

The adopted codes in Routt County are the 2018 ICC model codes to include APPENDIX F RADON CONTROL METHODS. Required on all New Single Family home, Passive Radon Gas Controls are required. The components of a passive submembrane depressurization system shall be installed during construction but this does not mean you have to install the full system, just through the Soil-gas-retarder. A typical and effective radon mitigation system involves piping from a permeable layer below the structure upward through the structure and out the roof, which funnels radon gas through and outside the home. We allow you to stop just above the slab or if there is a crawl space it must be sealed except a pipe stubbed up and capped. Care should be taken to:

AF103.9 Vent pipe identification. Exposed and visible interior vent pipes shall be identified with not less than one label on each floor and in accessible attics. The label shall read: "Radon Reduction System."

AF103.10 Power source and access for future radon fan. To provide for future installation of a radon fan, an electrical circuit terminated in an approved box shall be installed during construction in the anticipated location of the radon fans.

GENERAL NOTES

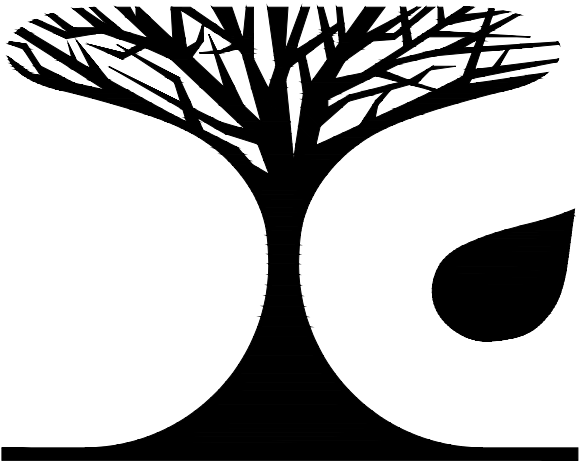
1. ALL CONSTRUCTION AND MATERIALS SHALL BE AS SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, LAWS, PERMITS, AND CONTRACT DOCUMENTS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURATE PLACEMENT OF ALL NEW CONSTRUCTION ON THE SITE.
3. ALL MATERIALS AND COMPONENTS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS BEFORE STARTING WORK.
5. CHANGES FROM THE PLANS MADE WITHOUT THE CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF THE RESPONSIBILITY OF ALL CONSEQUENCES RESULTING FROM SUCH CHANGES.
6. SHOULD A DISCREPANCY APPEAR IN OR BETWEEN DRAWINGS AND SPECIFICATIONS, THE SPECIFICATIONS SHALL TAKE PRECEDENCE UNLESS A WRITTEN DECISION FROM THE ARCHITECT HAS BEEN OBTAINED WHICH DESCRIBES A CLARIFICATION OR ALTERNATIVE METHOD AND/OR MATERIALS.
7. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN, ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH ANY MATERIALS OR EQUIPMENT.
8. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF WORK SHALL REMOVE ALL TRASH AND DEBRIS RESULTING FROM THEIR WORK.
9. ALL MATERIALS STORED ON-SITE SHALL BE PROPERLY STACKED AND PROTECTED IN ORDER TO PREVENT DAMAGE AND DETERIORATION. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.
10. CONTRACTORS SHALL DO ALL CUTTING, FITTING, OR PATCHING OF THEIR WORK THAT MAY BE REQUIRED TO MAKE SEVERAL PARTS OF WORK FIT TOGETHER PROPERLY, AND SHALL NOT ENDANGER ANY OTHER WORK BY CUTTING, EXCAVATING, OR OTHERWISE ALTERING THE TOTAL WORK OR ANY OTHER PART OF IT; ALL PATCHING, REPAIRING, AND REPLACING OF MATERIALS AND SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE WITH APPLICABLE MATERIAL SO THAT MATERIALS REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING MATERIALS.
11. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND APPROVED BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE WITH THE APPROVED SHOP DRAWINGS AND SAMPLES.
12. DIMENSIONS SHALL TAKE PRECEDENCE OVER THE SCALE OF THE DRAWINGS. ALL DIMENSIONS ARE TO FACE OF STUD, FACE OF CMU OR FACE OF CONCRETE UNLESS NOTED OTHERWISE.
13. WHERE LARGER STUDS OR FURRING ARE REQUIRED TO COVER PIPING AND CONDUITS, THE LARGER STUD SIZE OF FURRING SHALL BE EXTENDED THE FULL SURFACE OF THE WALL WIDTH AND LENGTH WHERE THE FURRING OCCURS.
14. PROVIDE ALL ACCESS PANELS AS REQUIRED BY GOVERNING CODES
15. STRUCTURAL AND FIRE RESISTIVE INTEGRITY SHALL BE MAINTAINED AS REQUIRED BY GOVERNING CODES.
16. FIRELOCKS AND DRAFT STOPS SHALL BE PROVIDED AS REQUIRED BY GOVERNING CODES
17. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT AIR INFILTRATION PER IECC 402.4
18. RECESSED LIGHTS SHALL BE SEALED PER IECC 402.4.3
19. CONTRACTOR IS REQUIRED TO RE-VEGETATE DISTURBED AREAS PRIOR TO THE ISSUANCE OF A CO.

