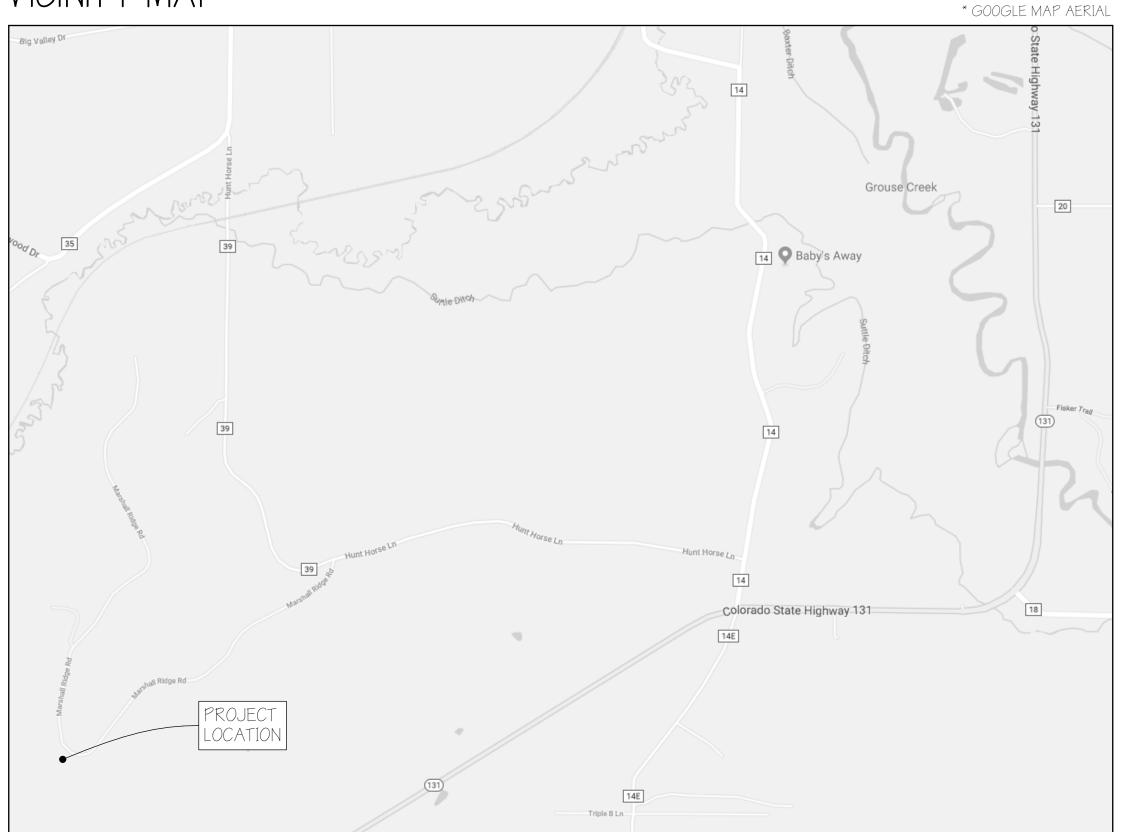
SPMR 11, LLC

30535 MARSHALL RIDGE





VICINITY MAP



PROJECT DESIGN TEAM AREA TABULATIONS

GEOTECHNICAL
NORTHWEST COLORADO CONSULTANTS, LLC
2580 COPPER RIDGE DRIVE
P.O. BOX 775226
STEAMBOAT SPRINGS, CO 80477
PH: 970-879-7888
FAX: 970-879-7891
CONTACT: TIM TRAVIS

<u>SURVEYOR</u> E&F ASSOCIATES P.O. BOX 771965 STEAMBOAT SPRINGS, CO 80477 PH: 970-734-5977 CONTACT: TOM EFFINGER

ARCHITECTURAL
APEX ARCHITECTURE, PC P.O. BOX 771787 STEAMBOAT SPRINGS, CO 80477 PH: 720-934-9960 CONTACT: BRIAN ADAMS

STRUCTURAL
CRAIG FRITHSEN ENGINEERING, LLC P.O. BOX 772759 STEAMBOAT SPRINGS, CO 80477 PH: 970-846-7980 CONTACT: CRAIG FRITHSEN

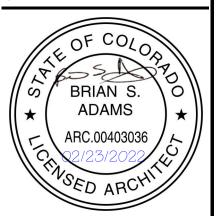
FLOOR	NAME	AREA (SF)
1		, , ,
	FINISHED	2,892
	FRONT PORCH	299
	GARAGE/MECH	801
	REAR PATIO	796
	SIDE PATIO	240
2		
	DECK	564
	FINISHED	1,650
	TOTAL FINISHED	4, 542
	TOTAL GARAGE/MECH	801
	TOTAL EXTERIOR SLAB	1,335
	TOTAL EXTERIOR DECK	564

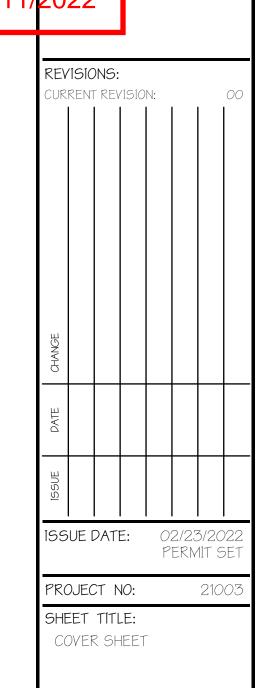
SHFFT INDEX

	1D	SHEET TITLE	ISSUE	REV1	REV2
٩RC	HITECTU	RAL			
	AO.0	COVER SHEET	•		
	AO.1	NOTES/SPECIFICATIONS	•		
	A1.0	TOPOGRAPHIC SITE SURVEY	•		
	A1.1	SITE PLAN, ALLOWABLE DIMENSIONAL STANDARDS, SITE LEGEND	•		
	A1.2	LANDSCAPE & REVEG PLAN	•		
	A1.3	CONSTRUCTION MANAGEMENT PLAN	•		
	A2.0	MAIN LEVEL PLAN	•		
	A2.1	PARTIAL MAIN LEVEL PLAN, PARTIAL ROOF PLAN	•		
	A2.2	UPPER LEVEL PLAN	•		
	A2.3	ROOF PLAN	•		
	A3.0	ELEVATION(S) - NORTH, EAST	•		
	A3.1	ELEVATION(S) - SOUTH, WEST	•		
	A3.2	SKETCH(S), MATERIAL SCHEDULE	•		
	A4.0	SECTION(S)	•		
	A4.1	SECTION(S)	•		
	A4.2	SECTION(S), PARTIAL ELEVATION	•		
	A4.3	DETAIL(S)	•		
	A4.4	DETAIL(S)	•		
	A5.0	KITCHEN PLAN/INTERIOR ELEVATION(S)	•		
	A6.0	MAIN LEVEL RCP	•		
	A6.1	UPPER LEVEL RCP	•		
	A6.2	FINISH FLOOR PLAN(S)	•		
	A7.0	WINDOW SCHEDULE, DOOR SCHEDULE, DOOR PROFILES	•		
5TR	RUCTURA	L			
	51	FOUNDATION PLAN	•		
	52	FOUNDATION DETAILS, NOTES	•		
	53	MAIN LEVEL FRAMING PLAN	•		
	54	UPPER FLOOR AND LOWER ROOF FRAMING PLAN	•		
	S5	UPPER ROOF FRAMING PLAN	•		

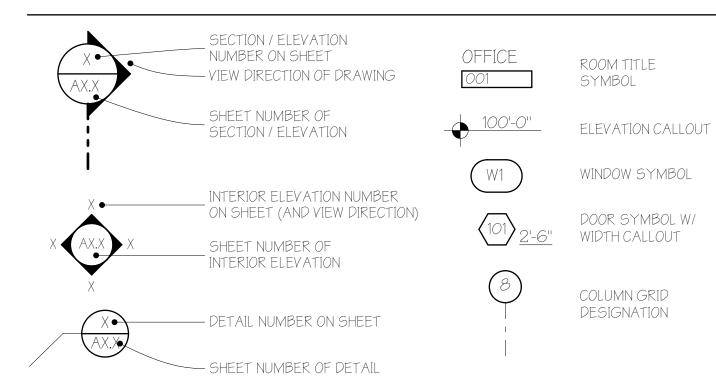
NOTES:
1.) "•" INDICATES DATE OF MOST RECENT UPDATE TO SHEET.



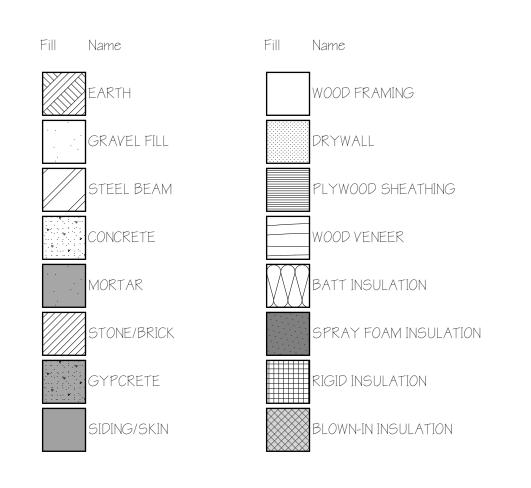




DRAWING LEGEND



MATERIAL FILLS



SHOP DRAWING SUBMITTALS

- 1. Garage door and applied trim design
- 2. Entry door design and materials
- 3. Window drawings and materials
- 4. Insulation material specifications
- 5. Mechanical system and layout, including ERV system
- 6. Exterior siding materials and methods (if different than described within drawing set)
- 7. Railing and Stair materials and design
- 8. Pre-manufactured trusses package
- 9. Timber truss package
- 10. All interior cabinetry design, layout, and materials

GENERAL SPECIFICATIONS

GENERAL CONDITIONS

GOVERNING BUILDING CODES

- 1. All Construction and Materials shall be in accordance with all applicable codes, ordinance, laws, and permits. If the Contract Documents are more stringent or restrictive, the Contract Documents shall prevail.
- 2. All building, fire, mechanical, plumbing, and electrical codes as adopted by the local jurisdiction are incorporated by reference into these Contract Documents.

USE OF CONTRACT DOCUMENTS

- 1. Drawings, specifications and other documents, including those in electronic form, prepared by the Architect and the Architect's consultants for this Project are instruments of the Architect's service for use solely with respect to this Project. The Architect and the Architect's consultants shall be deemed the authors and owner of their respective Instruments of Service and shall retain all common law, statutory and other reserved rights, including copyrights. The Owner shall be permitted to retain copies of the Architect's Drawings, Specifications, and other documents for information and reference in connection with the Owner's use and occupancy of the project. The Owner or others shall not use the Architect's Drawings, Specifications, and other documents on other projects, for additions to this project, or completion of this project by others, except by agreement in writing and with appropriate compensation to the Architect.
- 2. Release of these drawings anticipates further cooperation among the Owner, their Contractor, and the Architect. A failure to cooperate by a simple notice to the Architect of any required adjustments based on actual field conditions or applicable Building Codes shall relieve the Architect from responsibility for all consequences. Changes from the plans made in the field without the consent of the Architect are unauthorized, and shall relieve the Architect of responsibility for all consequences arriving out of such changes.
- 3. This set of drawings consists of a "Builder's Set" and includes only the minimum architectural information required by the local jurisdiction to acquire a building permit. Interior finishes, fixture selections, appliances, detailing, final site utilities engineering, etc. not required by these documents become the Owner and Contractor's responsibility to design, verify, negotiate and complete.
- 4. Unless otherwise agreed, the Contractor shall provide all labor, materials, equipment, supplies, subcontractor, taxes, insurance, tap fees, site utilities, grading etc., to provide a complete work for a certificate of occupancy.
- 5. Contractor to verify all dimensions and components of work shown on these drawings with actual site conditions. Any variation that requires a physical change shall be brought to the attention of the Architect at once.
- 6. The organization of the drawings and specifications into types, sections, articles and the arrangement of the drawings shall not control the contractor in dividing the work among sub-contractors, or in establishing the work to be performed by any trade.
- 7. Portions of Work requiring a shop drawing or sample submission shall be first reviewed and approved by the Architect before any Work is commenced.
- 8. All manufactured or engineered trusses are to be reviewed by Architect & Engineer prior to commencing work.
- 9. These drawings to not contain the elements for construction safety.

<u>STANDARDS</u>

- 1. All work connected with this project by any trade involved shall be of the highest quality attainable in accordance with the professional practice of that trade.
- 2. Location of all wet and dry utilities shall be verified before construction begins.
- 3. All materials stored on the site shall be properly stacked and protected to prevent for rejection of the Work. The Contractor shall keep interior spaces, and any materials or components stored in those spaces, reasonably clean and protected from water damage, periodically collecting and removing waste that contains cellulose or other organic matter, such as paper, wood, sawdust and adhesives. Contractor shall repair water leaks in the building envelope as soon as possible and clean and dry any and all wet or damp areas within 48 hours.
- 4. The Contractor shall provide Owner a written set of procedures for the proper operation and maintenance of the building and regular inspection and maintenance of the building's exterior, including all caulked joints and weeps.

INSURANCE REQUIREMENTS

- 1. The Contractor, Sub-Contractors, Material Suppliers, and Contract Laborers shall carry the minimum insurance to hold the Owner and Architect harmless. This insurance shall include but not be limited to: builder's risk, workman's compensation, contractor's liability, personal injury, comprehensive automobile and property damage insurance. Owner shall carry fire and liability insurance on the framed structure and completed work in progress. The Contractor shall provide copies of all insurance to Owner prior to the start of work. The Contractor shall notify the Owner of changes in terms and conditions of insurance requirements noted above during the course of construction.
- 2. Contractor's Commercial General Liability insurance shall contain no exclusion that would deny coverage for any claim for either bodily injury or property damage arising out of or otherwise caused, in whole or in part, by any fungus, mildew, mold, or resulting allergens. If such exclusion exists and cannot be removed by endorsement, Contractor shall submit proof of coverage for mold claims under a Pollution Legal Liability or Contractor's Pollution Liability policy. The Architect shall not be responsible for any claims relating to the actual, potential, or threatened presence of any fungi, molds, or spores of any kind.

ABBREVIATIONS

APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECT	MIN	MINIMUM
CLG.	CEILING	MISC	MISCELLANEOUS
CL.	CLOSET	N/A	NOT APPLICABLE
COL	COLUMN	O.C.	ON CENTER
CONC.	CONCRETE	P.H.	PLATE HEIGHT
COORD.	COORDINATE	PERP.	PERPENDICULAR
C.F.	CUBIC FEET	QTY	QUANTITY
DIA	DIAMETER	REF	REFRIGERATOR
DIM	DIMENSION	REQ'D	REQUIRED
DN	DOWN (STAIRS)	R.O.	ROUGH OPENING
DTL	DETAIL	R.S.	ROUGH SAWN
DW.	DISHWASHER	S.	SINK
EA	EACH	STC	SOUND TRANSMISSION CLASS
EL	ELEVATION (HEIGHT)	S.F.	SQUARE FEET
EXIST	EXISTING	SQ	SQUARE
F.D.	FOUNDATION DRAIN	STL	STEEL
F.P.	FIREPLACE	STRUCT.	STRUCTURAL
GYP	GYPSUM	T.	TOILET
HORIZ	HORIZONTAL	TYP	TYPICAL
HWH	HOT WATER HEATER	T.O.	TOP OF
INFO	INFORMATION	U.N.O.	UNLESS NOTED OTHERWISE
MFG	MANUFACTURER	W/	WITH
MAX	MAXIMUM	W/D	STACKED WASHER/DRYER
		W/O	WITHOUT

CONSTRUCTION NOTES

- 1. Refer to Structural Drawings for all structural requirements.
- 2. Field measure for all cabinetwork and other built-in casework.
- 3. Coordinate electrical outlets and switch boxes with all interior finish materials for Owner approval prior to installation.
- 4. Provide solid blocking per I.R.C. and as backing for cabinets, shelves, fixtures, vertical paneling, hardware and miscellaneous attachments.
- 5. Provide Bituthane "Ice & Water Guard" over entire roof sheathing. Coordinate
- Bituthane type for metal roofing areas (if any).
- 6. <u>Drywall Requirements</u>

One-hour 5/8" Type "X" drywall required below Stairs and at walls and ceilings inside Garage. Provide Georgia-Pacific Dens Armor Plus Interior Guard (or equal) at all walls U.N.O. Provide Durarock (or equal) over waterproof membrane at showers and tubs. Hang all drywall 3/16" from finished floor, or coordinate with flooring and baseboard conditions.

