

WHEN RECORDED RETURN TO:
David M and Jane W.H. Blandford
628 S. High Street
Denver, CO 80209

ALLOCATION OF SECONDARY DWELLING UNIT
WITHIN THE LAND PRESERVATIONS SUBDIVISION EXEMPTION
KNOWN AS MARABOU

HOMESTEAD **B8**

SF Marabou, LLC, a Georgia limited liability company ("SFM") is the successor in interest to Elk River Partners, LLC, a Georgia limited liability company ("ERP") with respect to that certain Development Agreement recorded June 2, 2006 at Reception No. 638977 of the real property records for Routt County, Colorado ("Development Agreement"). Pursuant to that certain Agreement Regarding Designation of Lots Eligible for Maintenance of a Secondary Dwelling Unit Within The Land Preservation Subdivision Exemption Known As Marabou recorded June 2, 2006 at Reception No. 638982 of the real property records for Routt County, Colorado ("Secondary Dwelling Unit Agreement"), twenty-two (22) Buildable Lots in Marabou, a land preservation subdivision exemption ("Marabou") are eligible for Secondary Dwelling Units (as that term is defined in the Routt County Zoning Regulations).


By the recording of this document, SFM hereby allocates one (1) Secondary Dwelling Unit to Homestead **B8** as shown on the Plat for Marabou Filing No. 1, recorded on June 2, 2006 at Reception No. 638975 as File No. 13619 of the Routt County real property records.

All site work, landscaping, structures and improvements in connection with the Secondary Dwelling Unit must be reviewed, approved and completed pursuant to the Design Guidelines of the Community Charter for Marabou, recorded June 2, 2006 at Reception No. 638976, and the applicable Routt County Zoning Regulations. Allocation of a Secondary Unit is not a substitute for any approvals or reviews required by The Marabou Owners Association, Inc., Routt County, State of Colorado or any other agency or entity having jurisdiction over architectural review and construction of improvements within Marabou.

Number of Secondary Dwelling Units allocated to date (including this allocation): **16**
Number of Secondary Dwelling Units available for allocation (after this allocation): **6**

In witness whereof, the undersigned, as authorized representative of SFM, has executed this Allocation of Secondary Dwelling Unit within the Land Preservation Subdivision Exemption Known as Marabou this 4th day of January, 2021.

SF MARABOU, LLC,
a Georgia limited liability company

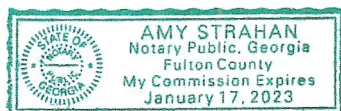
By: 
Amy Heicher, Manager


STATE OF Georgia)
) ss.
COUNTY OF Fulton)

The foregoing instrument was acknowledged and sworn to before me this 4th day of January, 2021 by Amy Heicher as Manager of SF Marabou, LLC, a Georgia limited liability company.

WITNESS my hand and official seal.
My commission expires: 1/17/23

{SEAL}




Notary Public