MECHANICAL NOTES

1. MECHANICAL EQUIPMENT TO BE DESIGN-BUILD BY MECHANICAL CONTRACTOR.
2. HEATING TO BE HYDRONIC IN-FLOOR RADIANT WITH A CLOSED COMBUSTION BOILER SYSTEM OF 90% EFFICIENCY OR BETTER. SYSTEM TO BE ZONED WITH ONE ADDITIONAL ZONE FOR HOT WATER HEATING WITH A STAND-BY HOT WATER TANK INSULATED FOR 90% EFFICIENCY OR BETTER.
3. PROVIDE SPOT VENTILATION TO EXTERIOR IN ALL BATHROOMS SWITCHED TO OCCUPANCY SENSOR. EXHAUST FANS TO BE LOW-SOUND. LESS THAN 1.
4. CONTRACTOR TO ARRANGE AND PAY FOR ALL PERMITS, LICENSES, INSPECTIONS AND FEES REQUIRED IN CONNECTION WITH THE COMPLETION OF THE SCOPE OF WORK SPECIFIED. CONTRACTOR TO FURNISH THE OWNER WITH ALL FINAL APPROVES CERTIFICATES OF INSPECTIONS AND WARRANTIES.
5. MECHANICAL EQUIPMENT EFFICIENCIES TO BE PER THE IECC PRESCRIPTIVE DESIGN APPROACH (NAECA MINIMUMS). CONTRACTOR TO PROVIDE HEAT LOSS CALCULATIONS USING A COMPUTATIONAL APPROACH AS OUTLINED IN ASHRAE

HANDBOOK OF FUNDAMENTALS OR EQUAL. IN ADDITION, THE FURNACE BTU RATINGS SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR APPROVAL AS REQUIRED.

6. HEATING CONTRACTOR TO PROVIDE SHOP DRAWINGS ON SYSTEM LAYOUT, AND CUT SHEETS ON ALL EQUIPMENT AND ACCESSORIES.
7. INSTALL ALL EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.
8. SUPPLY AND RETURN DUCTS TO BE INSULATED TO A MINIMUM OF R-8. DUCTS IN FLOOR SYSTEM TO BE INSULATED TO A MINIMUM OF R-6. EXCEPTION: DUCTS OR PORTIONS THEREOF LOCATED COMPLETELY INSIDE THE THERMAL BUILDING ENVELOPE.
9. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH FEDERAL, STATE, AND LOCAL RULES AND REGULATIONS, THE INTERNATIONAL RESIDENTIAL PLUMBING CODE, UNDERWRITERS LABORATORY STANDARDS, NFPA, ASME, SMAQNA, FSNANSI, OSHA, AND ASTM STANDARDS.
10. ALL WORK SHALL COMPLY WITH THE RULES OF THE LOCAL UTILITY COMPANIES. CONTRACTOR IS RESPONSIBLE FOR ANY REQUIRED ACCESSORY EQUIPMENT'S PURCHASE AND INSTALLATION.
11. CONTRACTOR RESPONSIBLE FOR ALL REQUIRED EXCAVATION AND BACKFILL FOR LAYING OF ALL MECHANICAL SYSTEMS REQUIRED IN CONNECTION WITH THE COMPLETION OF THE SCOPE OF WORK SPECIFIED.
12. CONTRACTOR IS RESPONSIBLE FOR THE APPROPRIATE SIZING OF ALL PIPING, WIRING, FITTINGS, AND MATERIALS TO BE IN ACCORDANCE WITH APPLICABLE CODES AND GOOD BUILDING PRACTICE.
13. CONTRACTOR SHALL COORDINATE THEIR WORK WITH THE WORK OF THE OTHER TRADES AND SCHEDULE THERE WORK AS NOT TO DELAY THE WORK OF OTHERS.
14. CONTRACTOR TO REVIEW INSTALLATION LOCATIONS WITH THE GENERAL CONTRACTOR PRIOR TO INSTALLATION.



ARCHITECT

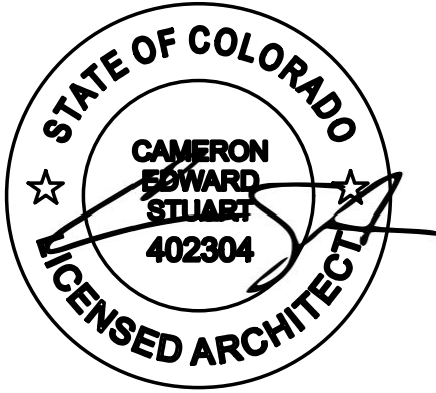
STUART ARC

DESIGN BUILD

1785 HIGHLAND WAY
STEAMBOAT SPRINGS, CO. 80487
970-819-2159
CSTUART@STUARTARC.COM

HEAD
RESIDEINCE

30275 HWY 131
STEAMBOAT SPRINGS
COLORADO. 80487



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NOTES

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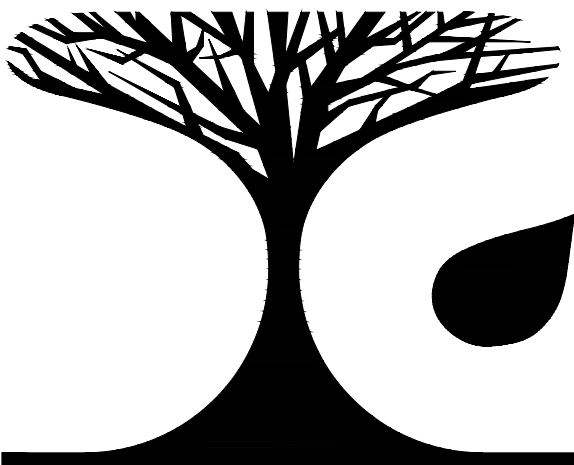
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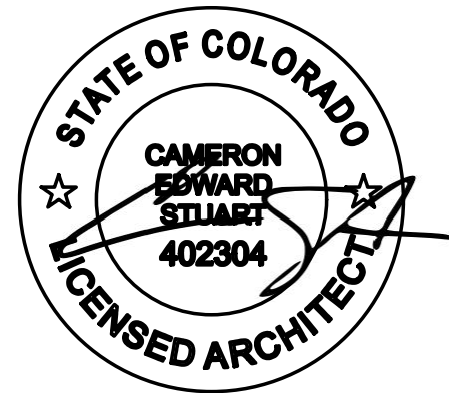
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STEAMBOAT SPRINGS, CO. 80487
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CSTUART@STUARTARC.COM