7. Moisture & Vapor Barriers

Provide Tyvek ThermaWrap as building wrap behind all wood/vinyl/composite siding U.N.O. Provide (2) layers 15# felt behind all stone/stucco siding U.N.O. Contractor to provide specificiations for any suggested alternatives.

Provide 6-mil vapor barrier behind all drywall or other interior finish at thermal barrier U.N.O. (Do not provide vapor barrier on insulated walls inside framed from exterior concrete foundation walls.)

Provide 4"Ø PVC piping in gravels (gravels per structural). Provide electric fan in attic space with 4"Ø PVC vertical vent pipe to pull water vapor and soil off-gasses from under slab to exterior.

Below slab provide active radon reduction system under polyethylene sheet.

Exterior foundation walls shall be sealed for moisture penetration with elastomeric asphalt coating.

8. Provide continuous foundation drain to daylight at perimeter footing with drain cleanout(s) as required. If daylighting drain is unfeasible provide water collection area with sump pump (refer to Site Plan or verify with Architect). Protect foundation drain with granular fill prior to backfilling.

9. Exterior Windows and Doors

Per 2015 IECC Table 402.1.2, Windows to be Low-E with a maximum U-Factor 0.32. No maximum solar heat gain coefficient (SHGC) is required. Up to 15 square feet of glazed fenestration is permitted to be exempt from the U-Factor requirement.

Exterior doors must meet the window U-Factor requirements. One 24 square foot maximum size Exterior Door is exempt.

Windows, skylights and sliding glass doors to have Maximum allowable window Air Infiltration Rate or 0.3 cfm per square foot of window area. Swinging doors Air Infiltration Rate to be 0.5 cfm.

Exterior doorframes to be constructed with Framesaver. All windows to be

installed per ASTM E 2112. Verify flashing with Architect.

Window and Door header framing to be set to inside face of wall framing. Fill exterior side of header cavity with foam insulation.

10. <u>Insulation Requirements</u>

Exterior concrete foundation walls at basement conditions to be insulated on the interior with 1" rigid insulation against foundation wall and R-13 blown-in insulation within 2x4 wood framed walls per I.E.C.C. requirements. See Architectural Sections for locations. (Optional: Min R-19 batt insulation in 2x6 walls, no rigid foam required.)

Batt Insulation (if any) to be Johns Manville Formaldehyde-free Insulation. ComfortTherm for all Walls and Attic spaces that are not Bathroom, Laundry, or those that abut concrete. MR Faced Batts for Bathroom, Laundry, and Walls that abut concrete.

Provide spray-foam insulation at all rim joist framing to a depth of 5.5", or equal to

the depth of the adjoining wall framing insulation depth, whichever is greater. Electrical boxes: Putty with non-expansive foam. Provide spray-foam insulation

between exterior sheathing and box. Exterior Window and Doors: Provide non-expansive foam around all rough openings.

Provide insulated header per typical window section detail. Access hatches and doors to unconditioned spaces are to be weather-stripped and insulated to the equivalent of the insulation on the surrounding surfaces.

Supply and return ducts (if any) shall be fully sealed (including terminations), and insulated to a minimum of R-8 per I.E.C.C. Ducts in floor trusses shall be insulated to a minimum of R-6. Exception: Ducts or portions thereof located completely inside the thermal building envelope.

See Architectural Details and/or Sections for Insulation locations and types.

Table 402.1.1 of IECC Building Envelope Minimum Requirements for Climate Zone 7. Prescriptive Path for Compliance with the 2015 IECC.							
Location	Required	<u>Provided</u>					
Roof/Attic (Ceiling)	R-49	R-49 (7"± closed cell foam)					
Wood Frame Exterior Wall	R-20+5 or R-13+10 or R-27	R-27 (2" spay foam + 3.5" batt)					
Mass Exterior Wall	R-19/21	n/a					
Floors over Unconditioned Space	R-38 ^a	n/a					
Crawl Space Walls	R-10/13 ^b	R-13					
Basement Walls	R-15/19 ^{bc}	n/a					
Slab-on-grade Perimeter (Less than 12" below grade)	R-10, 4 ft (R-15) ^d	R-15, Full					
Interior Walls	n/a	R-11 ^e					

a. Or insulation sufficient to fill the framing cavity, R-19 minimum. (For floors b. Where there are two different values for insulation requirements, the first R-Value applies to continuous insulation, the second to framing cavity

insulation. Crawl space wall R-value shall only apply to unventilated crawl

c. "15/19" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall, plus R-5 continuous insulated sheathing on

floors over outside air must meet ceiling requirements.

- the interior or exterior of the wall. d. R-5 shall be added to the required slab edge R-values for heated slabs; and
- e. Interior Wall Insulation requirements are recommended by the Architect only and are not required by I.E.C.C.
- Note: Requirements shown above are minimum required by the I.E.C.C. See Architectural Details and Sections for project insulation materials and corresponding R-values.

MECHANICAL NOTES

- See General Construction Notes for additional mechanical information.
- 1. Heating contractor to provide shop drawings on system layout, and cut sheets of all equipment and accessories, to the Architect for approval.
- 2. Contractor to arrange and pay for all permits, licenses, certificates, inspections, and fees required in connection with the work specified and at the completion of the work. Contractor to furnish the Owner with all final approved certificates of inspections and
- 3. Install all equipment per manufacturer's specifications.
- 4. All work and materials shall be in full accordance with federal, state, and local rules and regulations, the International Residential Plumbing Code, Underwriters Laboratory Standards, NFPA, ASME, SMAONA, FSANSI, OSHA, and ASTM Standards.
- 4. Comply with the rules of the local utility companies. Contractor responsible for any accessory equipment's purchase and installation required by the utilities.
- 6. Contractor responsible for all required excavations for laying of water lines, soil and waste lines, drainage and other piping underground and for all work under this specification and as indicated in the drawings.
- 7. Contractor is responsible for the appropriate sizing of all piping, wiring, fittings and materials in order to be in accordance with all codes and good building practice.
- 8. The Mechanical Contractor shall coordinate their work with the work of other trades and have their work scheduled so as not to delay the work of others. Review installation locations with the General Contractor prior to installation.
- 9. No plumbing lines to be located in exterior walls.

MECHANICAL SYSTEM

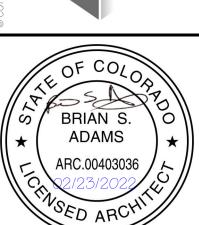
- Hydronic in-floor radiant tubing within 4" thick concrete slab-on-grade, or stapled up to underside of floor sheathing, with a closed-combustion boiler system of 90% efficiency or better. System to be zoned with one additional zone for hot water heating. Tank insulated for 90% efficiency. Contractor to provide shop drawings for approval.
- If an optional on-demand hot water system is selected, verify equipment locations and all system equipment with Architect.
- Recirculation hot-water supply line pumps shall be installed, and controlled with a manual switch per Architect and Owner direction. Pumps will have an automatic timed shut off after manual switch is activated.
- A limited duct, whole house ventilation system with an Energy Recovery Ventilator (ERV) shall be installed at a minimum. Verify with Architect & thermal envelope system.
- If an option AC system is selected, coordinate with ERV system requirements for duct locations. Verify system and locations with Architect.
- Provide spot ventilation to exterior in all Bathrooms, Laundry, and over Kitchen stove to exterior. Exhaust fans to be low-sone (less than 1 one).
- Per the IECC, the prescriptive design approach requires HVAC equipment efficiencies (NAECA minimums). Contractor to provide heat loss calculations using a computational approach as outlined in ASHREA Handbook of Fundamentals or equal. In addition, the furnace BTU ratings shall be provided to Building Department for approval as required.

ELECTRICAL NOTES

- 1. Contractor shall provide all electrical fixtures indicated on the electrical plans (if any). The Owner will choose all other fixtures. The Contractor shall provide all labor, materials, equipment and supplies required for the complete performance of the electrical work. This includes all basic materials and methods, service and distribution and controls, as shown on the drawings.
- 2. Standards for this work shall be the National Electric Code, latest edition: compliance with all state and local codes or officials having jurisdiction over this work.
- 3. Permits and fees are to be obtained and paid for along with inspections for the electrical
- 4. Substitutions of fixtures, materials, or layout other than that called for in these drawings must be approved by the Architect prior to installation.
- 5. Nameplates and typewritten directions shall be provided on all switchboards, panel boards, safety switches, switch banks and operating equipment.
- 6. Electrical Contractor shall be responsible for all cutting, patching, refinishing, resurfacing, trenching and backfilling associated with electrical work. Verify location of all other utilities before trenching and backfilling. Obtain prior approval of location, size and method of cutting from Architect before cutting building finishes or structural members.
- 7. Provide temporary construction power and lighting as required for all trades.
- 8. Service entrance conductors and equipment shall be of adequate capacity to serve the calculated load and any spare circuits provided for future use.
- 9. The Electrical Contractor shall coordinate their work with the work of other trades and have their work scheduled so as not to delay the work of others.
- 10. No recessed can light fixtures shall be installed in roof rafter cavities without the prior approval of the Architect. Can lights within roof/ceiling cavity shall be IC rated.
- 11. Provide GFI outlets not shown on plans as required per applicable Electrical Code. Coordinate layout with interior finishes (including tile, counter, backsplash, etc.). Verify with responsible Interior Finish Designer.

REVIEWED FOR CODE COMPLIANCE 04/11/2022





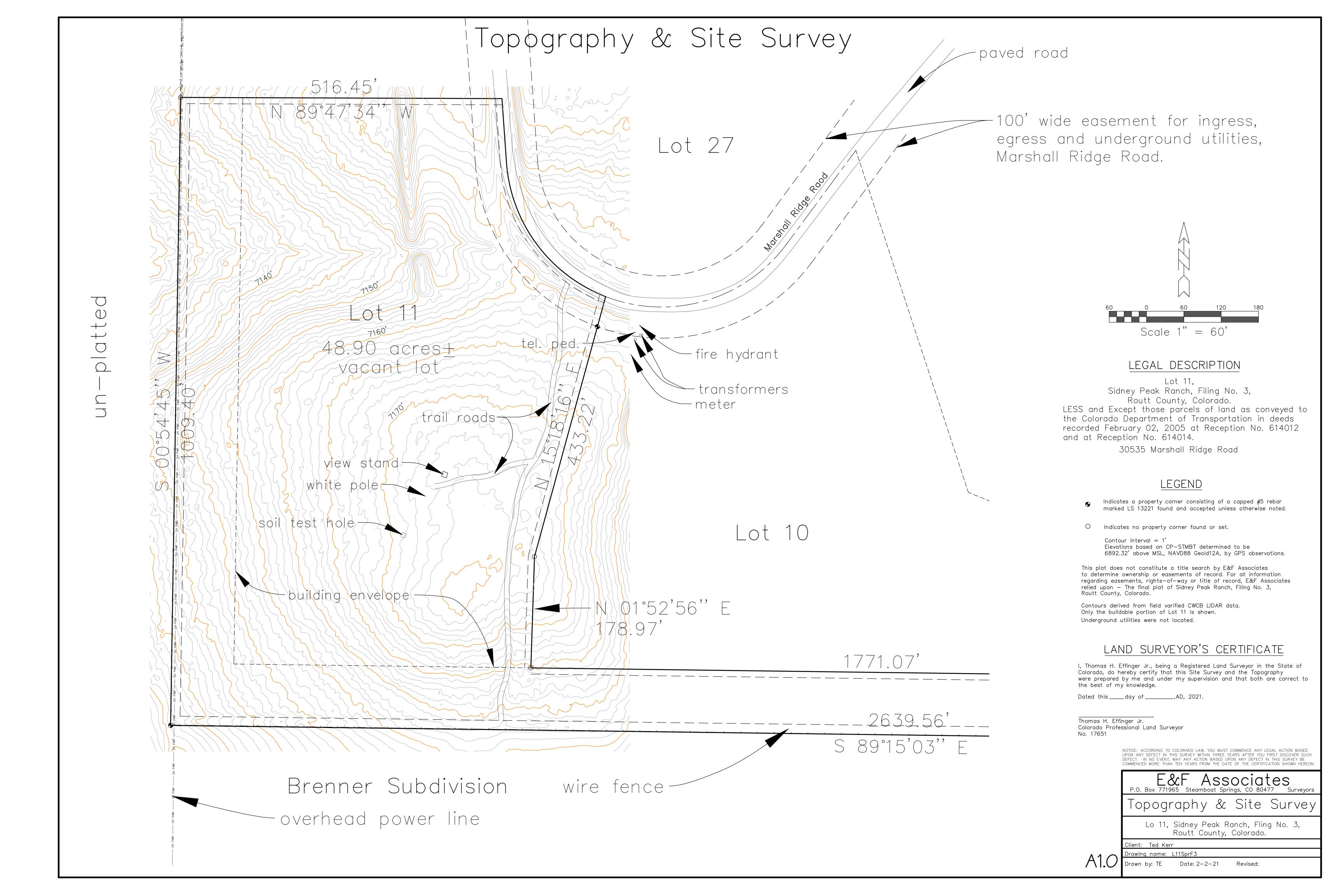


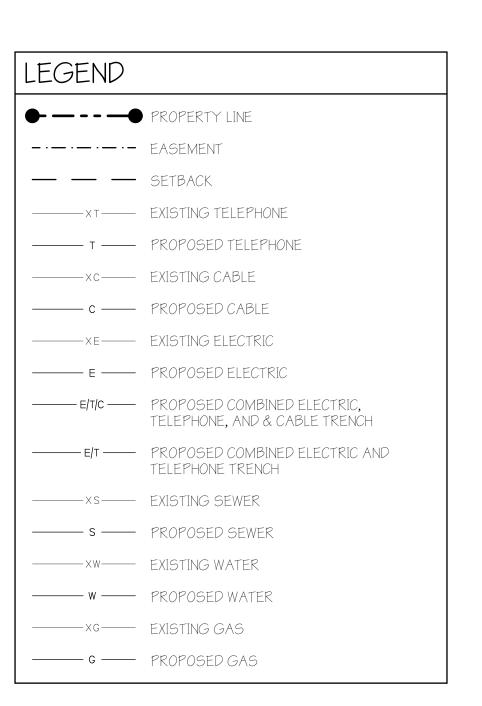
CURRENT REVISION: SSUE DATE: PERMIT SE

REVISIONS:

SHEET TITLE: NOTES/SPECIFICATIONS SHEET NO:

PROJECT NO:





ALLOWABLE DIMENSIONAL STANDARDS ZONING: AF					
TYPE	REQUIRED	PROPOSED PROJECT			
SETBACK-FRONT	P-50'-0"	SEE SITE PLAN			
SETBACK-SIDE	P-50'-0"	SEE SITE PLAN			
SETBACK-REAR	P-50'-0"	SEE SITE PLAN			
LOT WIDTH	MIN- 200'-0"	385'-11" ±			
LOT AREA	MIN - 35 AC*	35 AC			
BUILDING - O.H.	MAX - 35'-0"	29'-7" ±			

*EXCEPT FOR LOTS CREATED THROUGH THE LPS OR MDSE PROCESS.

