

GENERAL NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL BE SPECIFIED AND IN ACCORDANCE WITH ALL APPLICABLE CODES, PERMITS AND LAWS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF ALL NEW CONSTRUCTION ON THE SITE
3. THE CONTRACTOR SHALL VERIFY ALL FIELD DIMENSIONS AND CONDITIONS BEFORE STARTING WORK. IF A DISCREPANCY APPEARS BETWEEN CONSTRUCTION DOCUMENTS AND EXISTING CONDITIONS, NOTIFY YAMPA VALLEY ENGINEERING AT ONCE.
4. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDUCT. THE JOB SITE SHALL BE FREE OF DEBRIS AND TRASH. MATERIALS AND EQUIPMENT SHALL BE REASONABLY PLACED. EACH SUB-CONTRACTOR ON COMPLETION OF HIS/HER PHASE OF THE JOB SHALL REMOVE ALL DEBRIS, TRASH AND EQUIPMENT.
5. ALL MATERIALS AND EQUIPMENT ON THE JOB SITE SHALL BE STACKED AND PROTECTED PROPERLY TO PREVENT DAMAGES AND OR DETERIORATION.
6. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS. ALL DIMENSIONS ARE TO FACE OF FRAMING AND FACE OF CONCRETE. ALL INTERIOR STUDS ARE TO BE 2X4 UNLESS OTHERWISE NOTED. ALL EXTERIOR STUDS ARE TO BE 2X6 UNLESS OTHERWISE NOTED.
7. CONTRACTOR SHALL PROVIDE ALL BLOCKING, BACKING, AND FRAMING FOR LIGHT FIXTURES AND ELECTRICAL EQUIPMENT.
8. PROVIDE ALL ACCESS PANELS TO ALL ENCLOSED SPACES, VOIDS AND ATTICS AS REQUIRED BY GOVERNING CODES.

APPLICABLE CODES OF 2022

2018 INTERNATIONAL BUILDING CODE
2018 INTERNATIONAL MECHANICAL CODE
2018 INTERNATIONAL PLUMBING CODE
2018 INTERNATIONAL ENERGY CONSERVATION CODE
2020 NATIONAL ELECTRIC CODE

CODE REVIEW FOR:

Hahn's Peak Roadhouse, 60880 RCR 129, Hahn's Peak, Colorado. The following calculations are for the entire building.

Narrative:
This Code Analysis is for the existing structure and the proposed addition. All fire separation assemblies are assumed to be in compliance. The R-3 is over the mercantile only. The Code review shall be analyzed under the the 1997 Uniform Building Code.

Construction: Type VN non-sprinklered
Occupancies analyzed: M, A-3 & R-3

| Occupancy | Area(Sq. Ft.) | Allowed(Sq. Ft.) |
|---------------------|---------------|------------------|
| First Story M | 1666 | 5,000 |
| A-3 | 3242 | 6,000 |
| Second Story R-3 | 9265 | unlimited |

| | Actual Height: | Allowable Height: |
|---------------------|----------------|-------------------|
| First Story M | 9'-3 1/2" | 40'-0" |
| A-3 | 10'-0" | 40'-0" |
| Second Story R-3 | 22'-0" | 40'-0" |

| | Actual Stories: | Allowable stories: |
|---------------------|-----------------|--------------------|
| First Story M | 1 | 2 |
| A-3 | 1 | 1 |
| Second Story R-3 | 1 | 3 |

| | |
|---------------------|------------------------|
| First Story M | 1201 sq ft/30=40 Occ. |
| A-3 | 2485 sq ft/15=165 Occ. |
| Commercial Kitchen | 1115 sq ft/100=22 Occ. |
| Second Story R-3 | 9265 sq ft/300=20 Occ. |
| Total | 2118 Occ |

| | Exits Required | Exits Provided |
|---------------------|----------------|----------------|
| First Story M | 1 | 2 |
| A-3 | 2 | 2 |
| Second Story R-3 | 1 | 1 |

| | Max. Travel Distance Required | Max. Travel Distance |
|---------------------|-------------------------------|----------------------|
| Second Story R-3 | 100 Ft | 66 Ft. |
| First Story A-3 | 100 Ft | 92 Ft. |
| M | 100 Ft. | 90 Ft. |

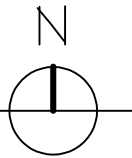
Fire Resistive Construction: 1-Hour separation between R-3 & M & A-3
No separation between M & A-3

VENTILATION
Ventilation is provided by operable openings and mechanical equipment.