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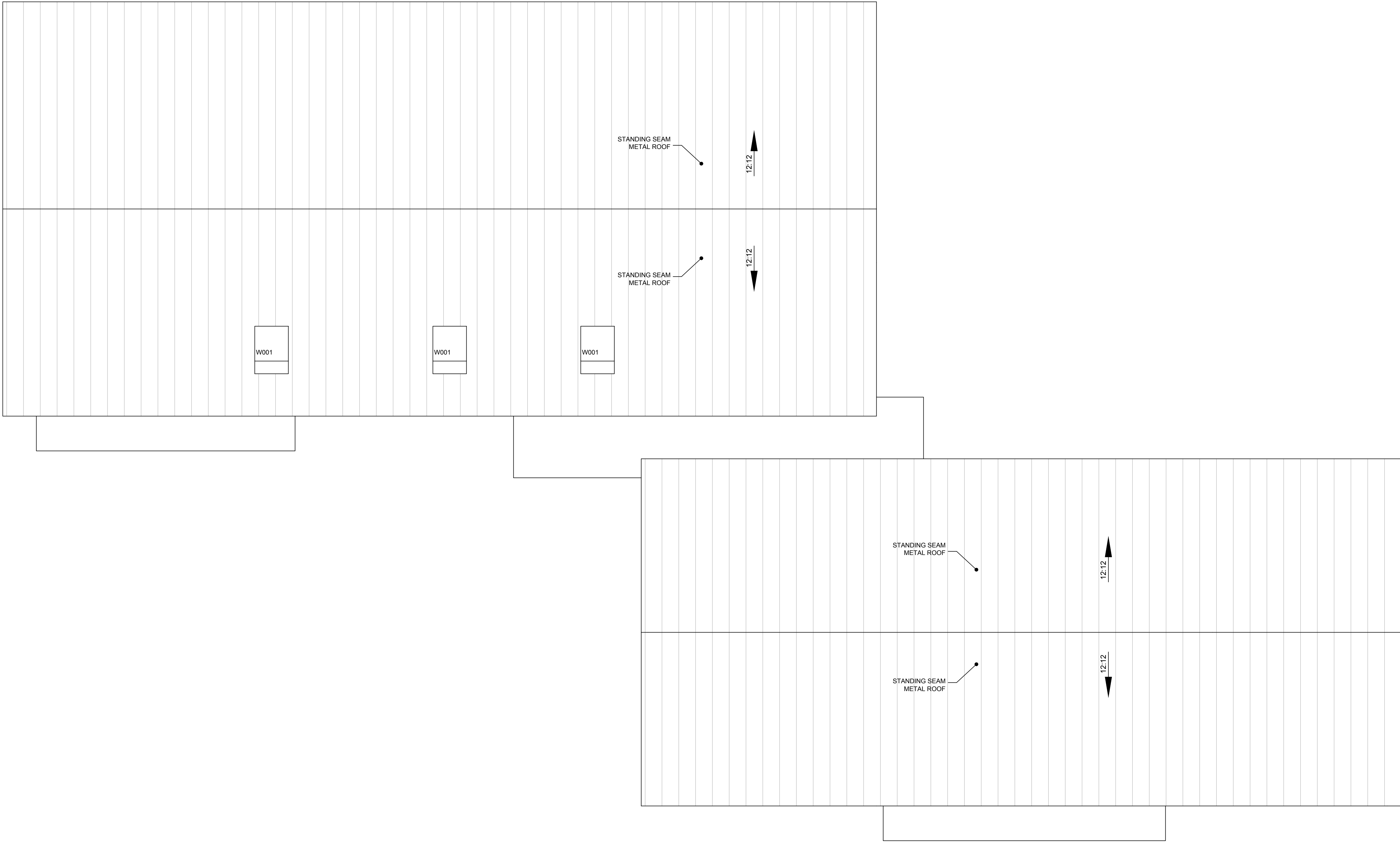
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PLANS

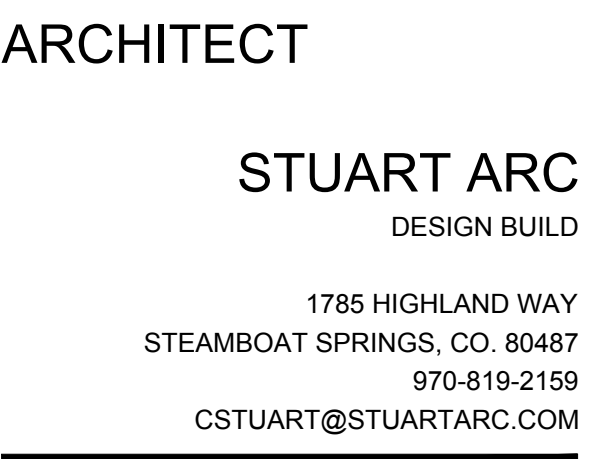
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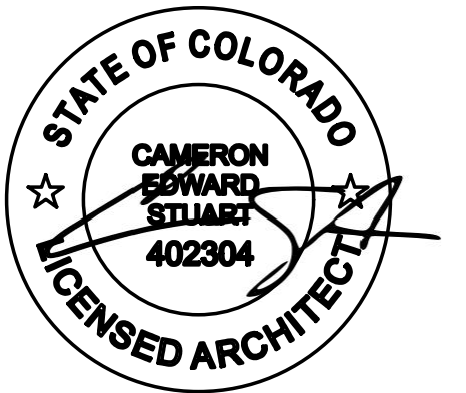


1 ROOF PLAN

1/4" =1'- 0"