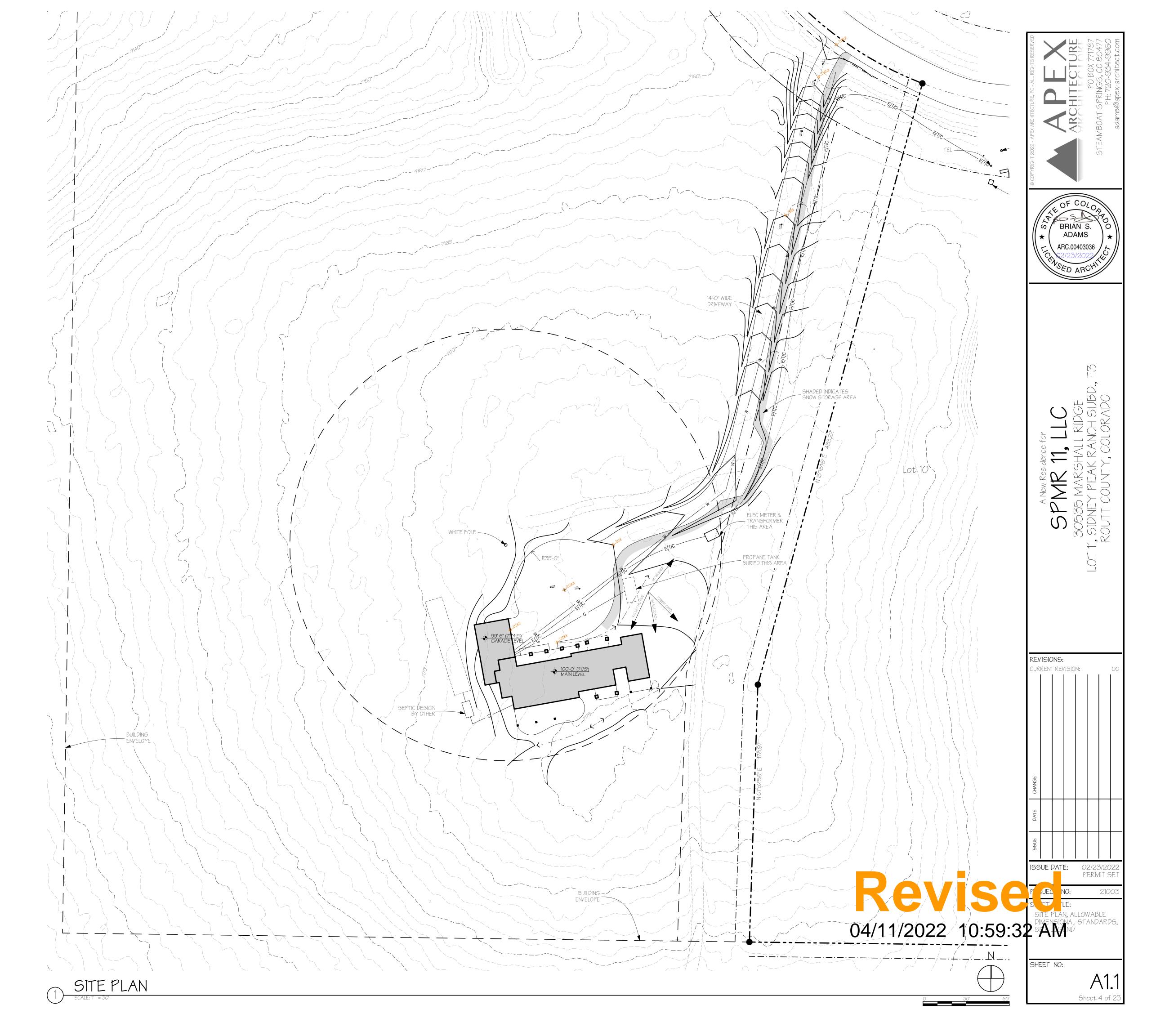
SITE NOTES

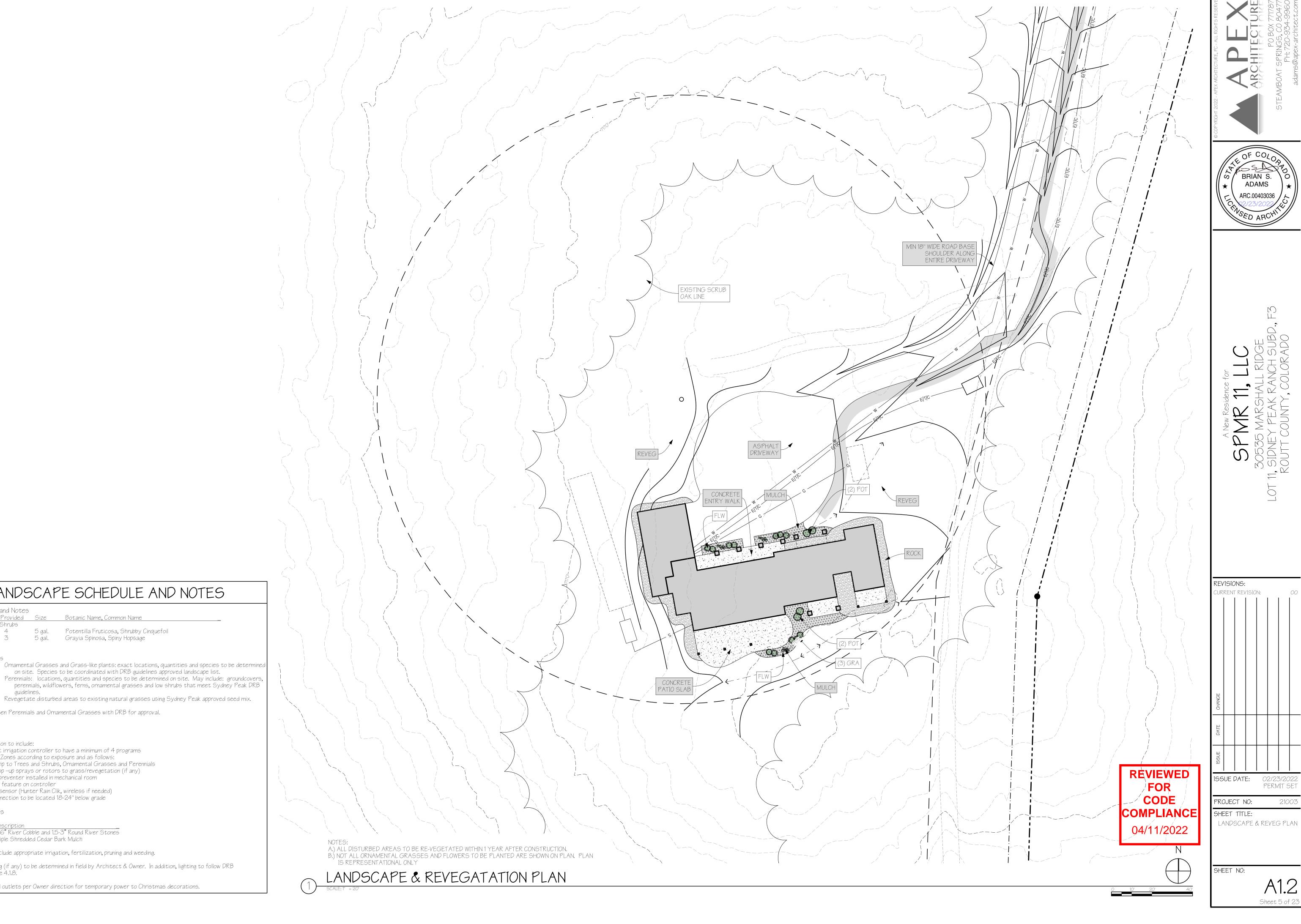
1.) TOPOGRAPHIC SURVEY PROVIDED BY: E&F ASSOCIATES; JOB# L11SPRF3, DATED FEBRUARY 2, 2021

2.) VERIFY ALL UTILITY LOCATIONS PRIOR TO ANY WORK. COORDINATE UTILITY INSTALLATION AND LAYOUTS WITH UTILITY COMPANIES. ALL UTILITIES TO BE UNDERGROUND U.N.O.

3.) STAKE HOUSE LOCATION FOR OWNER APPROVAL PRIOR TO ANY WORK. CONTRACTOR RESPONSIBLE FOR ACCURATE PLACEMENT OF ALL CONSTRUCTION ON THE SITE.

4.) PROVIDE POSITIVE DRAINAGE AWAY FROM THE ENTIRE BUILDING EXTERIOR, MINIMUM 1:12 SLOPE FOR 5 FT MIN.





LANDSCAPE SCHEDULE AND NOTES

5 gal. Potentilla Fruticosa, Shrubby Cinquefoil 5 gal. Grayia Spinosa, Spiny Hopsage

on site. Species to be coordinated with DRB guidelines approved landscape list.

Plant Schedule and Notes

Automatic Irrigation to include:

Hardscape Notes

Low Growth Areas

FLW

<u>Sym</u> # Provided Size Botanic Name, Common Name Deciduous Trees/Shrubs

Note: Verify chosen Perennials and Ornamental Grasses with DRB for approval.

Automatic irrigation controller to have a minimum of 4 programs

3-6" River Cobble and 1.5-3" Round River Stones

Maintenance to include appropriate irrigation, fertilization, pruning and weeding.

Drip to Trees and Shrubs, Ornamental Grasses and Perennials

Landscape Lighting (if any) to be determined in field by Architect & Owner. In addition, lighting to follow DRB Guidelines, rule 4.1.8.

Provide concealed outlets per Owner direction for temporary power to Christmas decorations.

Pop -up sprays or rotors to grass/revegetation (if any)

Separate Zones according to exposure and as follows:

Backflow preventer installed in mechanical room

Moisture sensor (Hunter Rain Clik, wireless if needed)

House connection to be located 18-24" below grade

Triple Shredded Cedar Bark Mulch

Rain delay feature on controller

CONSTRUCTION MANAGEMENT PLAN NOTES

- 1. This plan shall be kept on site at all times and updated to reflect any changes.
- 2. Concrete waste and washout water from mixing trucks shall be contained on site, removed from the site, and properly disposed. Materials should not enter state waters.
- 3. Contractor is responsible for installing and maintaining temporary erosion and sediment control during constructio and establishing any required permanent Best Management Practices (BMPs) to prevent release of pollutants from the project site.
- 4. Contractor is responsible for complying with all local, state, and federal laws. In addition contractor must obtain required permits
- 5. Clearing or grading shall not begin until all sediment control devices have been installed.
- 6. The contractor shall promptly remove all sediment, mud, and construction debris that may accumulate in the right of way, private property, or water ways as a result of the construction activities.
- 7. All ingress, egress points and vehicle access points onto disturbed site must be stabilized with a vehicle tracking control pad. Access shall only be via approved locations as shown on approved CSMP.
- 8. Soil stabilization measures shall be in place and areas are to be revegetated: (1) for stockpiles, if inactive for more than 30 days (2) for areas of land disturbance within one growing season.
- 9. Inlet protection shall be installed in conjunction with storm drain inlets where drainage area is not vegetated.
- 10. BMPs shall be used, modified, and maintained whenever necessary to reflect current conditions. BMPs shall be inspected weekly and after every precipitation event. Accumulated sediment shall be removed from BMPs when the sediment level reaches 1/2 the height of the bmp.
- 11. Emergency access must be kept obstacle free and passable at all times.
- 12. For any work to be done in the Right of Way, coordinate with the City Construction Site Manager regarding special permitting. No work shall be conducted in the ROW between November 1 and April 1 without prior approval from the director of Public Works.
- 13. Where required as part of the ROW permit or where site work affects the pedestrian or vehicle travel way, traffic control shall be installed. All traffic control shall be in accordance with the Manual on Uniform Traffic Control Devices, latest edition.
- 14. Sidewalks adjacent to construction sites shall be maintained, for public use, by the contractor. In areas where construction is taking place next to the sidewalk and overhead hazards are possible, site is responsible for installing and maintaining sidewalk protection.

CONSTRUCTION SCHEDULE

Driveway Start-up
Construction Start-up
Utility Hook-up
Elec Water Gas Construction Completion

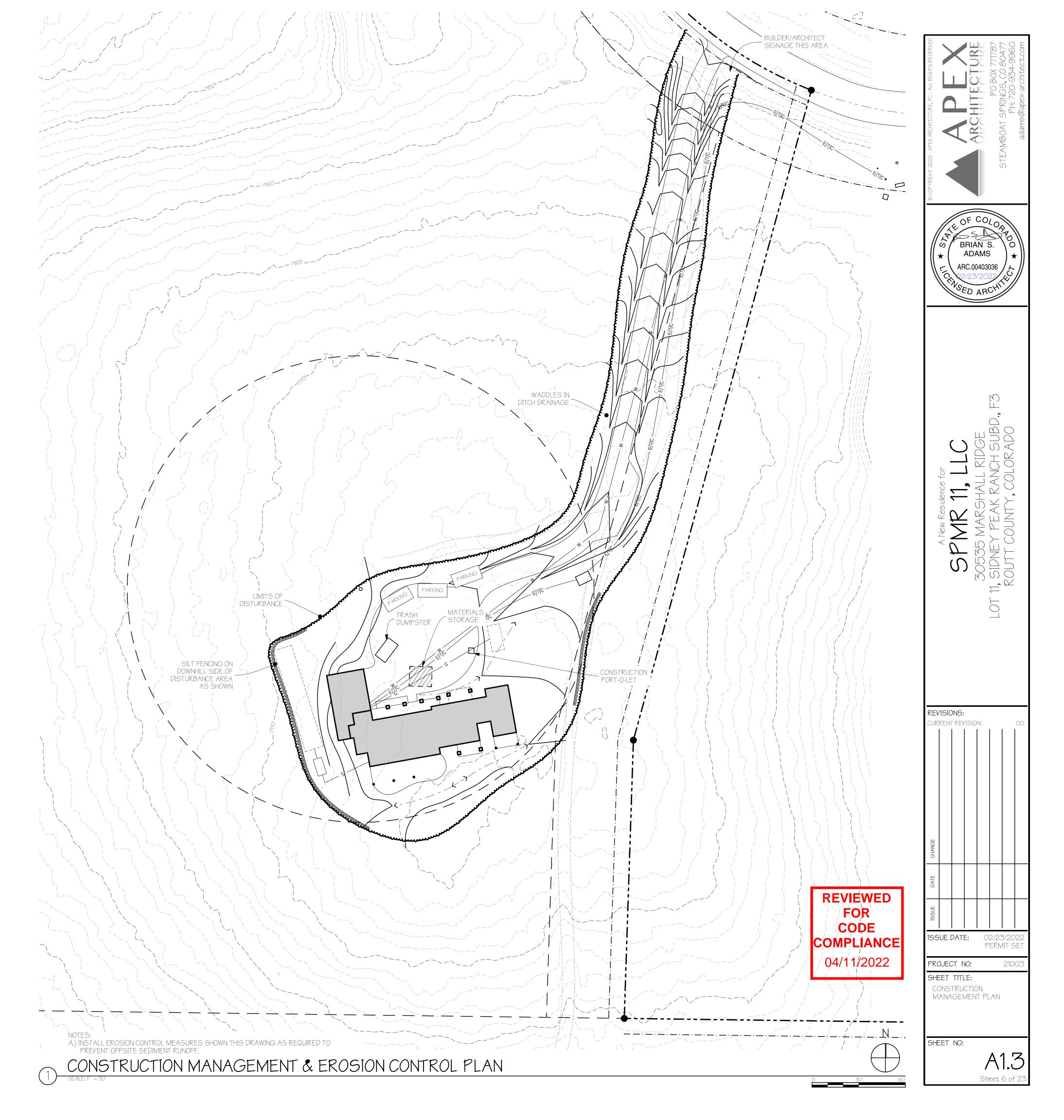
April 1, 2022
May 1, 2022
December 1, 2022
December 1, 2022
July 1, 2023