Accessibility:
Accessibility features are ADA bathrooms, 36" clear path through M & A-3 and a at grade entrance for the retail space and restaurant.



VICINITY MAP



PROPOSED PROJECT

Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NOAA, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, CSA, Geoland, FEMA, Intermap and the GIS user community, Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community, Sources: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community

SHEET INDEX

ARCHITECTURALS
T-1 TITLE SHEET
A-0 INFO SHEET
C-1 SITE PLAN
A-1 EXISTING ELEVATIONS
A-2 PROPOSED ELEVATIONS
A-3 PROPOSED MAIN LEVEL FLOOR PLAN
A-4 PROPOSED SECTIONS

STRUCTURALS
F-1 FOUNDATION PLAN
S-1 FRAMING PLAN

YVE,
YAMPA VALLEY ENGINEERING, INC.

STRUCTURAL
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02-31-22

Reviewed for
Code Compliance

03/03/2022

VISTA VERDE RANCH OUTPOST

PLANS FOR:

60880 COUNTY ROAD 129
CLARK, COLORADO

JOB NO: 21-074
DRAWN: ECS
DATE: 01-06-22

REVISIONS

| NO. | DATE | DRAWN |
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| 1 | 02-01-22 | ECS |
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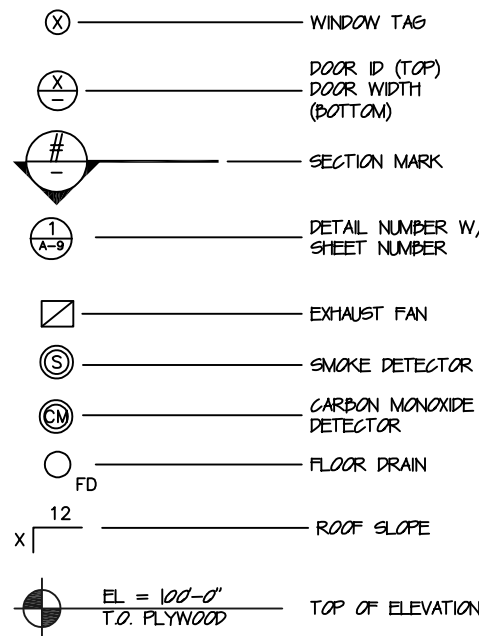
A-0

PROJECT DIRECTORY

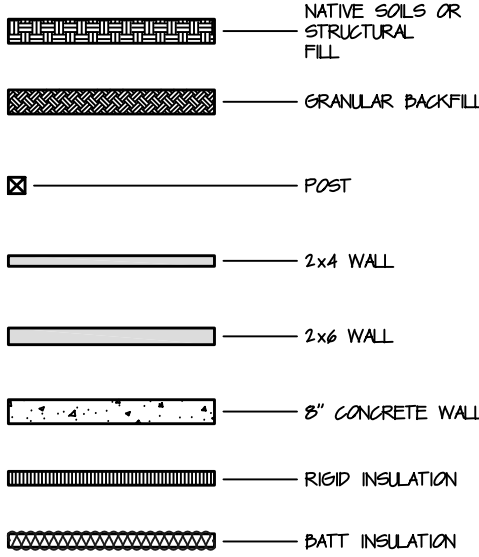
OWNER
JONES OUTPOST HOLDING, LLC
1914 EAST FOREST AVE.
WHEATON, IL 60187
LICENSED DESIGN PROFESSIONAL &
STRUCTURAL ENGINEER
YAMPA VALLEY ENGINEERING, INC.
1794 KAMAR PLAZA
P.O. BOX 772192
STEAMBOAT SPRINGS, COLORADO 80477
970-870-9229
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CONTRACTOR
GARCIA CONSTRUCTION