NTS


$$\frac{1}{4}'' = 1' - 0''$$


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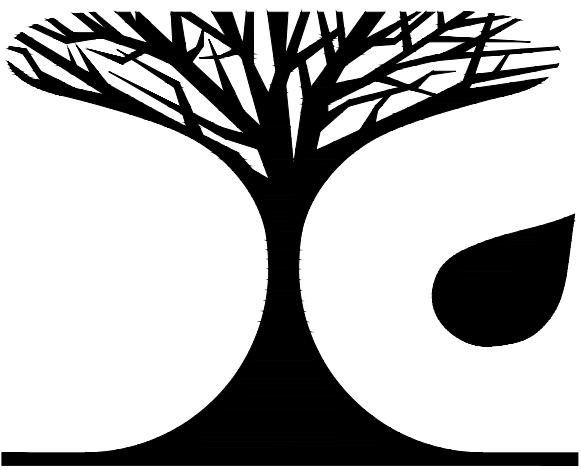
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ELEVATIONS

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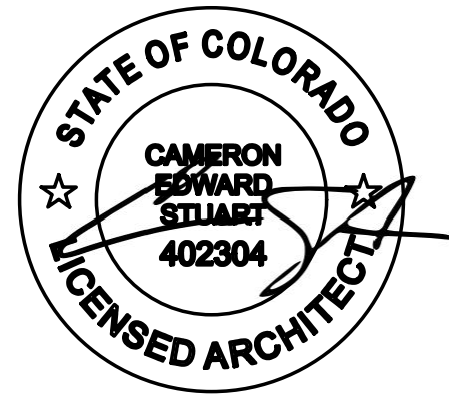
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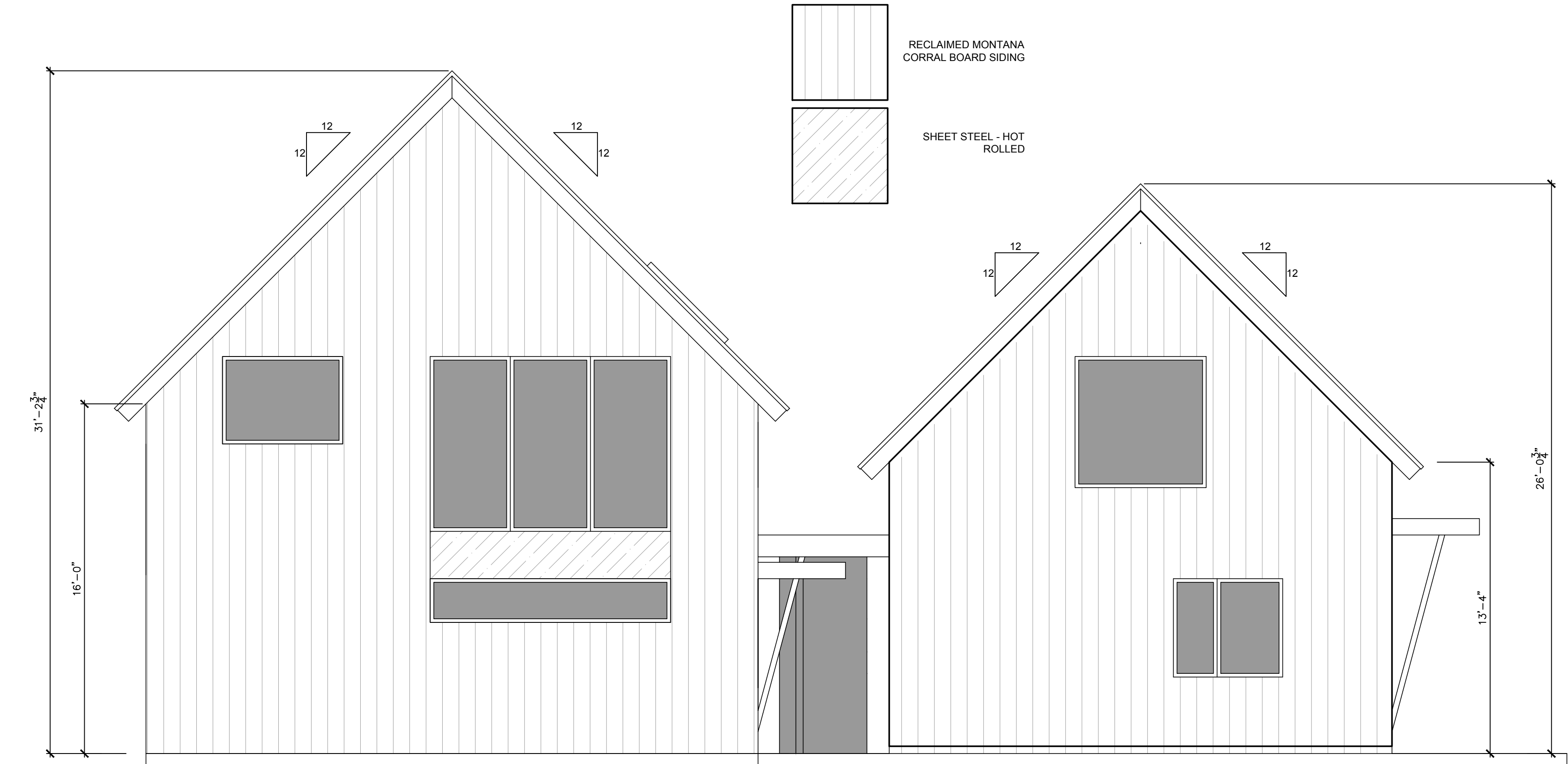
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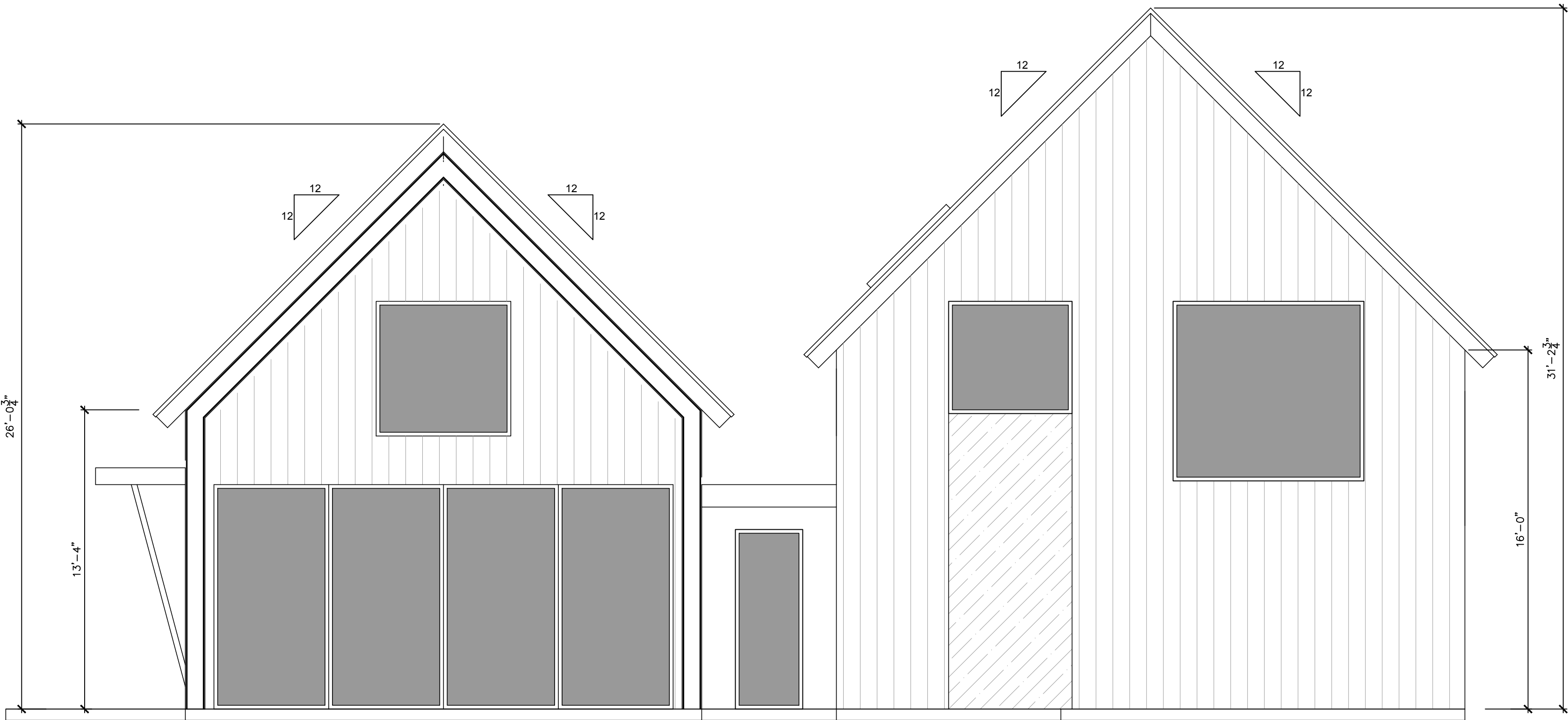
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1 WEST ELEV