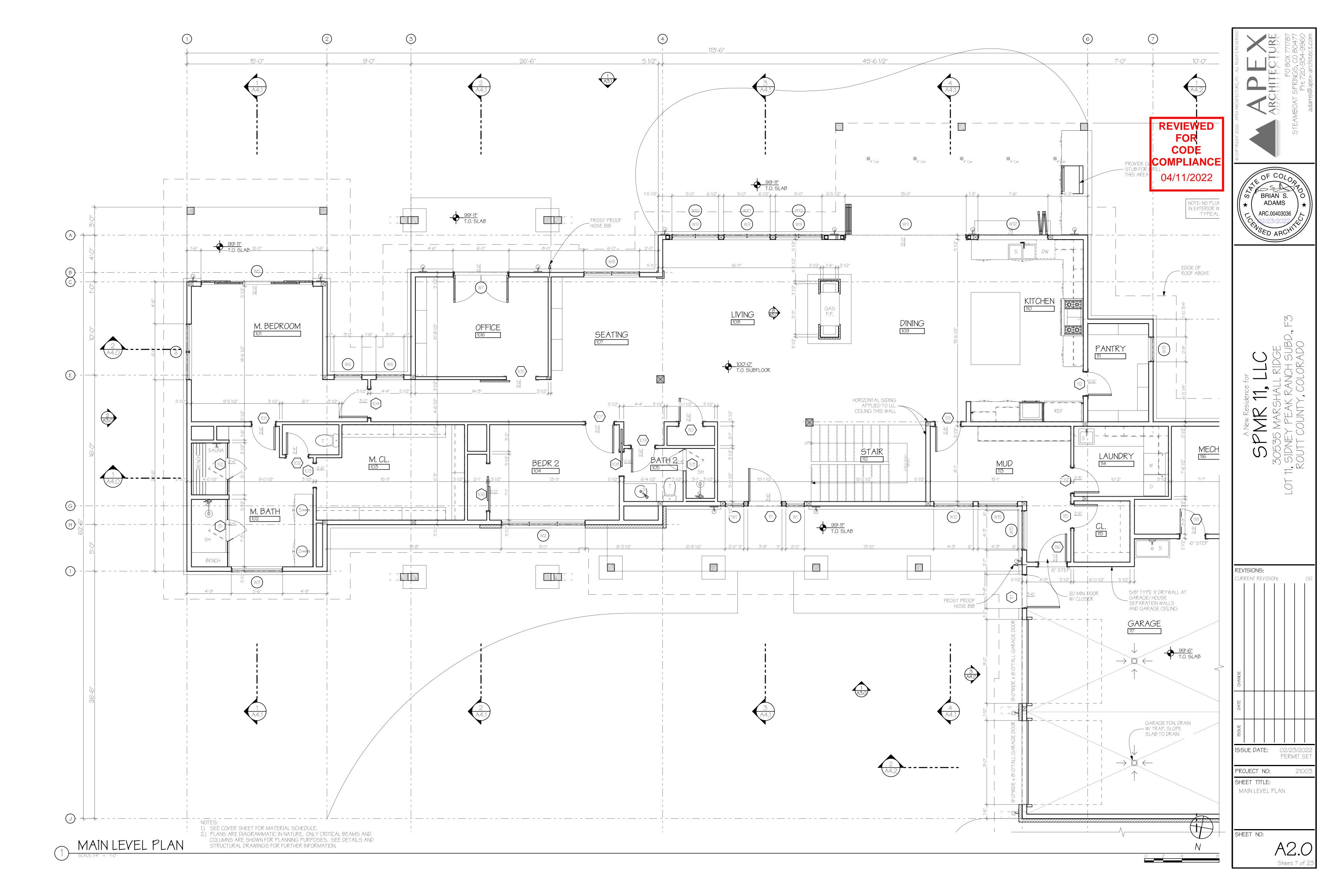
Anticipated Occupancy

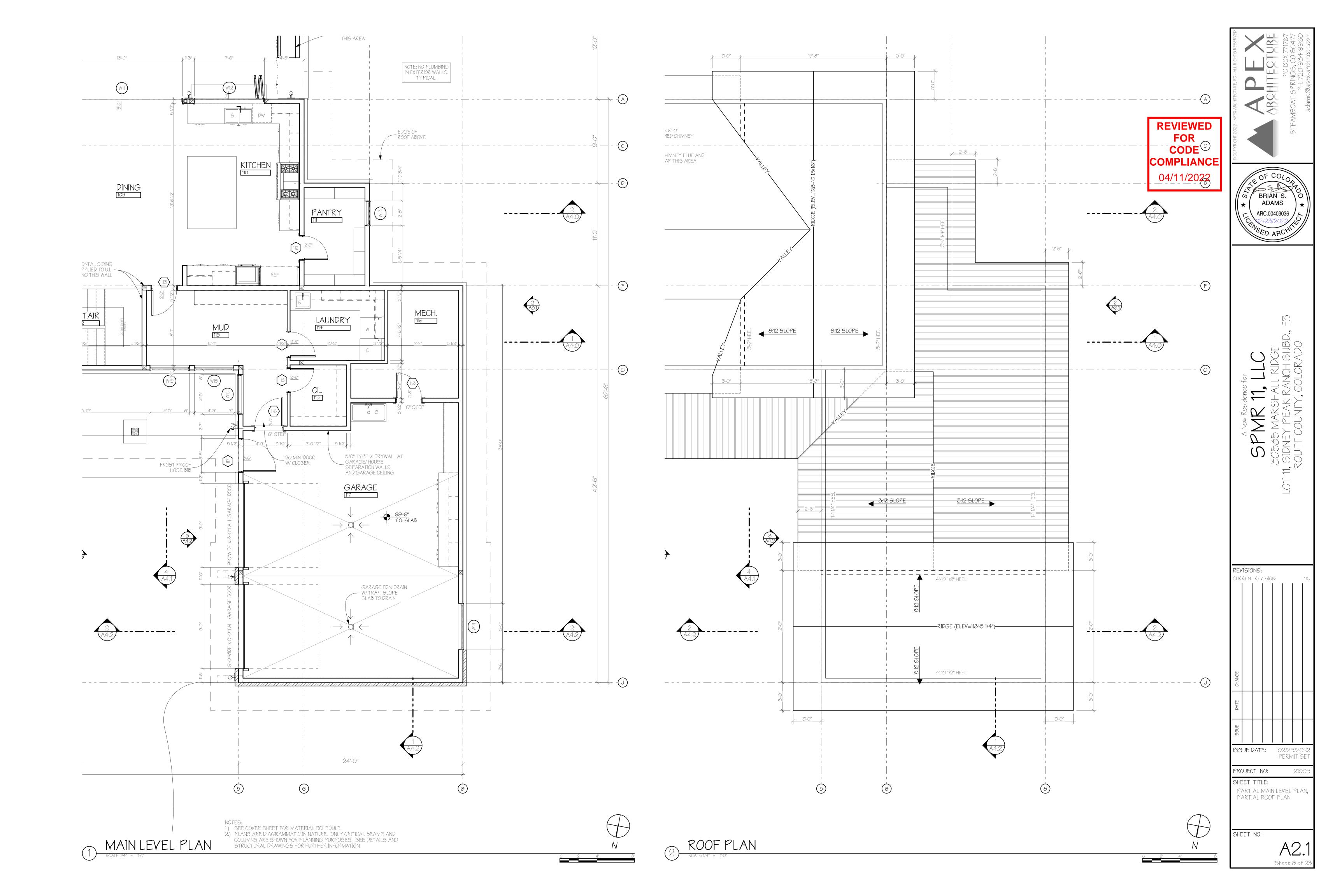
Landscaping Completion

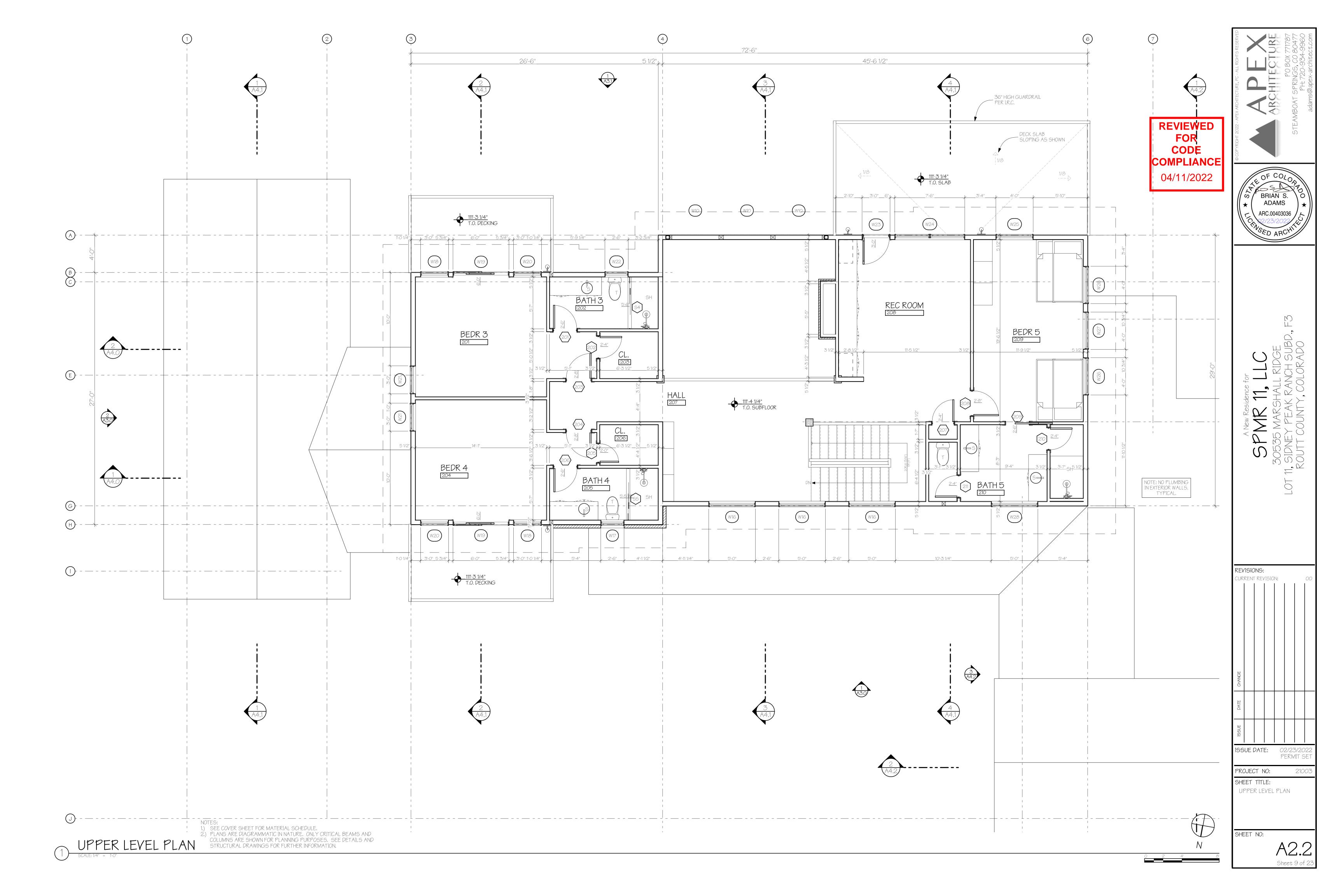
July 21, 2023

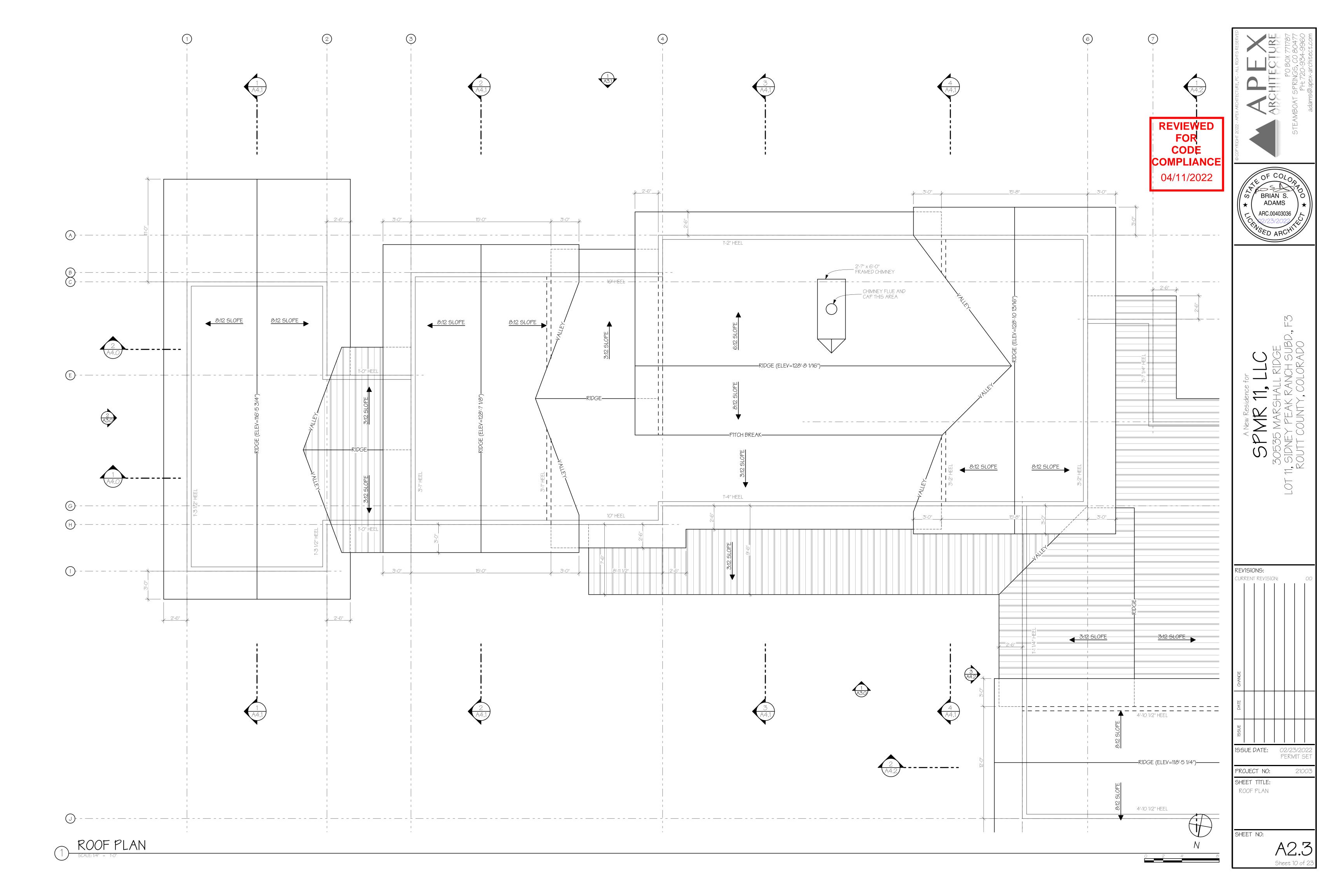
September 30, 2023

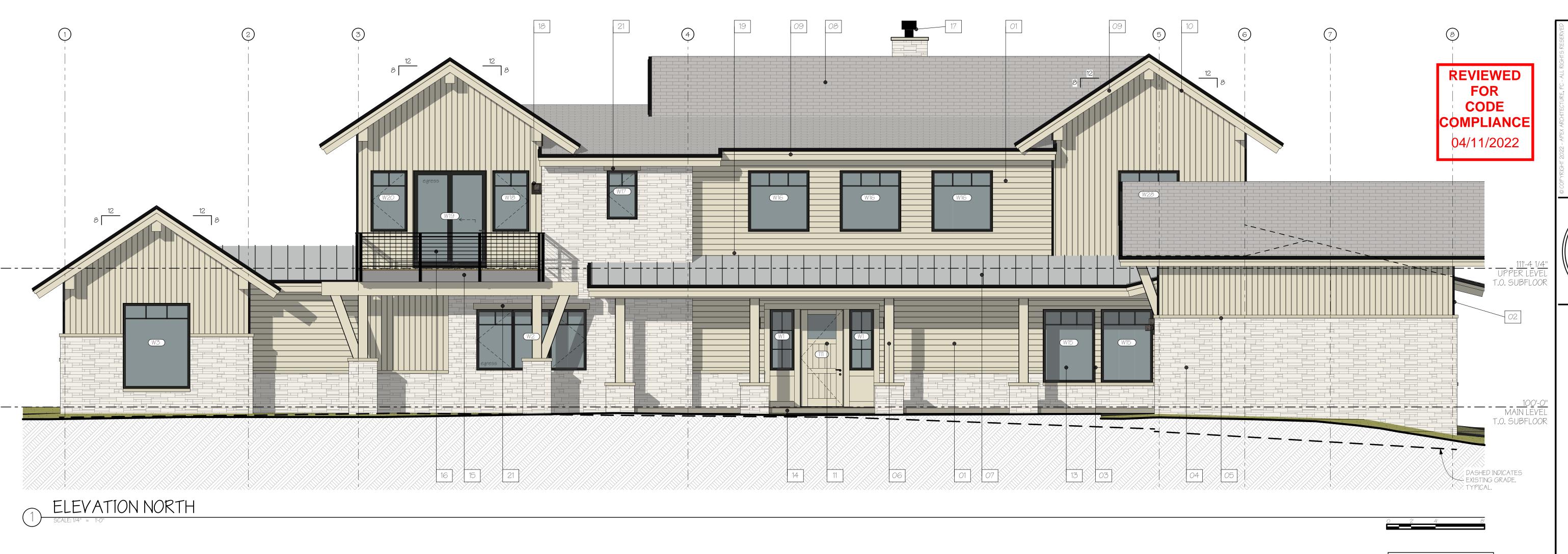


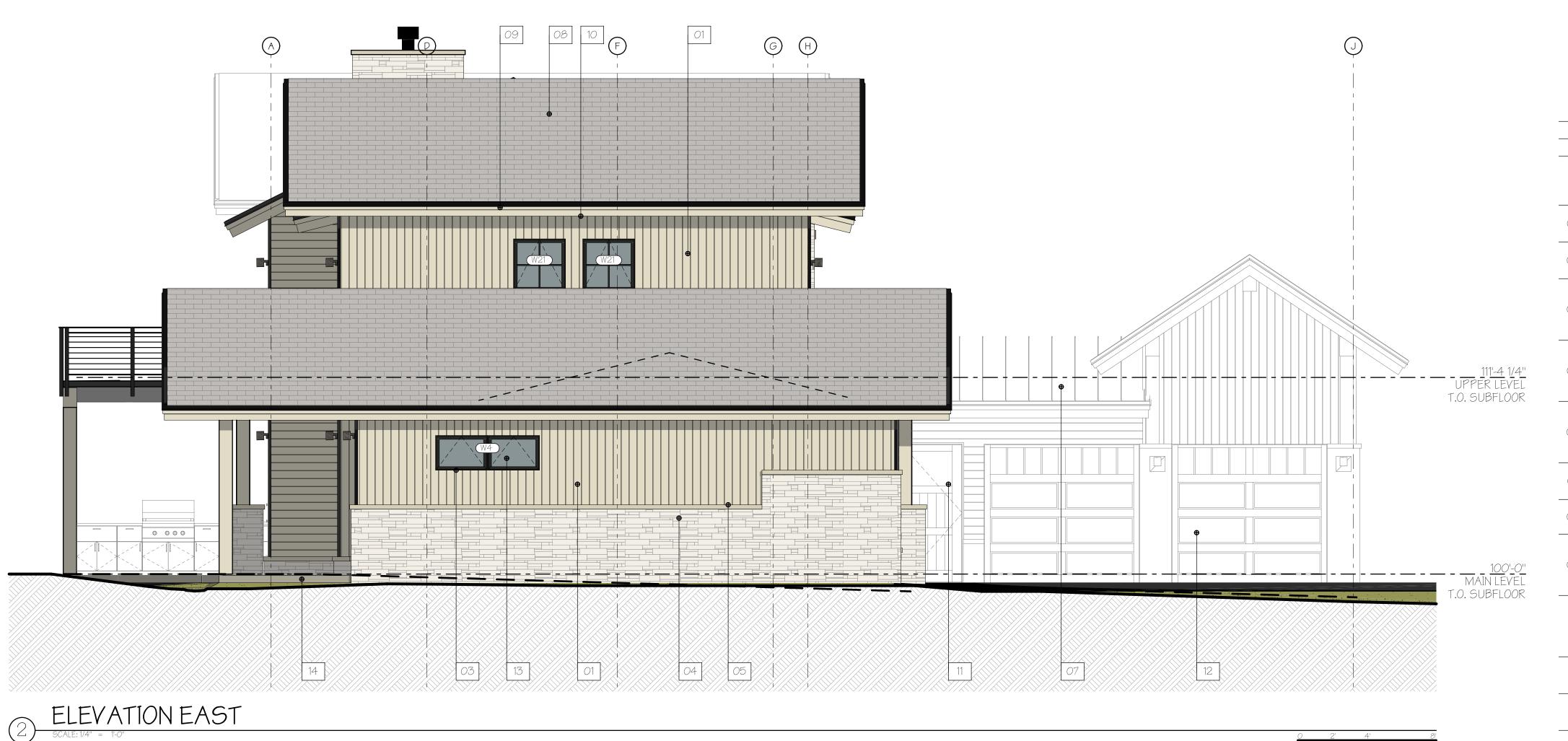












STONE SIDING REQUIREMENTS 25% REQUIRED TOTAL SIDING = 5,902 SF PROVIDED STONE = 1,795 SF

KEYNOTES (SPECIFICATIONS) DESCRIPTION

- VERTICAL/HORIZONTAL WOOD SIDING: 01 MATERIAL AND COLOR PER MATERIAL BOARD. SEE DETAILS AND STRUCTURAL. CORNER TRIM AT HORIZONTAL WOOD
- 02 SIDING: EASYTRIM REVEAL: TYPE EZ.33. COLOR: BLACK.
- WINDOW TRIM AT HORIZONTAL WOOD 03 SIDING: NO TRIM. PROVIDE 1/4" GAP AROUND WINDOW FRAME. STONE VENEER: 4" FULL STONE VENEER W/
- RECTANGULAR CUT LAYOUT. COLOR PER 04 MATERIAL BOARD. STONE OVER (2) LAYERS 15# FELT OVER SHEATHÌNG PER STRUCTURAL.
- SANDSTONE CAP: 3" TALL BY 5" THICK SANDSTONE. SET AT MINIMUM 2º ANGLE TO SLOPE AWAY FROM BUILDING. COLOR: MATCH STONE VENEER.
- WOOD COLUMNS AND BEAMS: DOUG-FIR, of SIZE VARIES. SEE DETAILS, STRUCTURAL, AND ELEVATIONS. COLOR PER MATERIAL BOARD.
- ROOFING: STANDING SEAM METAL ROOF 07 PER MATERIAL BOARD. ROOFING OVER BITUTHANE PER NOTES.
- ASPHALT SHINGLE ROOFING: ROOFING 08 OVER BITUTHANE PER NOTES. SEE DETAILS. COLOR PER MATERIAL BOARD. WOOD FASCIA: R.S. 1x6 SHADOW BOARD
- OVER R.S. 2x12 CEDAR BOARD W/ DARK 09 GRAY METAL DRIP EDGE. CEDAR BOARD STAIN COLOR TO MATCH WOOD COLUMNS AND BEAMS.
- WOOD SOFFIT: 1x6" NOMINAL SIZE. MATERIAL AND COLOR PER MATERIAL BOARD. NOTE: SEE ROOF PLAN FOR SOFFIT VENTING LAYOUT, TO BE PAINTED BLACK.
- WOOD ENTRY DOOR: SEE DETAIL FOR 11 PROFILE. WOOD STAIN TO MATCH TIMBER BEAMS/COLUMNS.
- GARAGE DOOR: SEE DETAIL FOR DESIGN PROFILE. COLOR TO MATCH WOOD BEAMS.

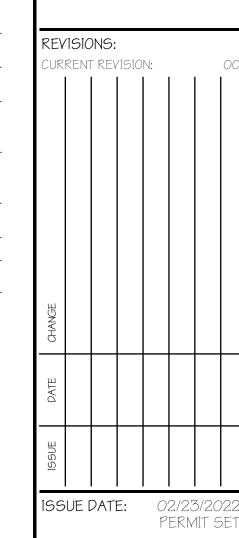
CALCULATED AMOUNT = 30.4%

ID DESCRIPTION WINDOWS: DOUBLE-PANE, LOW-E GLASS, 13 METAL-CLAD WINDOWS. COLOR PER MATERIAL BOARD.