SYMBOLS

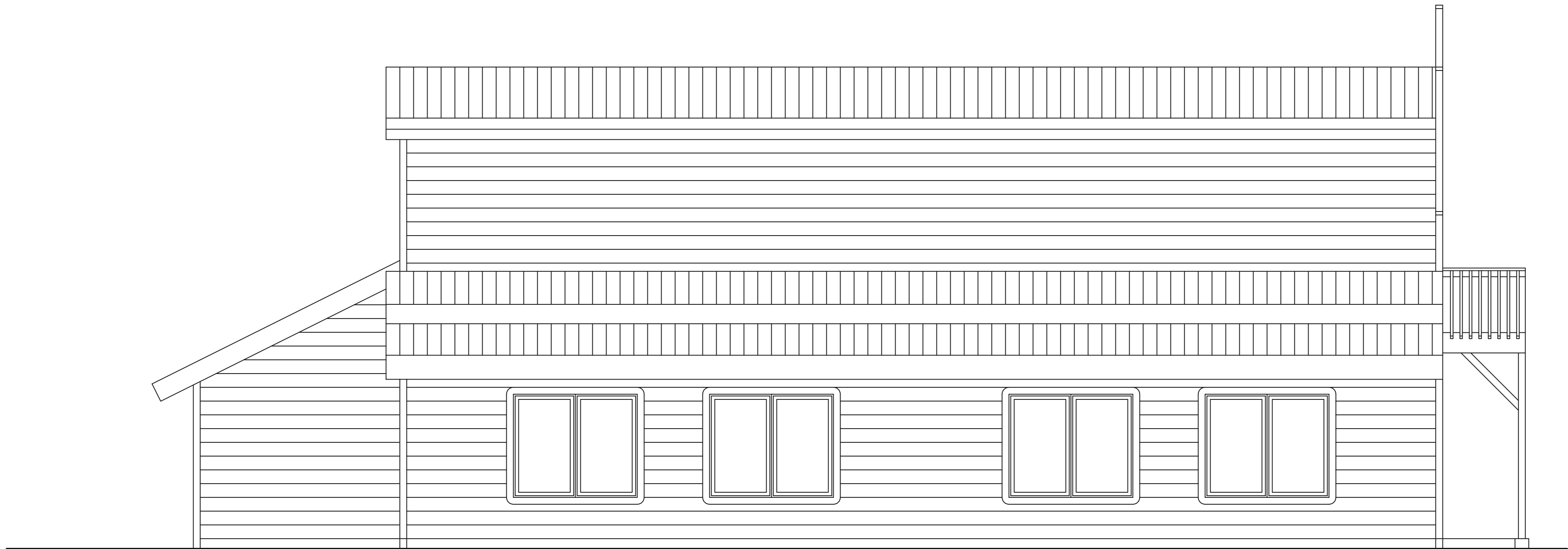


LEGEND





1
A-1
EXISTING NORTH ELEVATION
SCALE 1/4" = 1'-0"



2
A-1
EXISTING WEST ELEVATION
SCALE 1/4" = 1'-0"

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