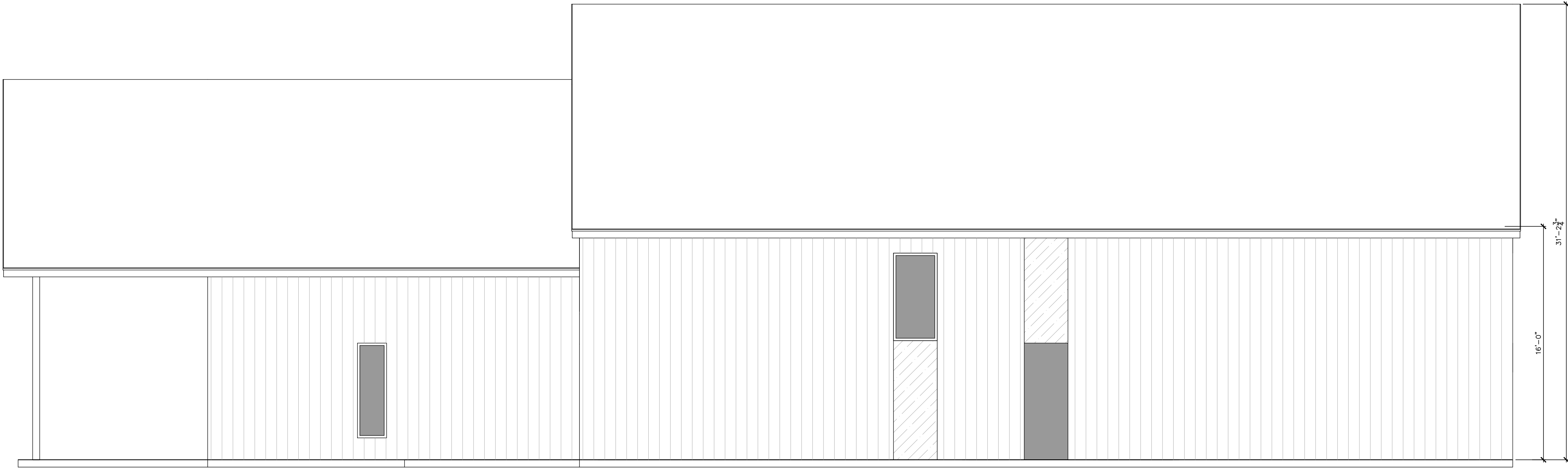
1/4" =1'- 0"



2 EAST ELEV

1/4" =1'- 0"