EXTERIOR CONCRETE SLAB: CONCRETE PER 14 STRUCTURAL. COLOR PER MATERIAL BOARD.

KEYNOTES (SPECIFICATIONS)

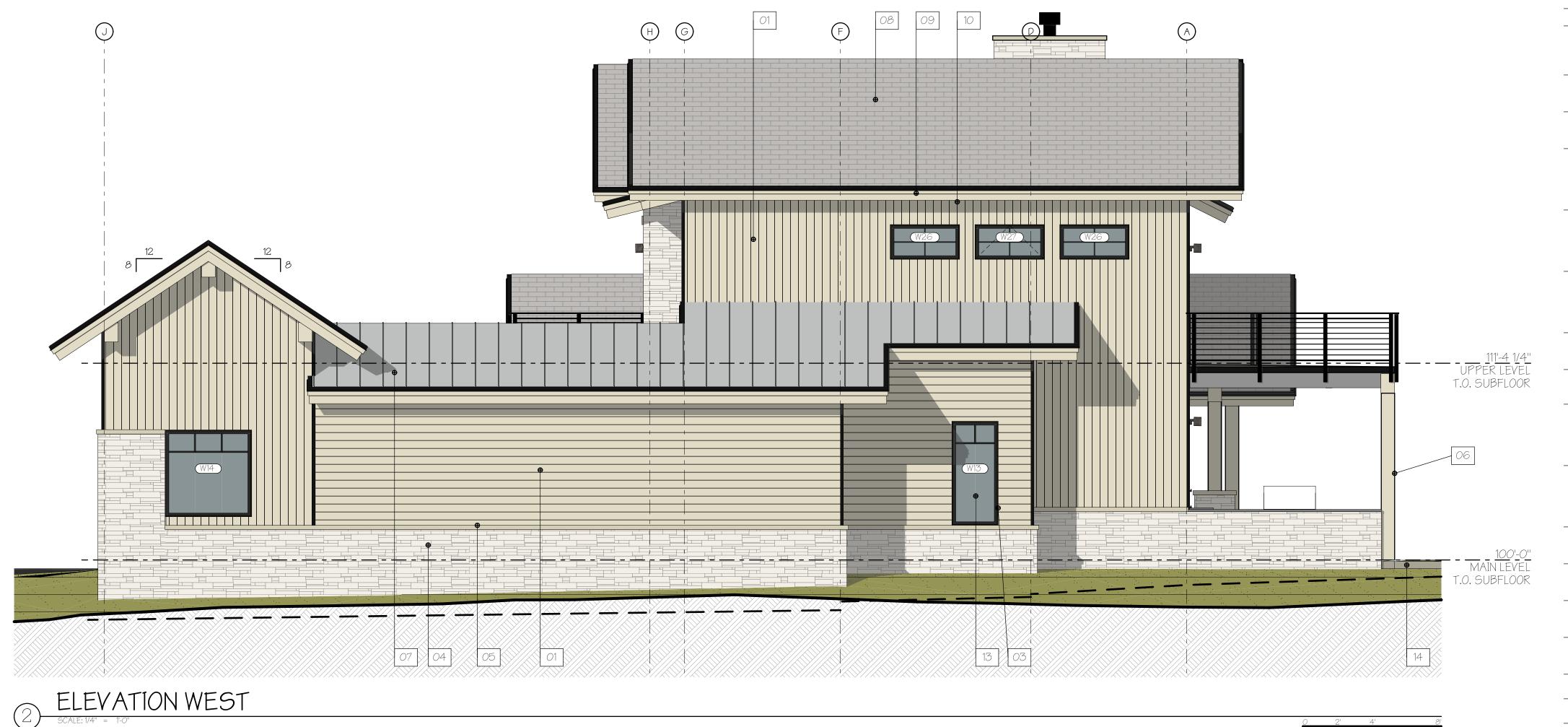
- DECK EDGE: METAL WRAPPED BOARD TO MATCH DRIP EDGE & PER DETAIL.
- GUARDRAIL/HANDRAIL PER I.R.C. AS SHOWN. SEE DETAIL.
- FIREPLACE FLUE: INSTALL PER I.R.C. & MANUFACTURER. PAINTED TO MATCH EXTERIOR METALS.
- EXTERIOR WALL-MOUNTED LIGHT FIXTURE: 18 DOWN-FACING WALL MOUNTED LIGHT PER MATERIAL BOARD.
- FLASH ALL VERTICAL TO HORIZONTAL TRANSITIONS.
- 20 HEATED GUTTER AND DOWNSPOUT. 6" TALL STONE LINTEL ABOVE WINDOW W/ 21 3" OVERHANG PAST WINDOW EA SIDE.



PROJECT NO: 21003 SHEET TITLE:

ELEVATION(S) - NORTH, EAST







KEYNOTES (SPECIFICATIONS)

EXTERIOR METALS.

MATERIAL BOARD.

TRANSITIONS.

DESCRIPTION

EXTERIOR WALL-MOUNTED LIGHT FIXTURE: 18 DOWN-FACING WALL MOUNTED LIGHT PER

FLASH ALL VERTICAL TO HORIZONTAL

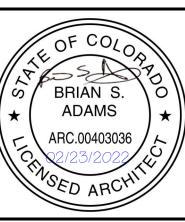
6" TALL STONE LINTEL ABOVE WINDOW W/ 3" OVERHANG PAST WINDOW EA SIDE.

20 HEATED GUTTER AND DOWNSPOUT.

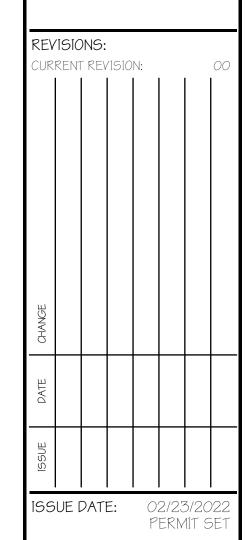
- 01 MATERIAL AND COLOR PER MATERIAL BOARD. SEE DETAILS AND STRUCTURAL. CORNER TRIM AT HORIZONTAL WOOD
- 02 SIDING: EASYTRIM REVEAL: TYPE EZ.33. COLOR: BLACK.

 WINDOW TRIM AT HORIZONTAL WOOD
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- MATERIAL BOARD. EXTERIOR CONCRETE SLAB: CONCRETE PER 14 STRUCTURAL. COLOR PER MATERIAL
- BOARD. DECK EDGE: METAL WRAPPED BOARD TO MATCH DRIP EDGE & PER DETAIL. GUARDRAIL/HANDRAIL PER I.R.C. AS 16 SHOWN. SEE DETAIL.





 $\bigcup_{i=1}^{n}$



PROJECT NO: 21003 SHEET TITLE: ELEVATION(S) - SOUTH, WEST



FRONT SKETCH



REAR SKETCH

MATERIAL AND COLOR SCHEDULE

NOTE: SEE ELEVATION NOTES ON ELEVATION SHEETS FOR MATERIAL DESCRIPTIONS AND SIZES.

HEMLOCK CHANNEL LAP SIDING, 6" NOMINAL WIDTH. FLOOD SEMI-TRANSPARENT STAIN, COLOR: "FIR/PINE NATURALTONE" 1.) HORIZONTAL SIDING

2.) STONE VENEER

TELLURIDE STONE, COLOR "MOUNTAIN ASH + BLACK CANYON MIX" W/ GRAY GROUT TO MATCH STONE COLOR. GROUT TO BE MINIMAL WIDTH.

