES IN DIMENSIONS, EXISTING CONDITIONS AND FIELD MEASUREMENTS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE COMMENCEMENT OF THE WORK.
- THE EXISTING ELEMENTS & CONDITIONS SHOWN WITHIN THIS SET OF PLANS ARE BASED ON PREVIOUS SETS OF DRAWINGS AND GENERAL SITE OBSERVATIONS. PLEASE NOTE THAT THERE MAY BE MODIFICATIONS AND/OR UPDATES TO THE EXISTING BUILDING THAT MAY NOT BE REPRESENTED WITHIN THIS SET OF DRAWINGS. CONTACT THE ARCHITECT AND/OR STRUCTURAL ENGINEER WITH ANY DISCREPANCIES FOUND IN THE FIELD THAT MAY HAVE AN AFFECT ON THE REMODEL AS INDICATED WITHIN THIS CD SET.
- ANY AND ALL AREAS BEYOND THE SCOPE OF RECONSTRUCTION DAMAGED IN THE COURSE OF THE DEMOLITION SHALL BE REPAIRED AND FINISHED TO MATCH ADJACENT SURFACES & ELEMENTS.
- THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION MEETS OR EXCEEDS APPLICABLE CODES AND STANDARD PRACTICES, INCLUDING ALL FEDERAL, STATE AND LOCAL BUILDING REQUIREMENTS.
- DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE. WHEN DIMENSIONS ARE OF A WALL WITH PRECAST OR CMU, DIMENSIONS ARE TAKEN FROM FACE OF PRECAST OR CMU.
- DETAILS SHOWN WITHIN THIS SET ARE FOR GENERAL REPRESENTATION ONLY. CONTRACTOR SHALL FOLLOW ANY AND ALL APPLICABLE MANUFACTURER'S SPECIFICATIONS AND WARRANTY REQUIREMENTS RELATED TO THEIR PRODUCTS / MATERIALS AND SHALL BE COORDINATED WITH ADJACENT PRODUCTS / MATERIALS (I.E. WINDOW & DOOR ASSEMBLIES, INSULATED SHEATHING, EXTERIOR VENEERS, ETC...).
- CONTRACTOR SHALL VERIFY THAT EACH ELEMENT AND/OR COMPONENT BE INSTALLED PER THEIR RESPECTIVE MANUFACTURER'S SPECIFICATIONS AND WARRANTY AND/OR ANY APPLICABLE CODE OR STANDARD HAVING JURISDICTION OVER THIS PROJECT. CONTACT THE ARCHITECT IF THERE ARE ANY CONFLICTS BETWEEN THE MANUFACTURER'S SPECIFICATIONS AT ADJACENT OR OVERLAPPING MATERIALS.
- UOI = UNLESS OTHERWISE INDICATED.
- CONTRACTOR TO VERIFY TEMPERED GLAZING PROVIDED AT NEW DOORS AND WINDOWS PER CODE.
- PROVIDE FIRE STOPS AT CONCEALED VERTICAL AND HORIZONTAL SPACES. FIREBLOCKING & DRAFTSTOPPING ARE REQUIRED IN COMBUSTIBLE CONSTRUCTION. THROUGH-PENETRATION OR MEMBRANE PENETRATION FIRESTOPPING OF ALL FIRE-RESISTANT ASSEMBLIES REQUIRED PER IBC SECTION 713.
- ALL WORK CONNECTED WITH THIS PROJECT BY ANY TRADE INVOLVED SHALL BE DONE IN A WORKMANSHIP TYPE MANNER IN ACCORDANCE WITH THE BEST PRACTICE OF THE TRADE.