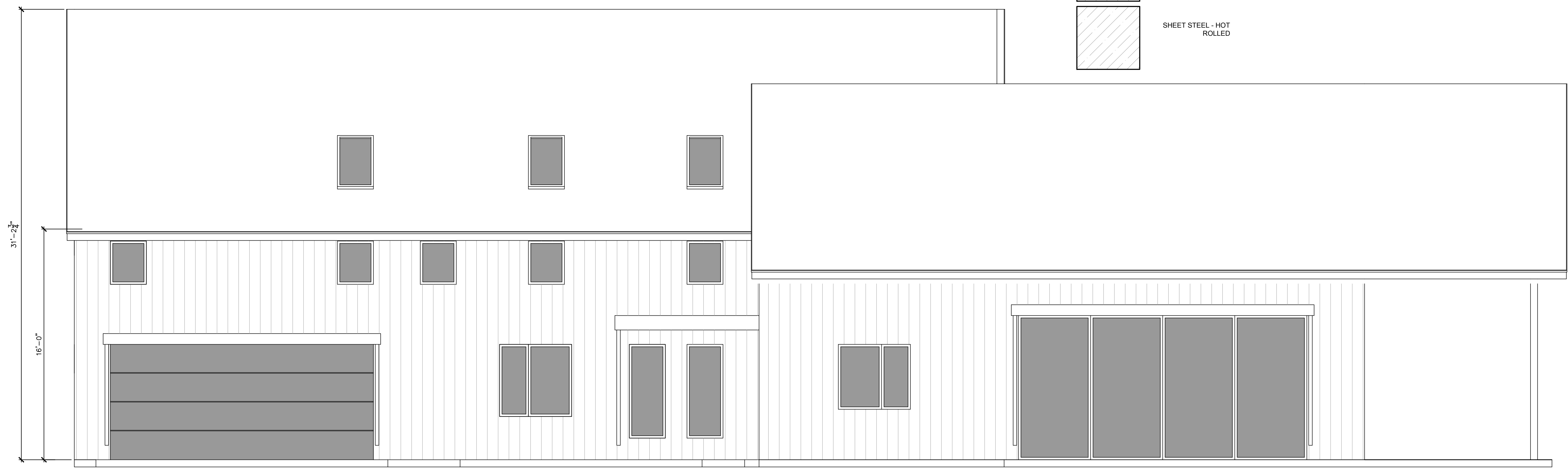
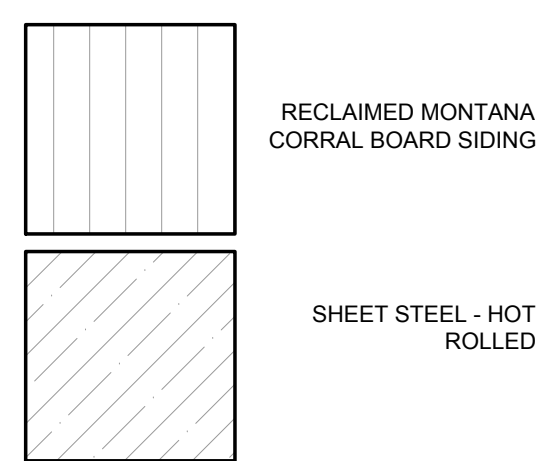
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2 NORTH ELEV

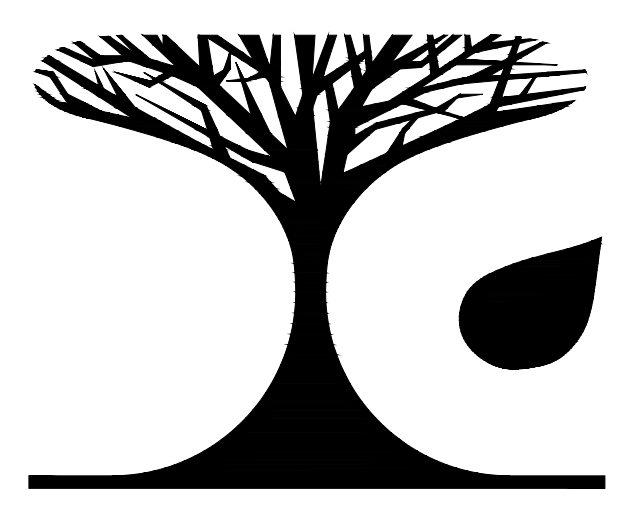
SILVERTON - VERT.

1/4" = 1'- 0"



2 SOUTH ELEV

1/4" = 1'- 0"



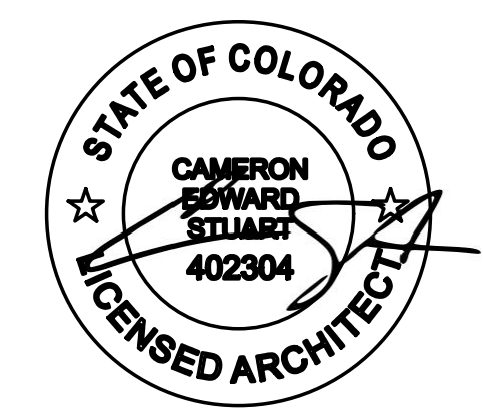
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DESIGN BUILD

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STEAMBOAT SPRINGS, CO. 80487
970-819-2159
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HEAD
RESIDEINCE