CEDAR MATERIAL PER DETAILS AND DOUGFIR COLUMNS PER STRUCTURAL. FLOOD EXTERIOR SEMI-TRANSPARENT STAIN, COLOR: "FIR/PINE NATURALTONE" 3.) WOOD COLUMNS, ROOF FASCIA

4.) METAL ROOFING STANDING SEAM METAL ROOFING. COLOR: TAMKO "CHARCOAL". 5.) ASPHALT SHINGLE ROOFING GAF 50YR ASPHALT SHINGLES. COLOR: "WEATHERED WOOD"

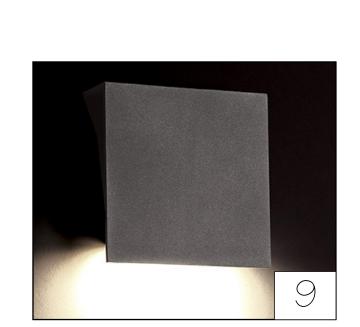
6.) ROOF SOFFIT MATCH HORIZONTAL SIDING, (1) STAIN COAT

7.) METAL CLAD WINDOW METAL CLAD WOOD WINDOWS. EXTERIOR CLADDING COLOR: "BLACK".

CHI DOORS INSULATED METAL DOOR. FULL-VIEW ALUMINUM W/ BRONZE FRAME AND FROSTED GLASS 8.) GARAGE DOOR

9.) LIGHT FIXTURE WAC LIGHTING COMPANY, MODERN FORMS MODEL "SQUARE" WS-W8=38610

10.) EXPOSED METALS ALL FLASHING, CHIMNEY FLUE, ETC. EXPOSED TO THE EXTERIOR OF THE HOME TO BE PREFINISHED OR PAINTED TO MATCH SURROUNDING MATERIALS.

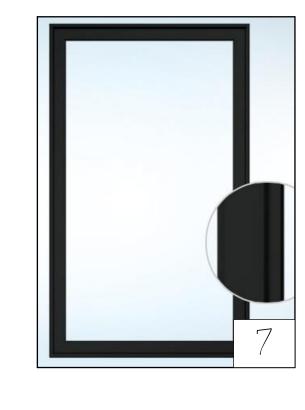






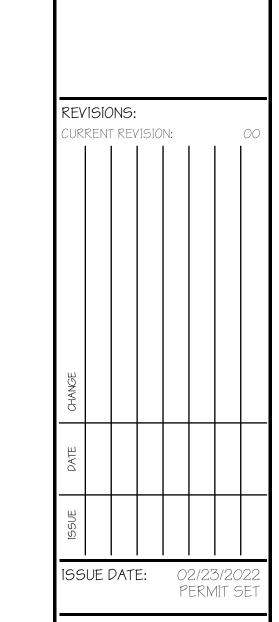




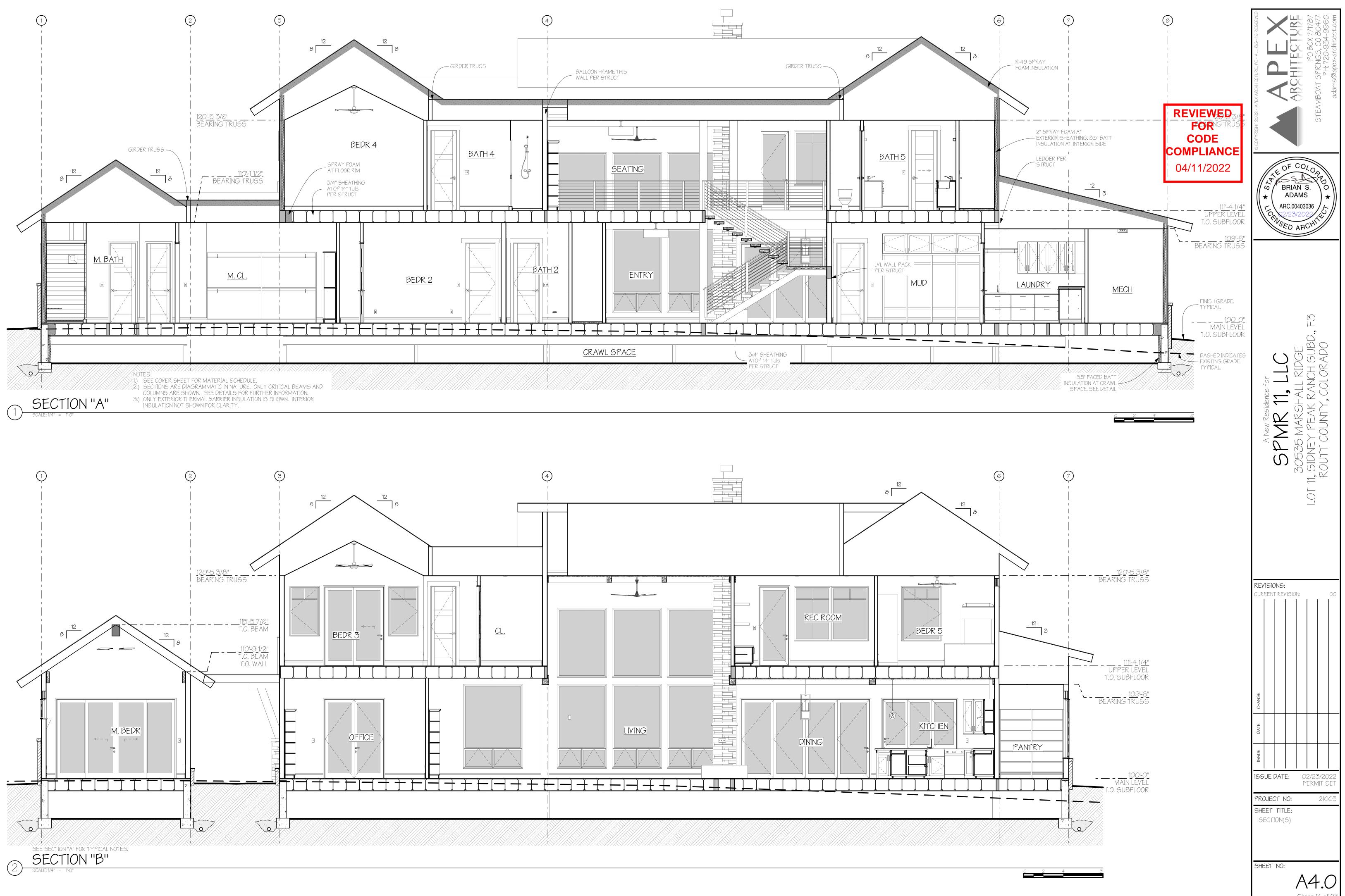


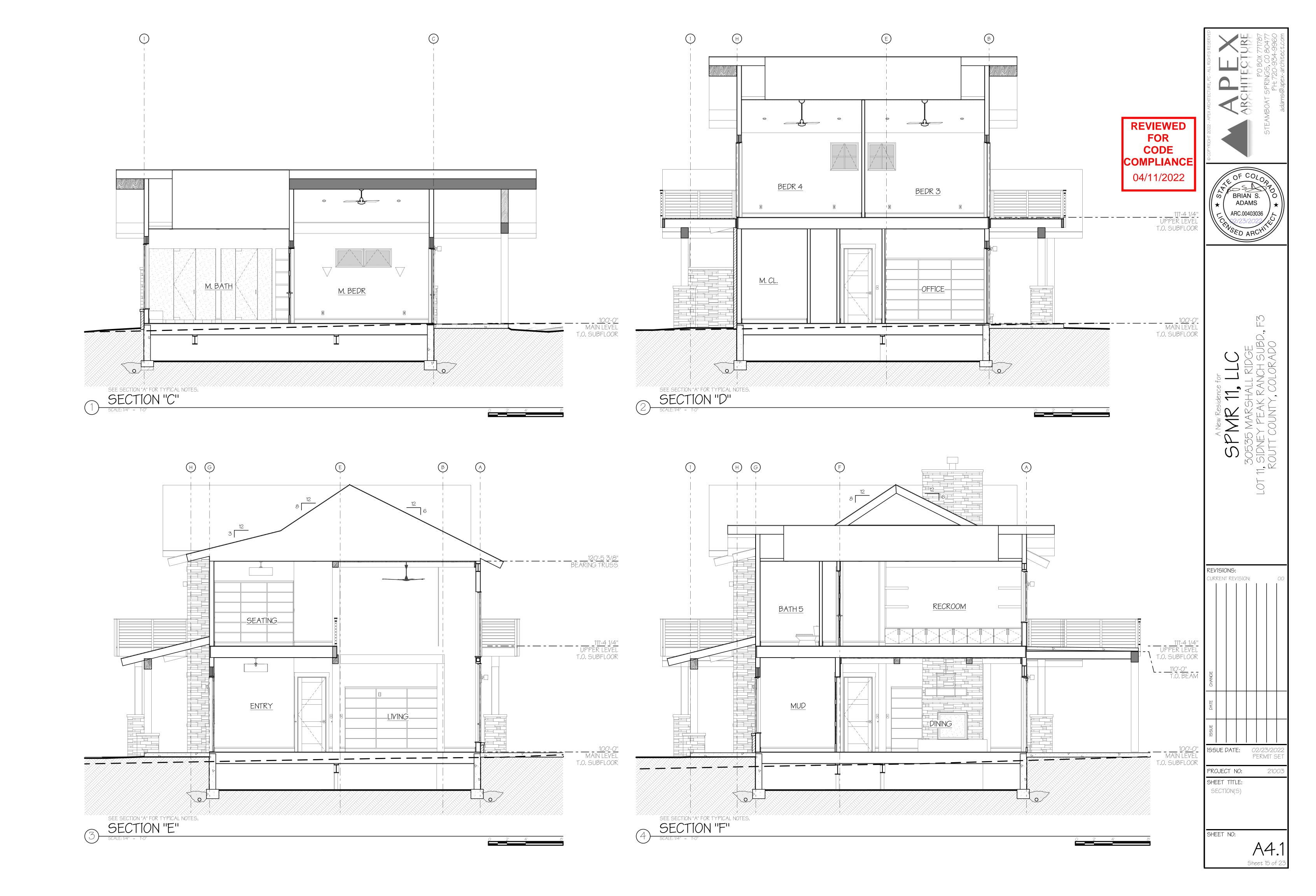


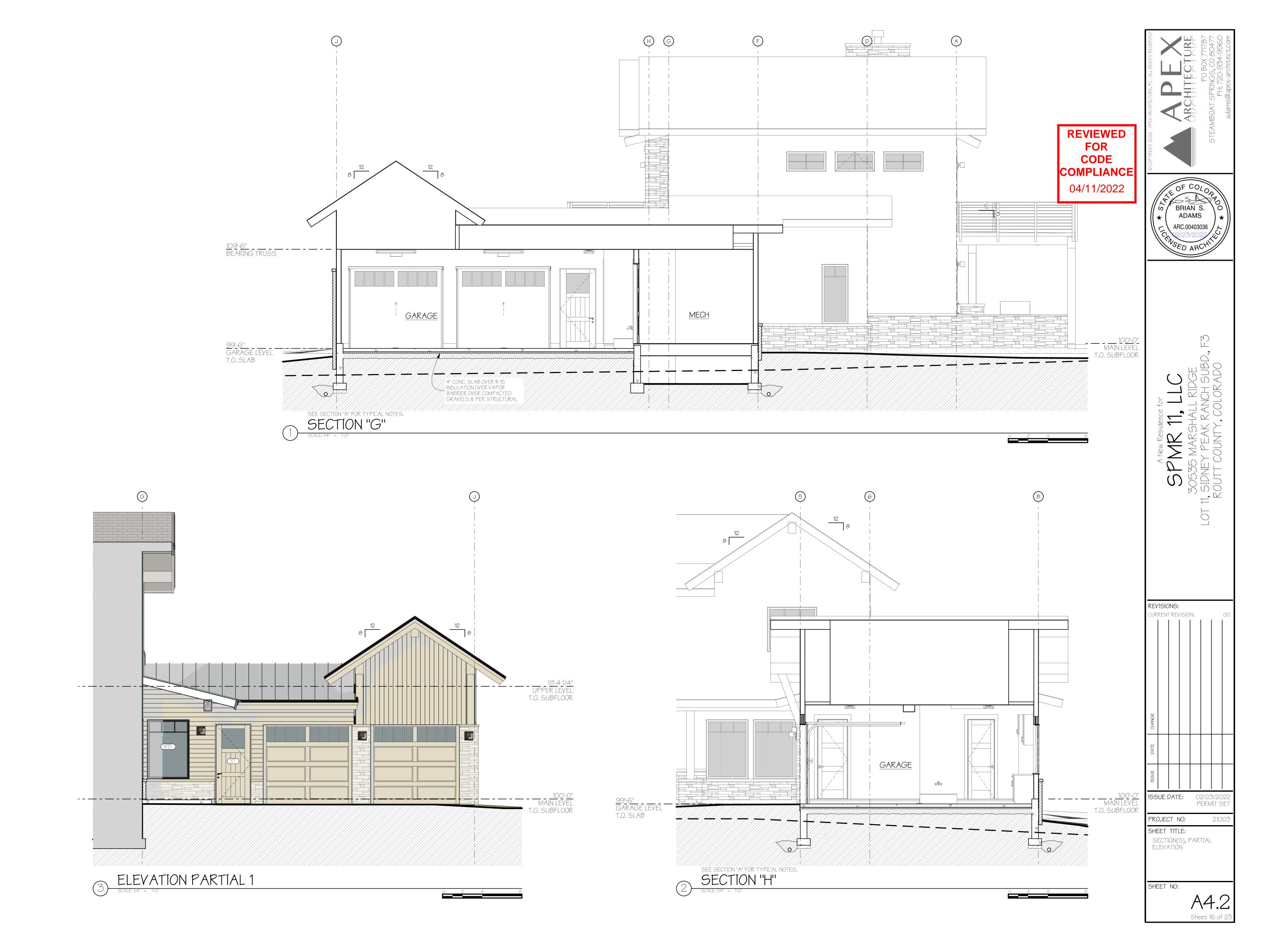


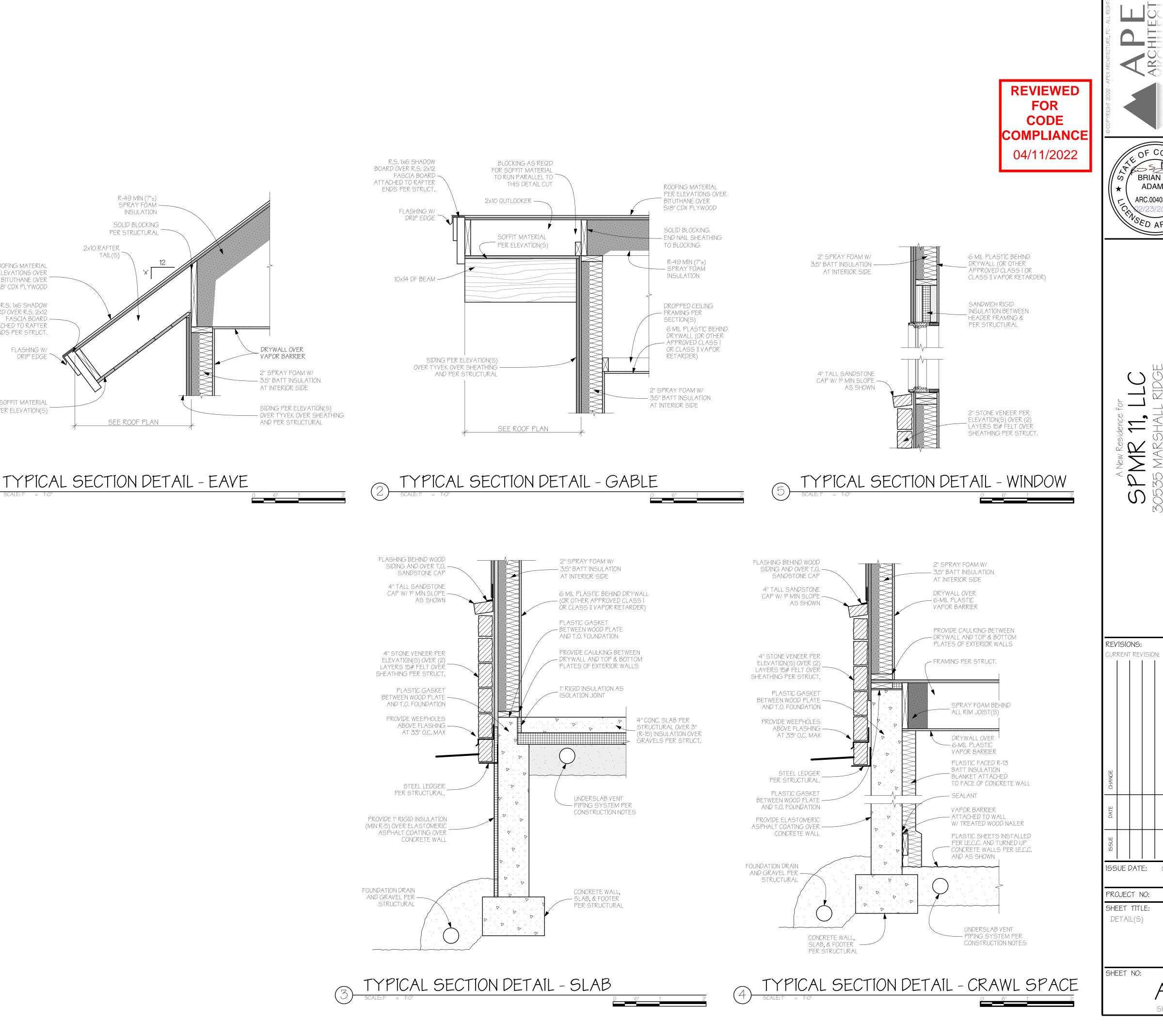


SHEET TITLE: SKETCH(S), MATERIAL SCHEDULE









R-49 MIN (7"±)

SOLID BLOCKING

PER STRUCTURAL

SEE ROOF PLAN

2x10 RAFTER TAIL(S)

ROOFING MATERIAL

BITUTHANE OVER

R.S. 1x6 SHADOW

FASCIA BOARD —

FLASHING W/ DRIP EDGE

SOFFIT MATERIAL

PER ELEVATION(S)

BOARD OVER R.S. 2x12

ATTACHED TO RAFTER

ENDS PER STRUCT.