- CONTRACTOR SHALL PROVIDE JOB SITE CLEAN UP - SORT AND RECYCLE JOBSITE DEBRIS TO THE FULLEST EXTENT POSSIBLE INCLUDING CARDBOARD, STEEL, WOOD, ACOUSTICAL TILE, GLASS AND GYPSUM BD. CLEAN AND REMOVE CONSTRUCTION DEBRIS FROM THE SITE ON A DAILY BASIS. UPON JOB COMPLETION, LEAVE THE SITE IN A NEAT AND ORDERLY CONDITION. PROVIDE TRASH REMOVAL FOR PROJECT RELATED WORK BY SUBCONTRACTORS, ETC.
- ALL PERMITS (OCCUPANCY, ELECTRICAL, PLUMBING AND ALL OTHERS) REQUIRED BY STATE AND LOCAL CODES, EXCEPT THOSE ACQUIRED BY SUBCONTRACTORS, ARE TO BE SECURED BY THE GENERAL CONTRACTOR WITH COPIES TO OWNER WITHOUT EXTRA CHARGE. ALL PERMITS ACQUIRED BY SUBCONTRACTORS SHALL BE SUBMITTED TO THE GENERAL CONTRACTOR FOR RECORD.
- EACH TRADE SHALL VERIFY ALL REQUIREMENTS PERTAINING TO WORK PERFORMED IN THE PROJECT AND ANY REQUIRED PERMITS. ALL SUBCONTRACTORS SHALL DIRECT QUESTIONS, CHANGES OR REQUESTS THROUGH THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL SUBMIT ALL REQUESTS, CHANGES OR QUESTIONS TO THE ARCHITECT IN WRITING.
- NO UTILITY OR DATA SERVICES MAY BE DISCONNECTED WITHOUT FIRST CONTACTING THE FACILITY MANAGER IN ADVANCE FOR AUTHORIZATION.
- ALL EGRESS PATHS SHALL REMAIN OPEN AND AVAILABLE TO OWNER AND GUESTS.
- IF UNANTICIPATED MECHANICAL, PLUMBING, ELECTRICAL, STRUCTURAL ELEMENTS OR ANY OTHER CONDITIONS ARE ENCOUNTERED WHICH MIGHT CONFLICT WITH THE INTENDED FUNCTION OF THE RENOVATION CONTACT THE ARCHITECT IMMEDIATELY FOR CLARIFICATION. COORDINATE ACTIVITIES WITH THE FACILITY MANAGER IN ADVANCE OF DOING WORK.
- COORDINATE WORK OF DISCIPLINES, (ARCH., STRUCT., ELECT., MECH., PIPING, ETC.) WITH EXISTING CONDITIONS, SPECIAL REQUIREMENTS AND CONSTRUCTION SCHEDULE.
- CONTRACTOR SHALL COMPLY WITH OWNER'S REQUIREMENTS FOR STORAGE, REMOVALS, NOISE LEVELS, VENTILATION AND LIMITATIONS OF ACCESS TO SITE. COORDINATE WITH FACILITY MANAGER FOR CLARIFICATION. NO CHANGE ORDERS WILL BE PERMITTED FOR FAILURE TO BE AWARE OF OWNER'S REQUIREMENTS.
- PROVIDE, ERECT AND MAINTAIN TEMPORARY WORK AS MAY BE REQUIRED FOR PROTECTION OF THOSE IN OR ABOUT THE BUILDING.
- PROVIDE BARRICADES, PLASTIC COVERS, DUST BARRIERS, WARNING SIGNS, FIRE EXTINGUISHERS AND OTHER NECESSARY EQUIPMENT FOR THE PROTECTION AND SAFETY OF PERSONNEL, MATERIALS AND EQUIPMENT IN THE AREA.
- EACH CONTRACTOR SHALL INCLUDE COST OF MATERIAL AND LABOR NECESSARY TO PROVIDE ALL REQUIRED SUPPORTS, BEAMS, ANGLES, HANGERS, RODS, BASES, BRACES, CHANNELS, ETC. TO PROPERLY SUPPORT HIS CONTRACT WORK.
- PROVIDE ADEQUATE SUPPORTING BLOCKING AT ALL OF THE FOLLOWING LOCATIONS BUT NOT LIMITED TO: T.V. & VIDEO SCREEN MOUNTING LOCATIONS, HOOKS, MIRRORS, CASEWORK, FAUCETS, SHELVES, TOILET PARTITIONS, TOILET ACCESSORIES, ETC.