30275 HWY 131
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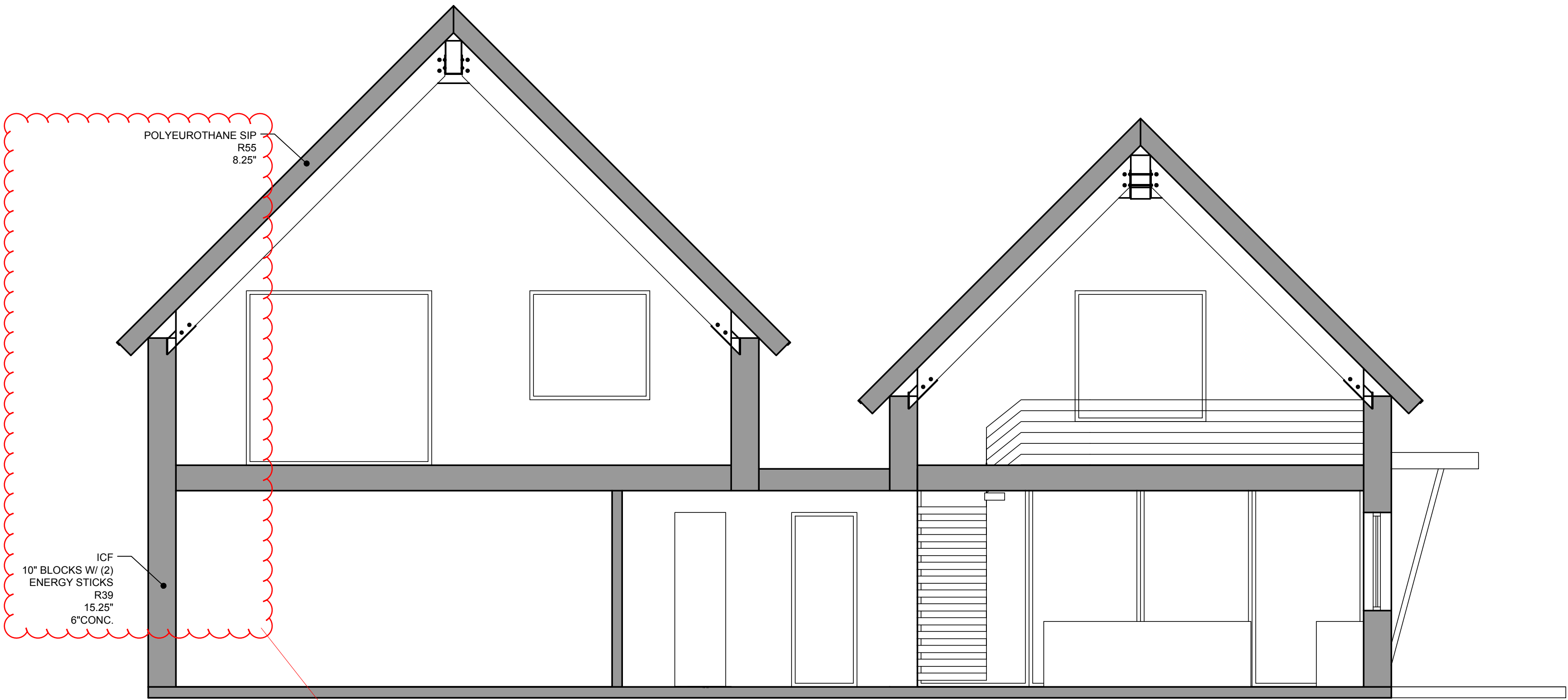
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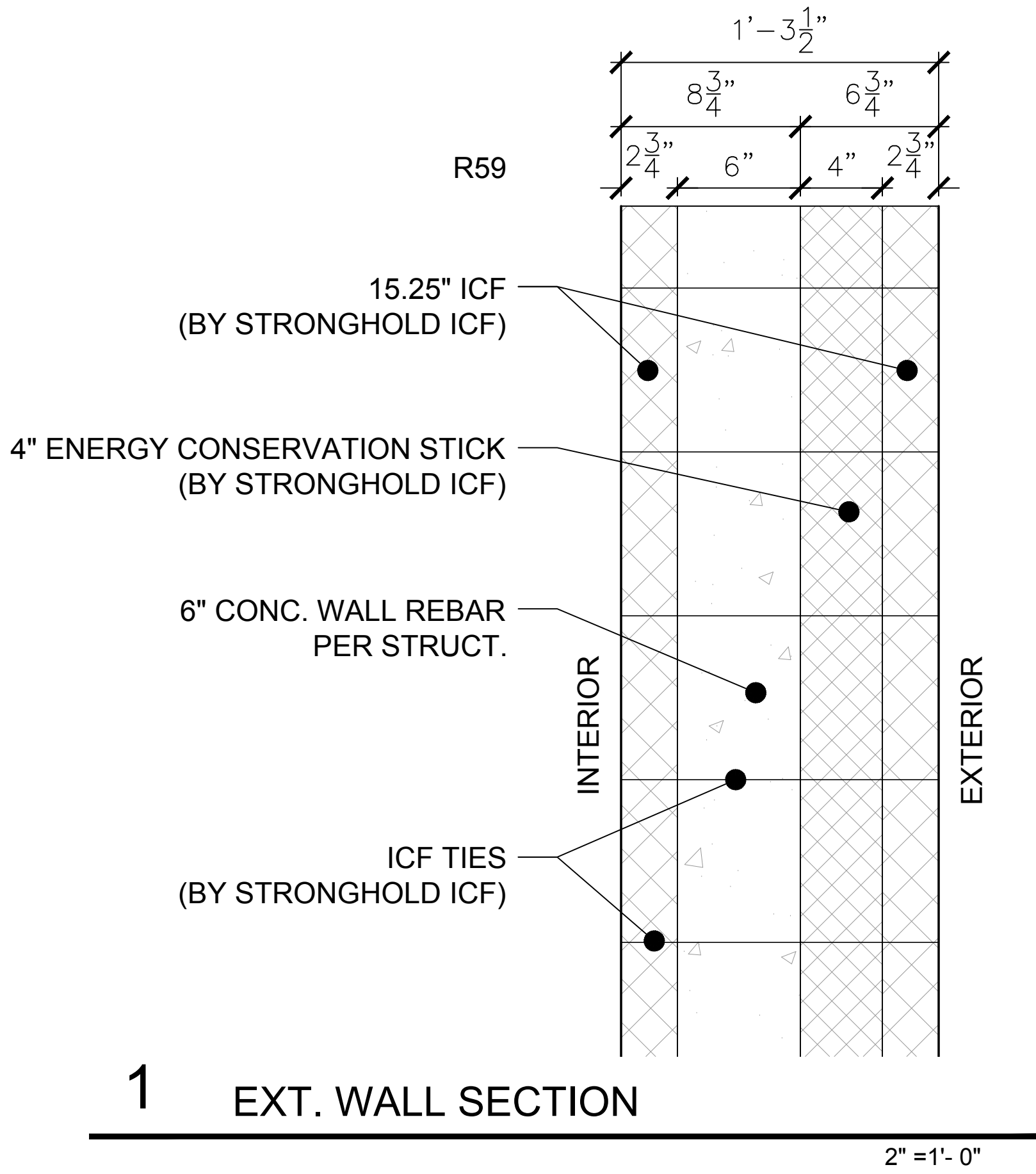
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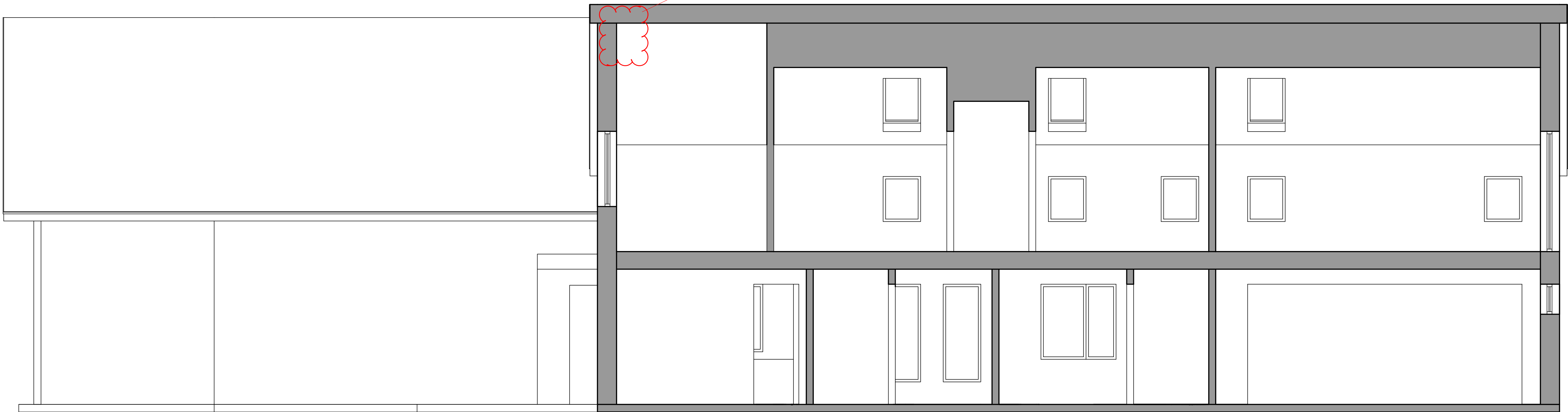
Based on the Work Description – "Ultra-Efficient Single family house. Will be building to near Passive House standards." The building is wood framed with R55 SIP roof panels and R39 ICF. Routt County Regional Building Department (RCRBD) typically requires a path to compliance using the 2018 International Codes such as IECC. All construction shall comply with the 2018 local code amendments as shown on approved plans. Energy provisions from the International Energy Conservation Code—Residential Provisions applicable to residential buildings which fall under the scope of this code require the plans need to show this information. A building section cut or typical wall section through the representative wall and floors as required to show the thermal envelope as required to accurately show in detail shall be submitted (Building Section 1/A5.0). All information shall be using Zone 7, Dry. Details shall include, but are not limited to, as applicable: 1. Insulation materials and their R-values (furnished by manufacturer include per inch if applicable). 2. Fenestration U-factors and air leakage. 3. Area-weighted U-factor calculations (if applicable). 4. Equipment and system controls. 5. Air sealing details. 6. The building or dwelling unit shall be tested and verified as having an air leakage rate of not exceeding three air changes per hour.