5/8" CDX PLYWOOD

PER ELEVATIONS OVER

SPRAY FÒAM —

INSULATION

BRIAN S.

ADAMS

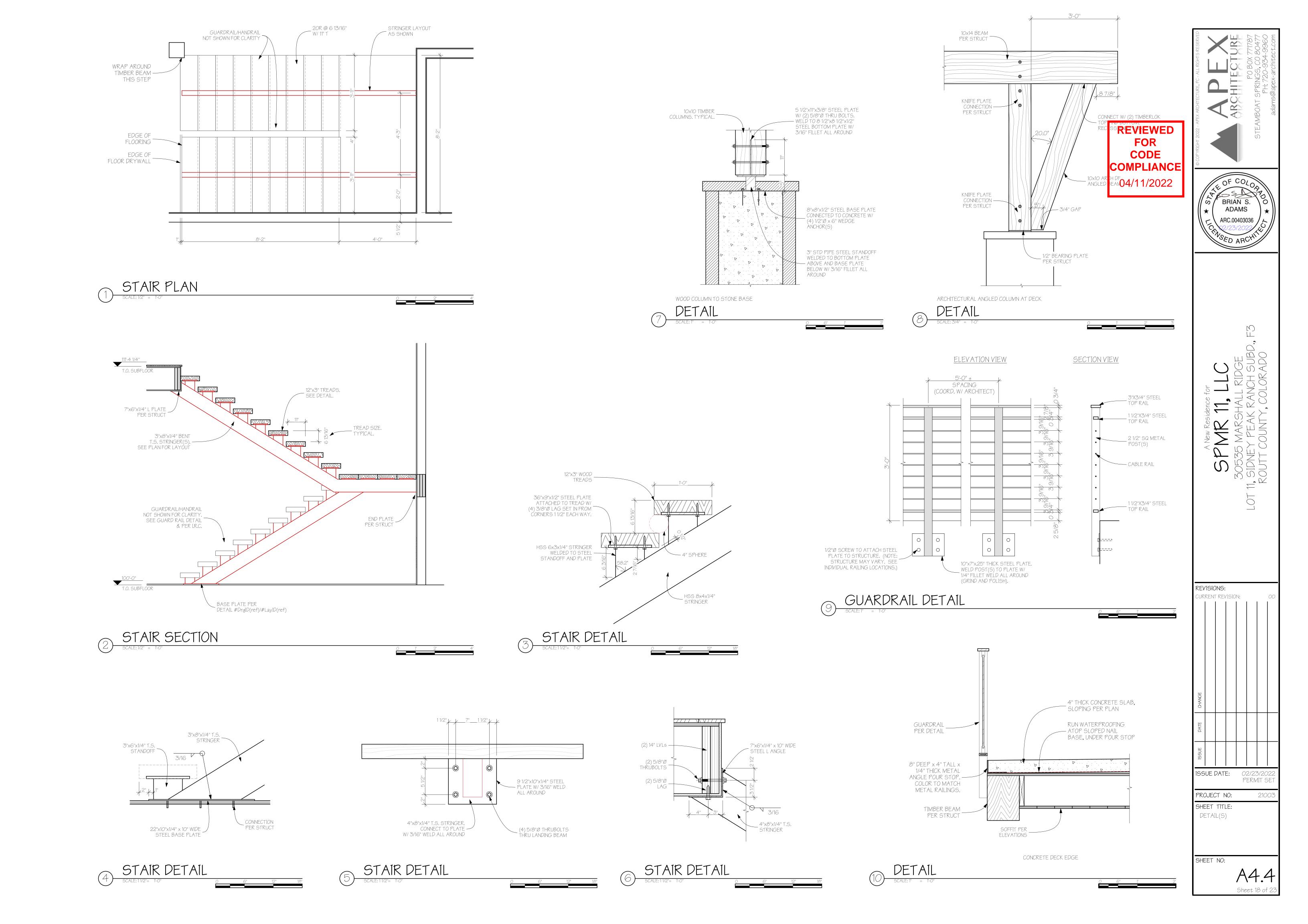
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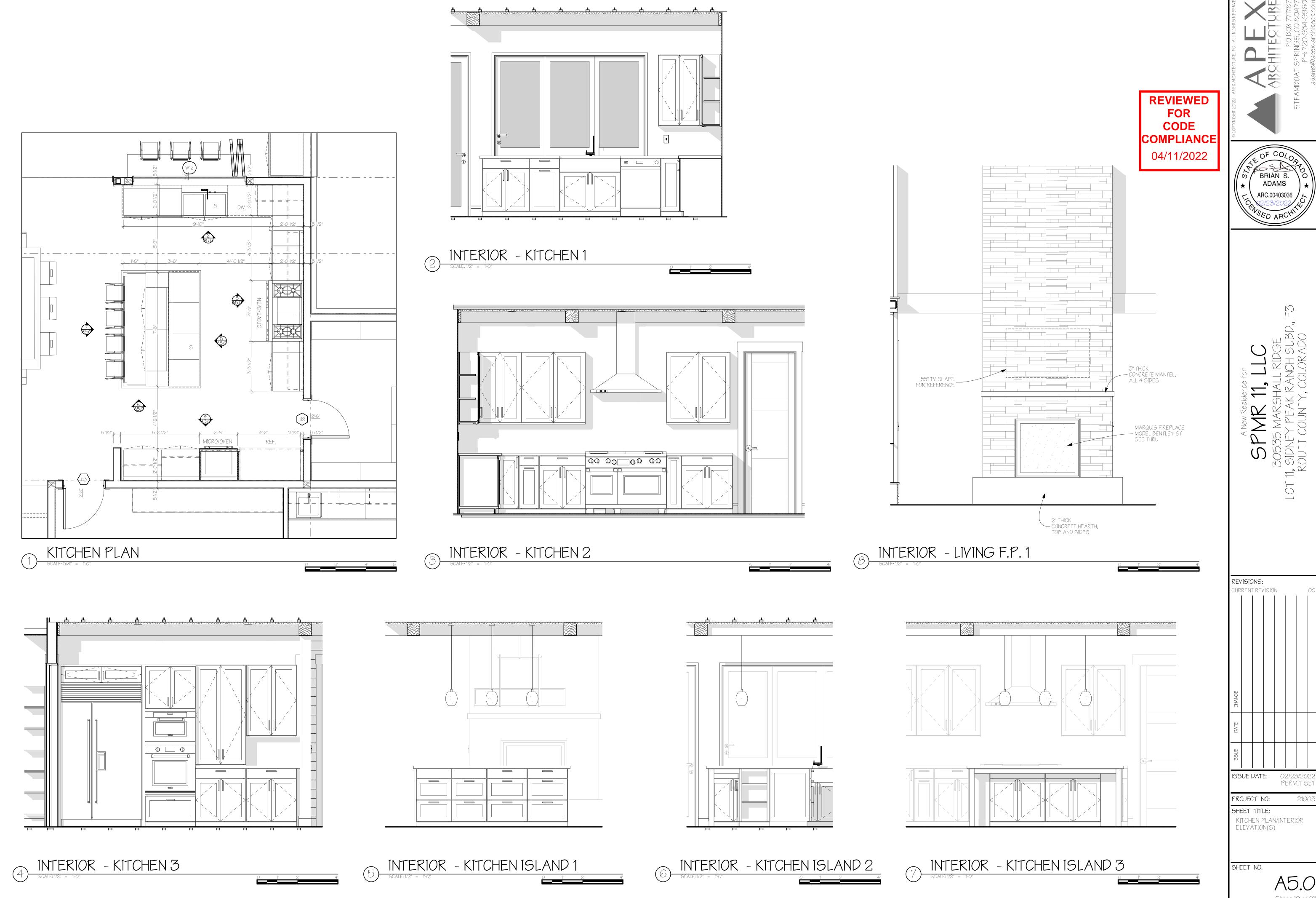
02/23/202