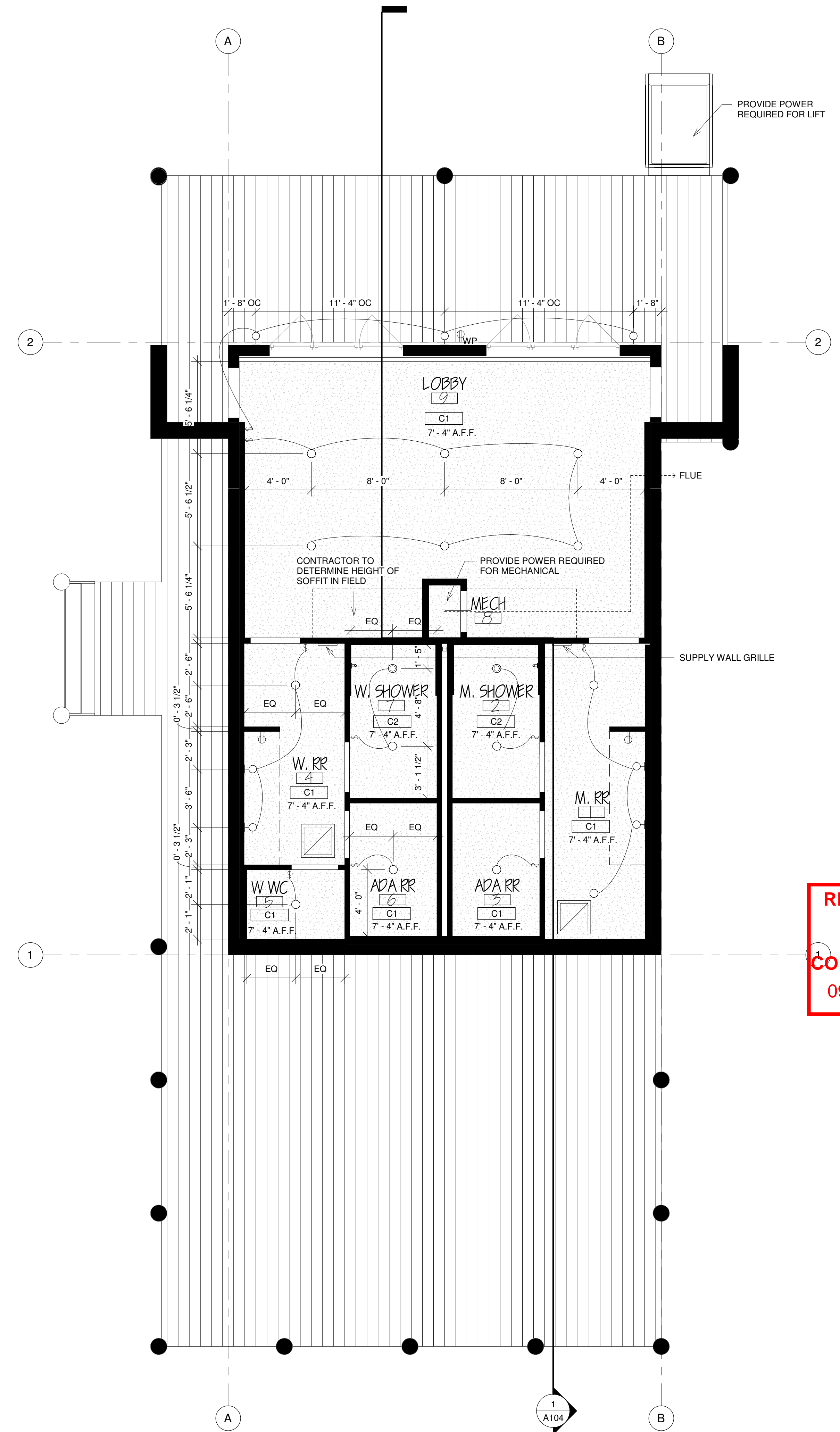
ELECTRICAL LEGEND & NOTES

- WALL SCONCE LIGHT
- 6" RECESSED CAN LIGHT - WATER PROOF
- 6" RECESSED CAN LIGHT
- DUPLEX RECEPTACLE
- WP ○ DUPLEX RECEPTACLE -WEATHER PROOF
- SINGLE SWITCH
- LED COVE STRIP LIGHT (VERTICAL & TILTED)
- SOFFIT BOUNDARY (TO BE DETERMINED IN FIELD)
- - - - COUNTERTOP BOUNDARY (FLOOR PLAN)

- ELECTRICAL LIGHT SYMBOLS SHOWN ON ARCHITECTURAL RCP ARE FOR GENERAL LOCATION REFERENCE ONLY AND ARE TO BE COORD. WITH THE ELECTRICAL CONSTRUCTION DRAWINGS.
- REF. ELECTRICAL CONSTRUCTION DRAWINGS FOR FIXTURE TYPE, SIZE, POWER, CONNECTION, SEQUENCING, LOCATION (OTHER THAN THOSE INDICATED ON THE ARCH. RCP), ETC.
- DINING ROOM J-BOX LOCATIONS ARE ALL TO BE VERIFIED WITH OWNER/INTERIOR DESIGNER BEFORE THE LOCATION IS FINALIZED. LEAVE ENOUGH SLACK TO ALLOW FOR MOVING THE DINING ROOM J-BOX AS REQUIRED.
- COORDINATE ALL RCPs WITH POWER, LIGHTING, MECHANICAL, FIRE ALARM, FIRE SPRINKLER, PLUMBING DRAWINGS, ETC.