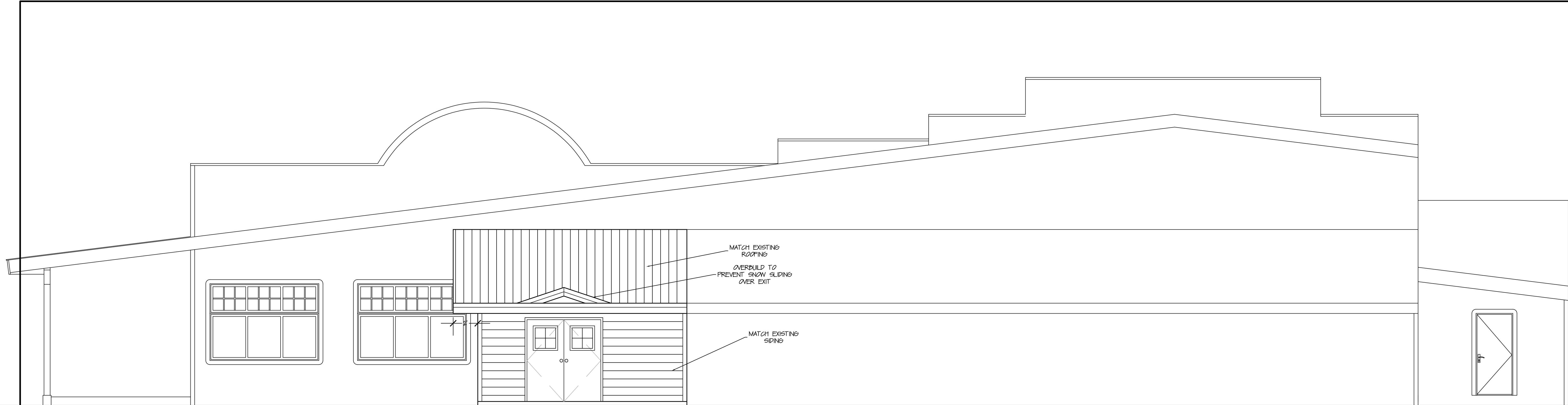
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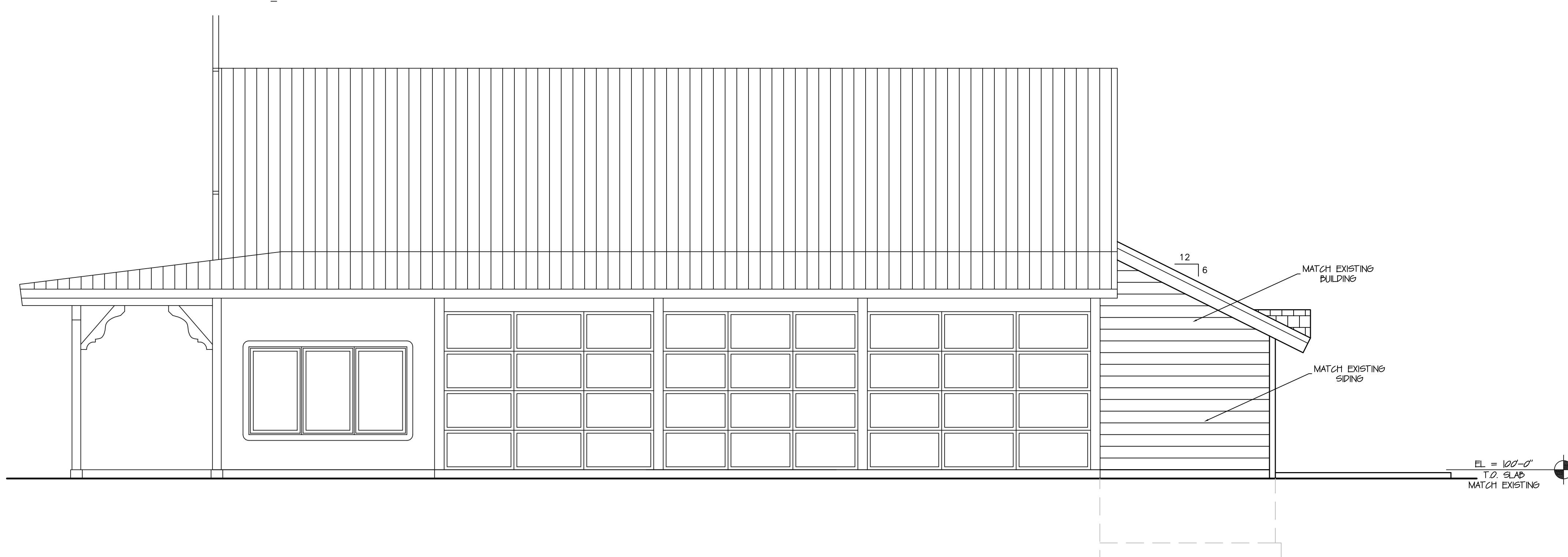
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SHEET NUMBER