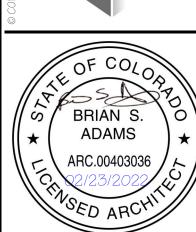
Sheet 17 of 2

PERMIT SE

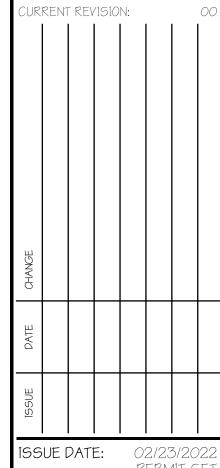
21003



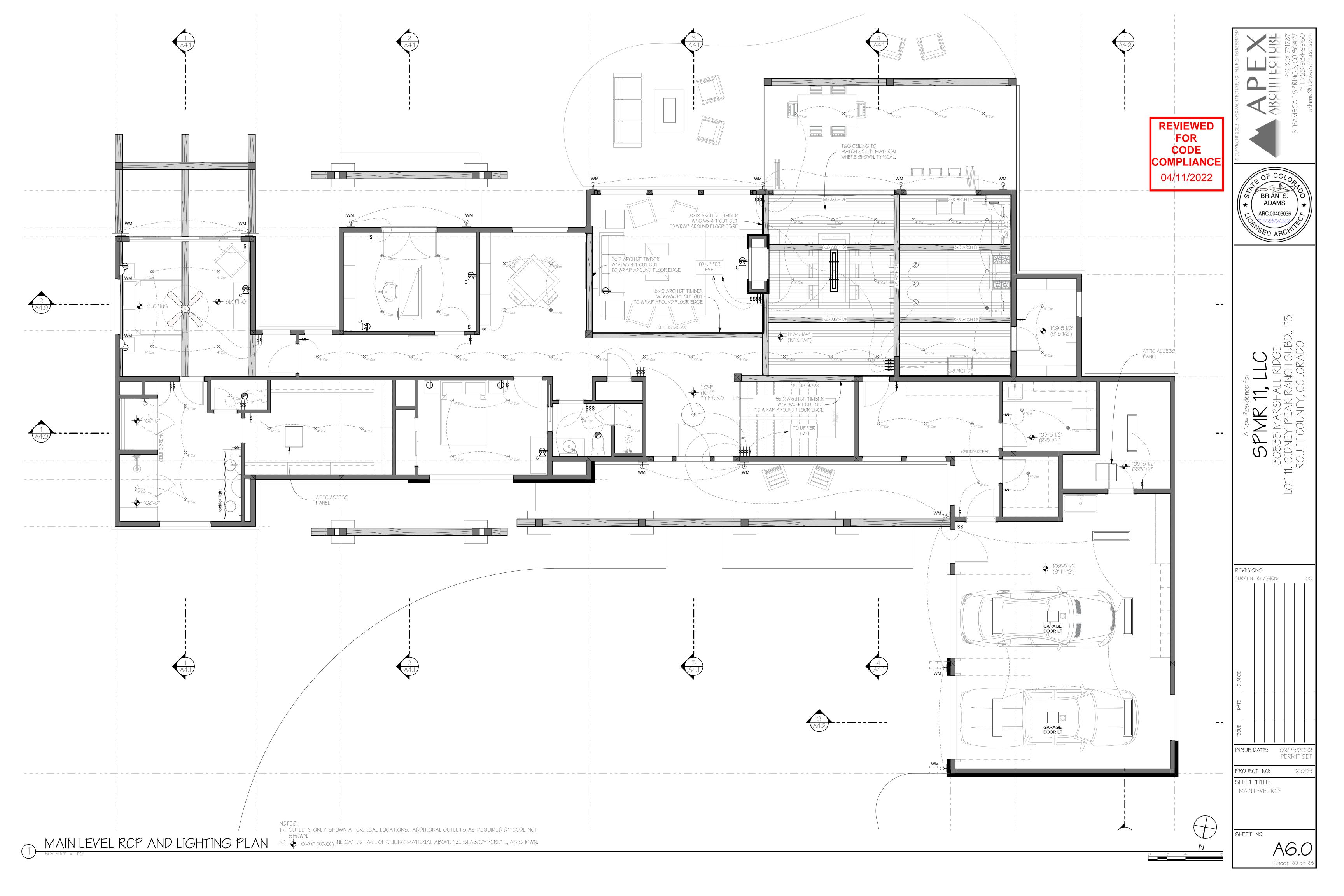


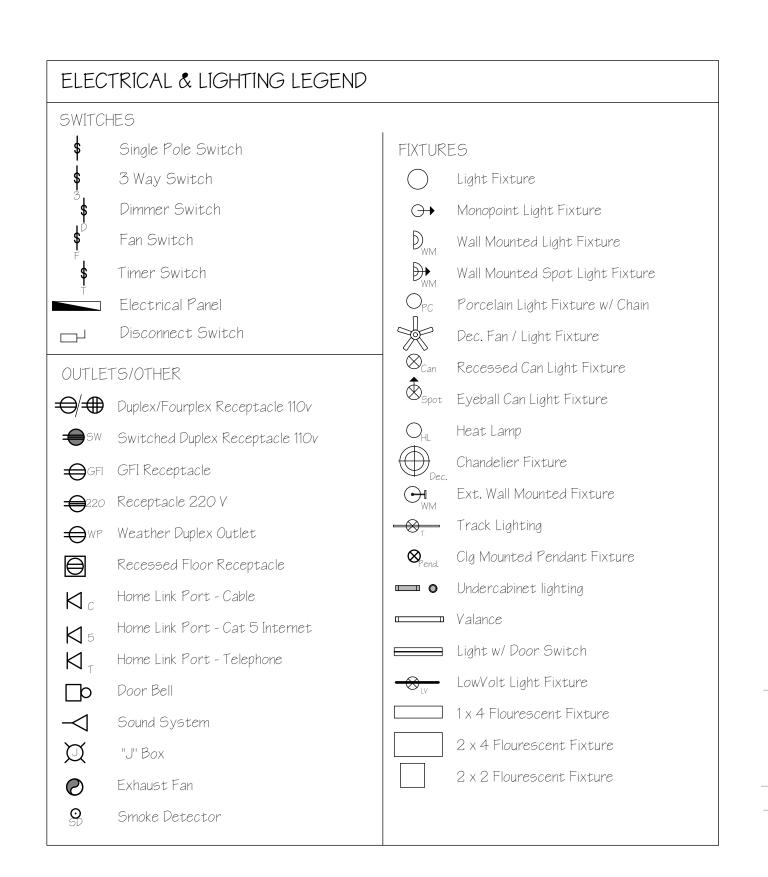




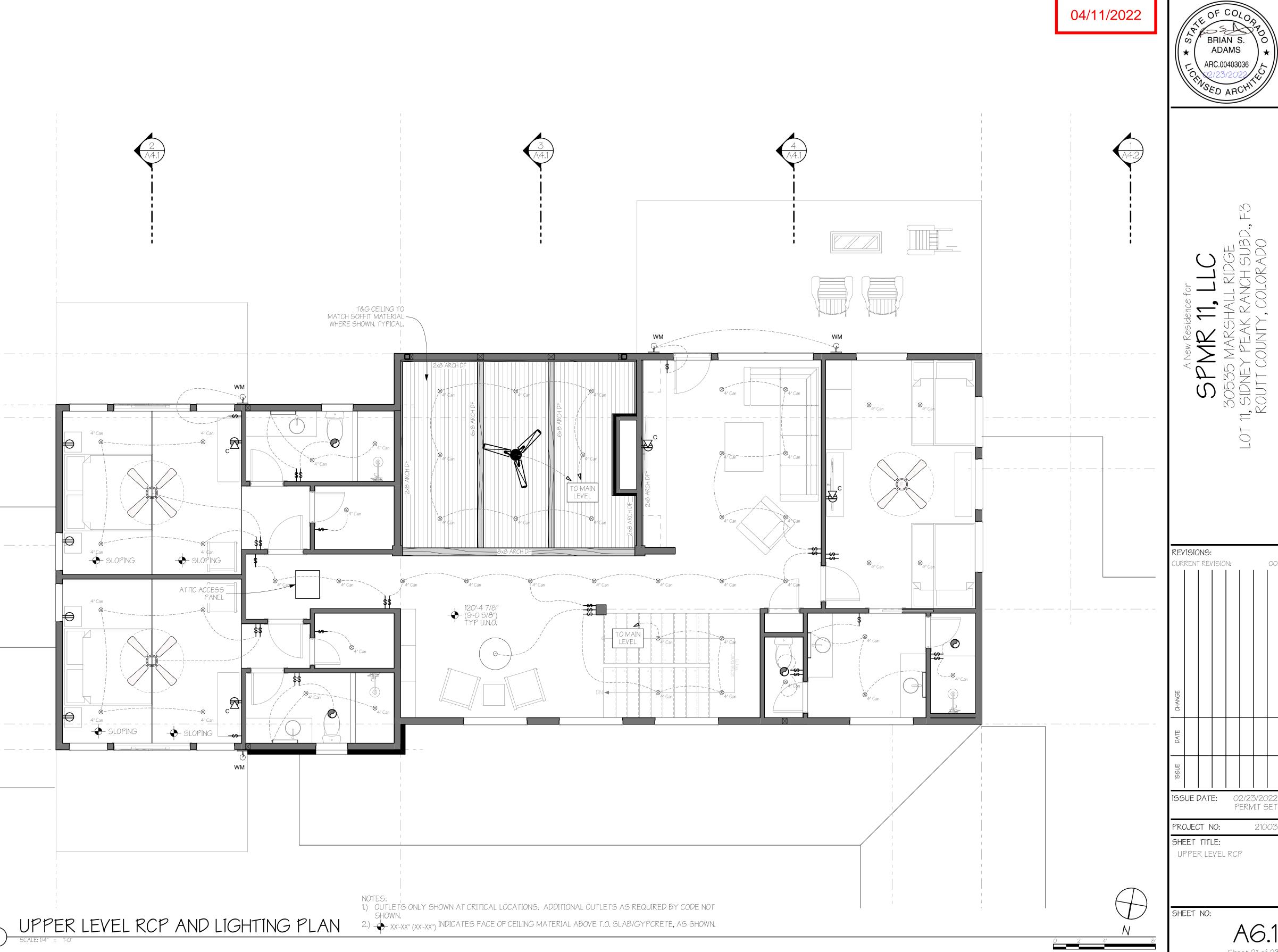


A5.0Sheet 19 of 23





LIGHT FIXTURE QUANTITIES FLOOR TYPE QTY SYMBOL						
	ITE	Q I I	STIVIDUL			
MAIN						
	CEILING FAN	1	+			
	CHAND. DINING	1				
	ENTRY PEND.	1	0			
	EXT. WALL MOUNT	13	€			
	FLOUR. 1x4	6				
	GARAGE DR	2				
	KITCHEN PEND.	3	<u></u>			
	REC CAN - 4"	65	⊗ _{4" Can}			
	UNDERCAB	4				
	VANITY	3				
	WALL MOUNT	1	₩			
	WALL SCONCE	2				
UPPER	•	•	•			
	CEILING FAN	4	+			
	ENTRY PEND.	1	()			
	EXT. WALL MOUNT	4	H			
	REC CAN - 4"	49	⊗ 4" Can			
	VANITY	4				

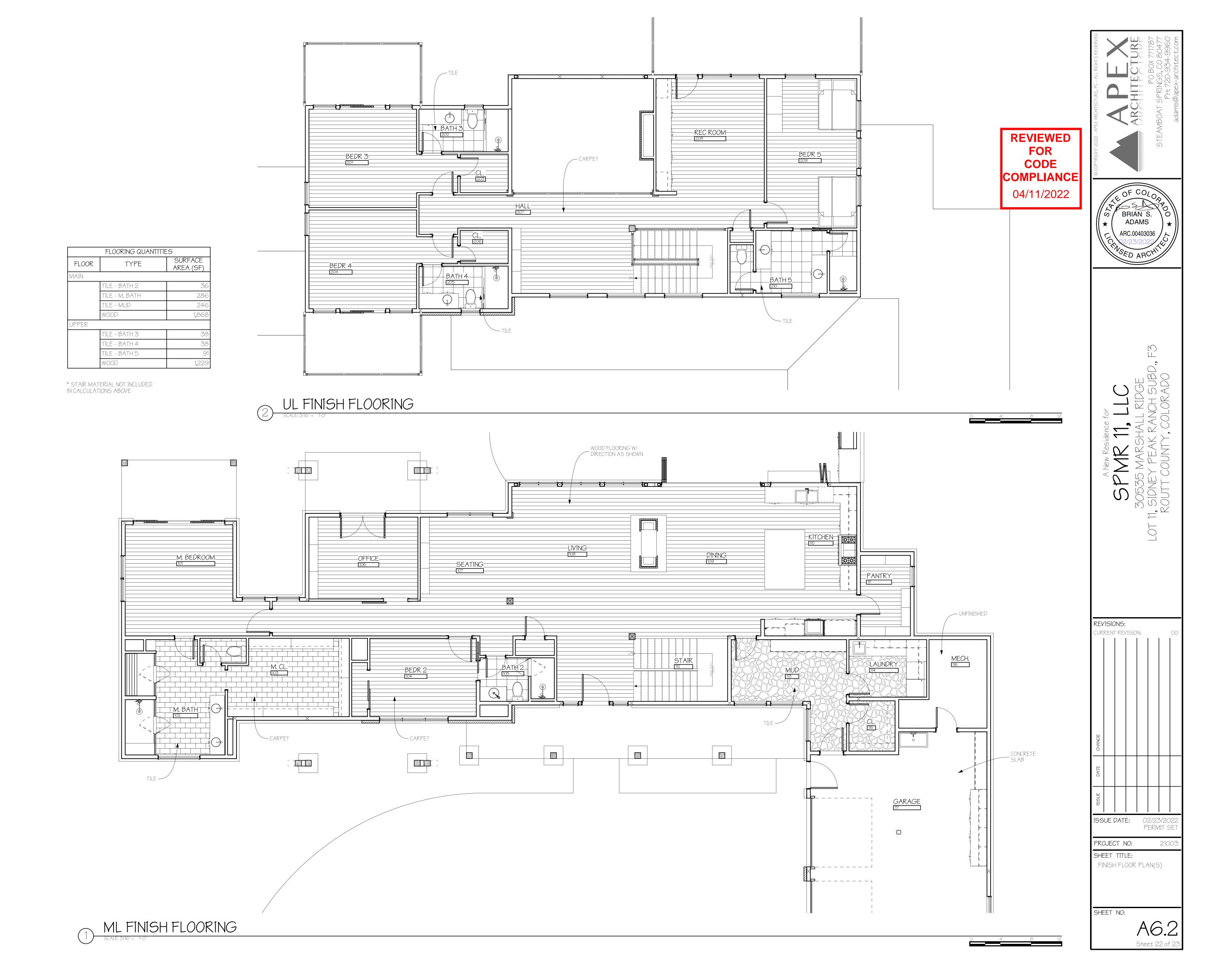




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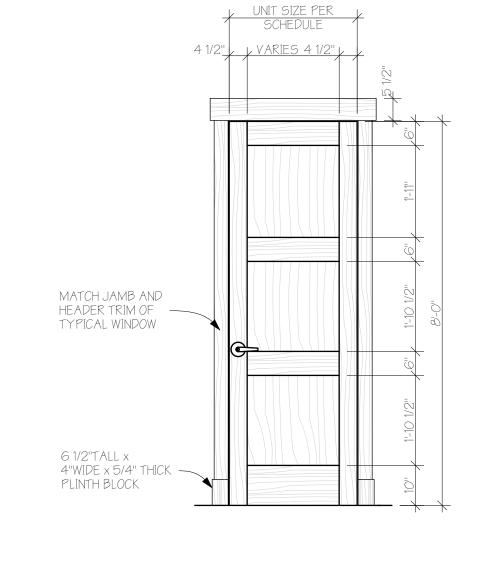
FOR





DRYWALL RETURN SIDES AND TOP 1" THICK SILL TRIM

WINDOW INTERIOR TRIM





1.) ALL GLASS TO BE TEMPERED GLASS.

6'-8"

6'-8"

6'-8"

2'-8''

2'-4"

2'-8"

2'-8"

2'-0"

2'-6"

2'-4"

2'-8"

2'-6"

2'-4"

2'-4"

2'-4"

2'-4"

2'-4"

REVIEWED
FOR
CODE
COMPLIANCE
04/11/2022

REVISIONS:

CURRENT REVISION:

ISSUE DATE:

PROJECT NO:

SHEET TITLE:

SHEET NO:

WINDOW SCHEDULE, DOOR SCHEDULE, DOOR PROFILES

02/23/202

PERMIT SET

21003

BRIAN S. **ADAMS** ARC.00403036

6HOLD PER ELEVA.. MUDROOM GARAGE WOOD EXTERIOR DOOR W/ THRESHOLD PER ELEVA..

GLASS SHOWER DOOR. COORDINATE W/ SHOWER.

GLASS SHOWER DOOR. COORDINATE W/ SAUNA ..

GLASS SHOWER DOOR. COORDINATE W/ SHOWER..

GLASS SHOWER DOOR. COORDINATE W/ SHOWER..

——— GLASS SHOWER DOOR. COORDINATE W/ SHOWER...

					<i>1</i> t	
02	2'-4"	8'-0"	M. BATH			
)3	2'-6"	8'-0"	M. CLOSET	1	Ĺ	
04	3'-0"	8'-0"	M. BEDROOM			
05	3'-0"	8'-0"	OFFICE	כ	T	
06	5'-0"	8'-0"	BEDROOM 2	1 =		
07	3'-0"	8'-0"	BEDROOM 2		\bigcap	
08	2'-6"	8'-0"	BATH 2		} [
)9	2'-6"	8'-0"	BATH 2		Λ	
10	2'-6"	8'-0"	ENTRY		\bigcap	
111	3'-6"	8'-0"	ENTRY			WOOD EXTERIOR DOOR W/ THRESHO
12	2'-6"	8'-0"	PANTRY			
13	2'-8"	8'-0"	MUDROOM			
14	2'-8"	8'-0"	LAUNDRY			
15	2'-6"	8'-0"	MUDROOM			
1.0	71.011	01.011	N 41 1012 0 0 N 4	†	<u> </u>	

OPERATION NOTES

LOCATION

M. BATH

MECH

BATH 3

BEDROOM 3

BEDROOM 3

BEDROOM 4

BEDROOM 4

BATH 4

REC ROOM

BEDROOM 5

BATH 5

BATH 5

BATH 5

M. BATH

M. BATH

BATH 2

BATH 3

BATH 4

FUNCTION	NOTES	1D	SIZE (W X H)	HEAD HEIGHT	QTY	ELEVATION	FUNCTION	NOTES
FIXED		W16	5'-0"5'-0"	8'-0"	3		FIXED	
CASEMENT, FIXED, CASEMENT		W17	2'-6"4'-0"	8'-0"	1		CASEMENT	
FIXED		W18	3'-0"5'-0"	8'-0"	2	5 5	CASEMENT	
AWNING, AWNING		W19	6'-0"8'-0"	8'-0"	2		SLIDING EXTERIOR DOOR	

8'-0"

8'-0"

8'-0"

2'-0"5'-0" 8'-0" W2 9'-0"5'-0" 8'-0" W3 5'-6"7'-0" 8'-6" W4 6'-0"2'-0" 8'-0" DOUBLE SLIDING 12'-0"8'-0" W20 CASEMENT W5 8'-0" 3'-0"5'-0" 8'-0" EXTERIOR DOOR W21 W6 8'-0" FIXED 3'-0"3'-0" 8'-0" 3'-0''6'-0'' AWNING SLIDING EXTERIOR W7 8'-0" W22 8'-0" CASEMENT 6'-0''8'-0'' 2'-6"4'-0" DOOR INSWING EXTERIOR W8 6'-0''8'-6'' 9'-6" FIXED, AWNING, AWNING W23 3'-0"8'-0" 8'-0" ROVIDE SCREEN DOOR THIS UNIT. DOOR FIXED, AWNING, AWNING W24 FIXED, FIXED W9 5'-0''8'-6" 9'-6" 7'-6"5'-6" 8'-0" W10 5'-0"7'-0" 17'-2" W25 FIXED 4'-0"5'-6" 8'-0" CASEMENT BI-FOLD EXTERIOR

W26

W27

W28

4'-0"2'-0"

4'-0"2'-0"

5'-0''4'-6''

PROVIDE SCREEN DOOR THIS UNIT.

COORDINATE SIZE AND HEIGHT WITH

(ITCHEN COUNTER. PROVIDE SCREEN

DOOR THIS UNIT.

DOOR

BI-FOLD EXTERIOR

DOOR

FIXED

FIXED

FIXED

SIZE (W X H) HEAD HEIGHT QTY

W11

W12

W13

W14

W15

13'-0''8'-0''

7'-6"5'-0 1/2"

2'-8''6'-0''

5'-0"5'-0"

4'-3"6'-0"

VERIFIED WITH A SUPPLIER.

2.) SEE WINDOW DETAILS FOR FURTHER INFORMATION.

WINDOW SCHEDULE

8'-0"

8'-0"

8'-0"

7'-6"

8'-0"

1.) SEE ELEVATION SHEET(S) FOR TEMPERED GLASS LOCATIONS. WINDOW SUPPLIER TO VERIFY.

3.) WINDOW SUPPLIER TO BE SELECTED PRIOR TO R.O. FRAMING. ABOVE SIZES HAVE NOT BEEN

4.) WALL SYSTEM THICKNESS TO BE 7" +/- NOT INCLUDING EXTERIOR SIDING. VERIFY ALL REQUIRED

ELEVATION

4'-0"

FIXED

AWNING

FIXED