HVAC LEGEND & NOTES

- ☒ SUPPLY DUCT
- ☒ RETURN DUCT
- WALL MOUNTED DIFFUSER



1 LOWER LEVEL R.C.P.
1/4" = 1'-0"



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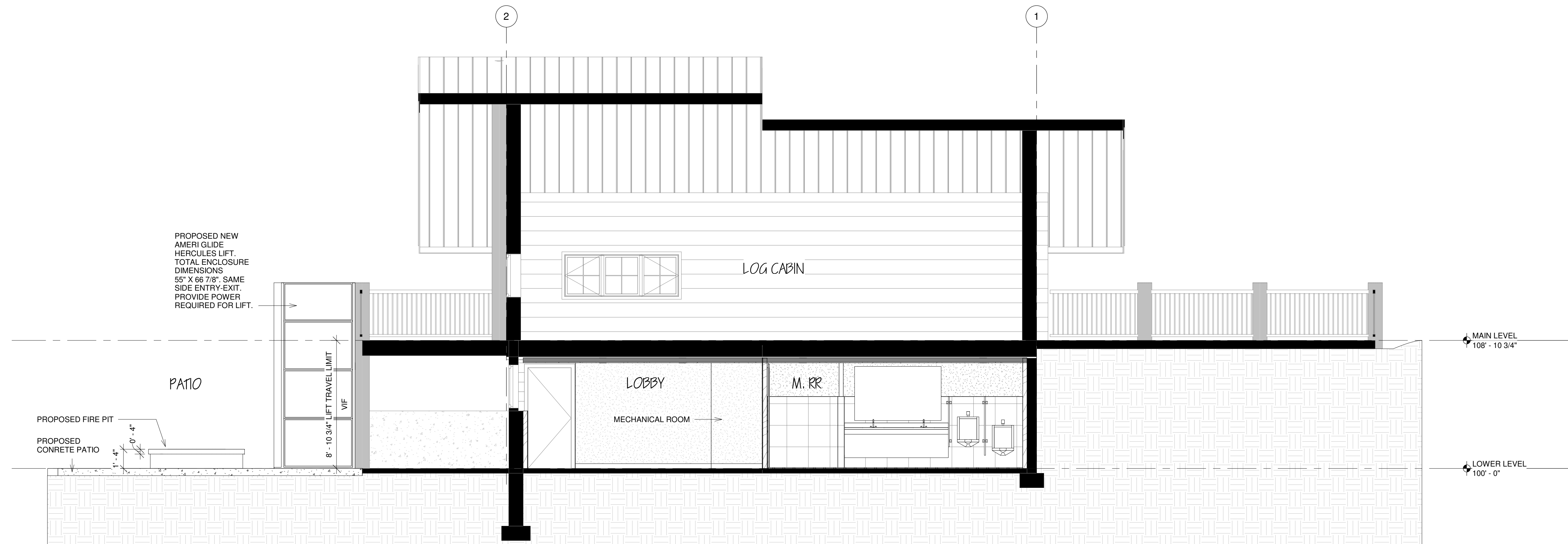
STAGECOACH SKI AREA
UPPER BUILDING REMODEL
ROUTE COUNTY, CO