1 BUILDING SECTION
1/4" = 1'- 0"

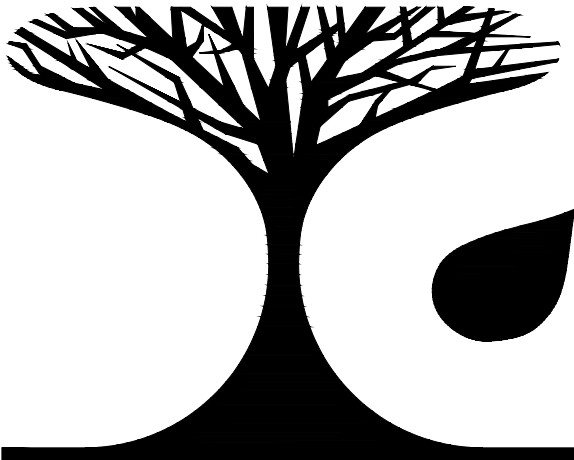


1 EXT. WALL SECTION
2" = 1'- 0"

Unless otherwise allowed in Section R316.5, foam plastic shall be separated from the interior of a building by an approved thermal barrier of not less than 1/2-inch (12.7 mm) gypsum wallboard. This applies to the Nadura ICF wall specified in the Structural plans and SIP roof panels. I suggest asking the ICF by Stronghold and any SIP manufacturer if they have been approved by ICC under a ESR report that ICC publishes as they specify whether this is necessary or if there are other approved thermal barrier(s).



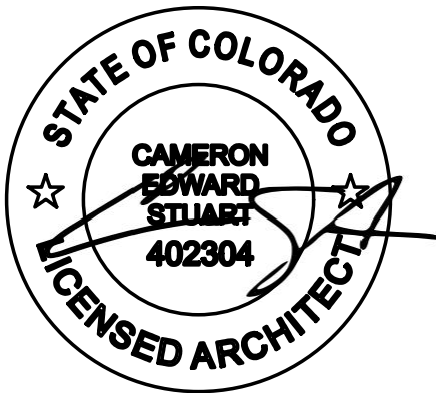
2 BUILDING SECTION
1/4" = 1'- 0"



ARCHITECT
STUART ARC
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STEAMBOAT SPRINGS, CO. 80487
970-819-2159
CSTUART@STUARTARC.COM

HEAD
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30275 HWY 131
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