A-1



1
A-2
PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



2
A-2
PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"

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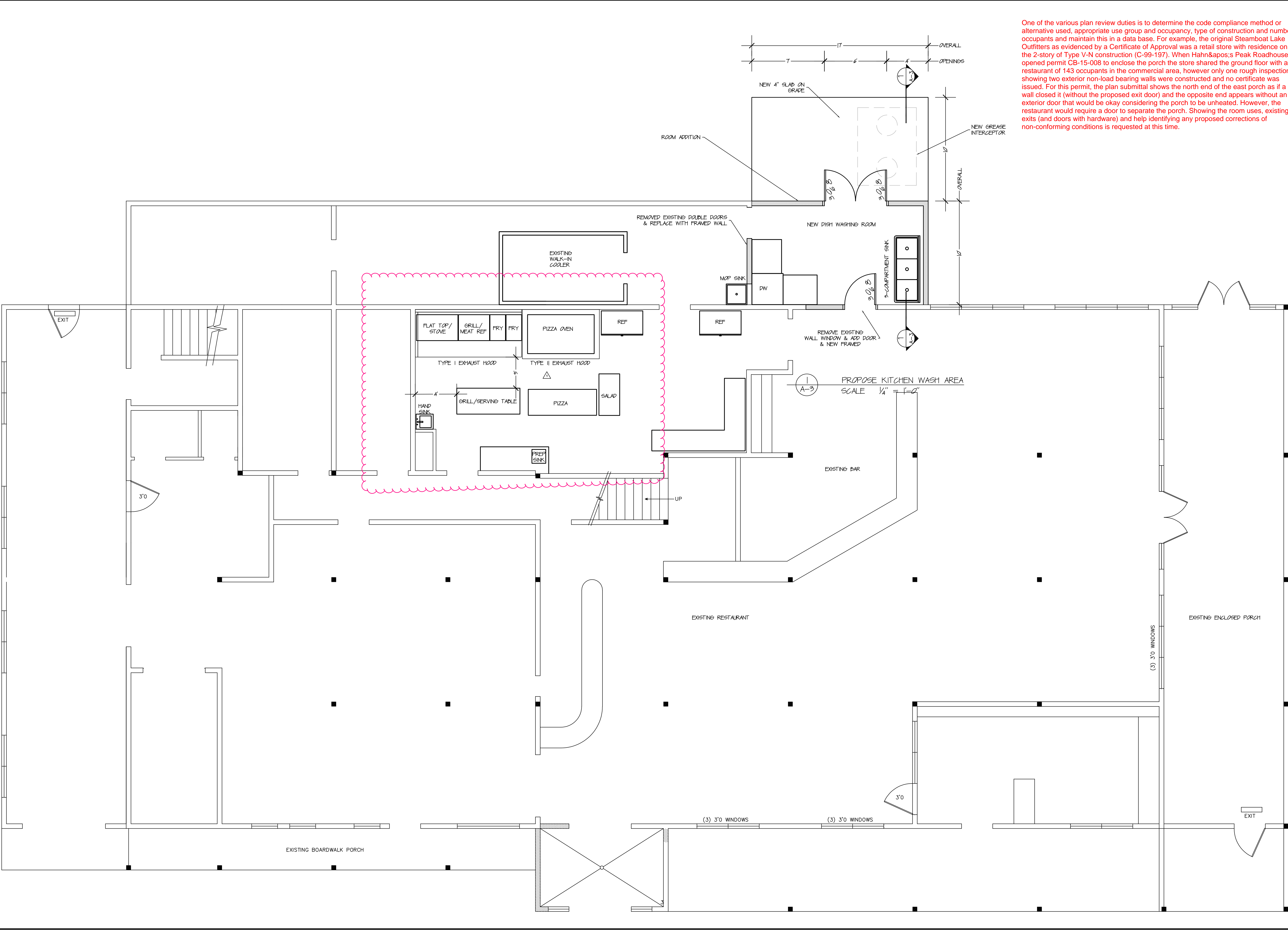
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CLARK, COLORADO

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A-2



One of the various plan review duties is to determine the code compliance method or alternative used, appropriate use group and occupancy, type of construction and number occupants and maintain this in a data base. For example, the original Steamboat Lake Outfitters as evidenced by a Certificate of Approval was a retail store with residence on the 2-story of Type V-N construction (C-99-197). When Hahn's Peak Roadhouse opened permit CB-15-008 to enclose the porch the store shared the ground floor with a restaurant of 143 occupants in the commercial area, however only one rough inspection showing two exterior non-load bearing walls were constructed and no certificate was issued. For this permit, the plan submittal shows the north end of the east porch as if a wall closed it (without the proposed exit door) and the opposite end appears without an exterior door that would be okay considering the porch to be unheated. However, the restaurant would require a door to separate the porch. Showing the room uses, existing exits (and doors with hardware) and help identifying any proposed corrections of non-conforming conditions is requested at this time.

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SHEET NUMBER

A-3



02-20-22

Reviewed for
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