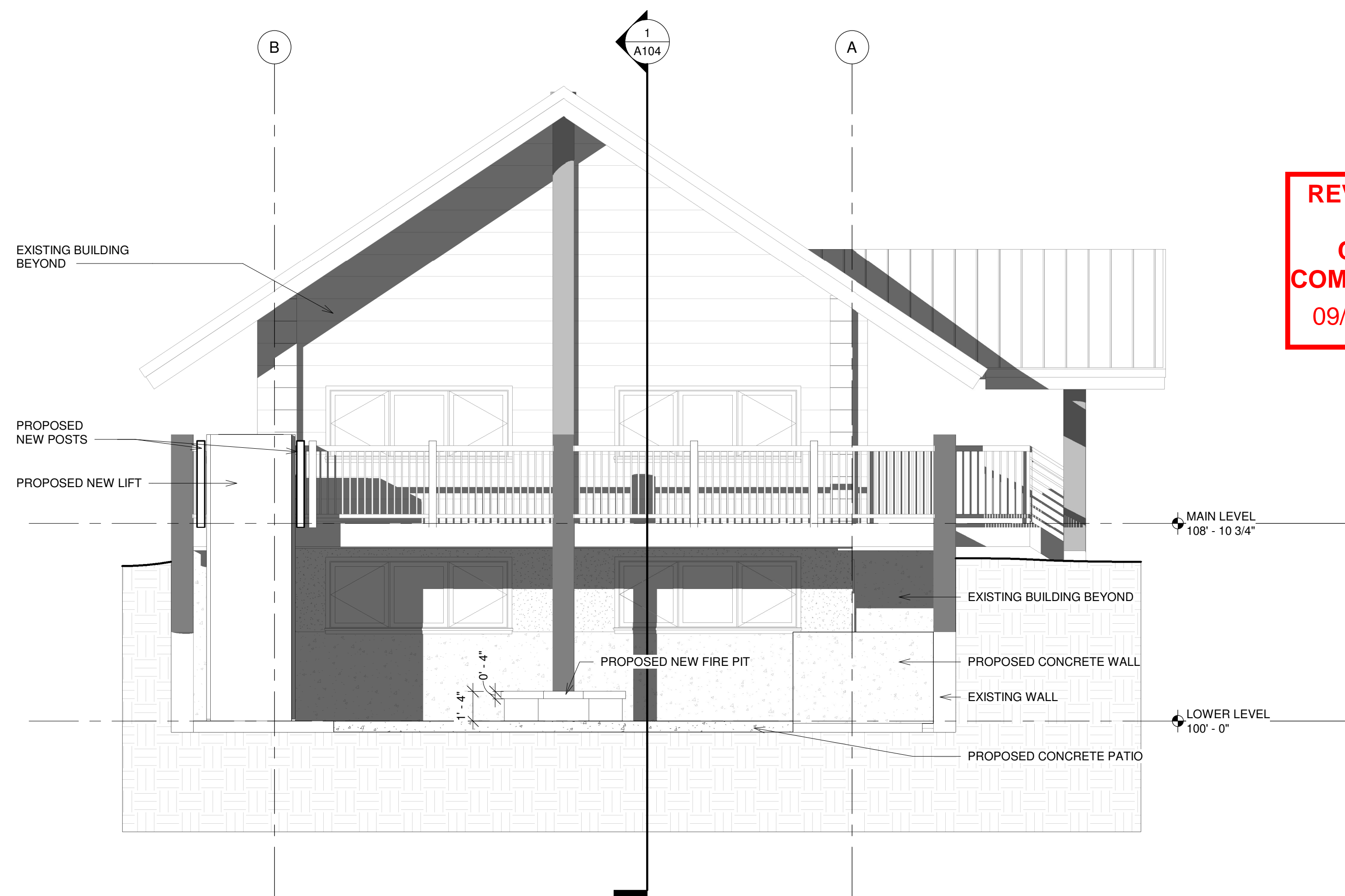
Job Number: 21031.00
Date: 08/19/2021
Drawn By: Author
Checked By: Checker

Project Phase
SCHEMATIC DESIGN
Sheet Title
LOWER LEVEL REFLECTED
CEILING PLAN
Sheet Number
A102

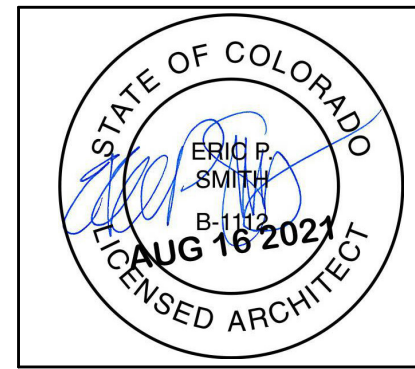
PERMIT SUBMITTAL: 08-16-2021



1 Section 1
A104 1/4" = 1'-0"



2 NORTH ELEVATION
A104 1/4" = 1'-0"



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Eric Smith Associates, P.C.

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REVIEWED FOR CODE COMPLIANCE
09/23/2021

**STAGECOACH SKI AREA
UPPER BUILDING REMODEL**
ROUTE COUNTY, CO



Job Number: 21031.00
Date: 08.19.2021
Drawn By: Author
Checked By: Checker

Project Phase
SCHEMATIC DESIGN

Sheet Title
BUILDING SECTIONS & ELEVATIONS

Sheet Number
A104

PERMIT SUBMITTAL: 08-16-2021