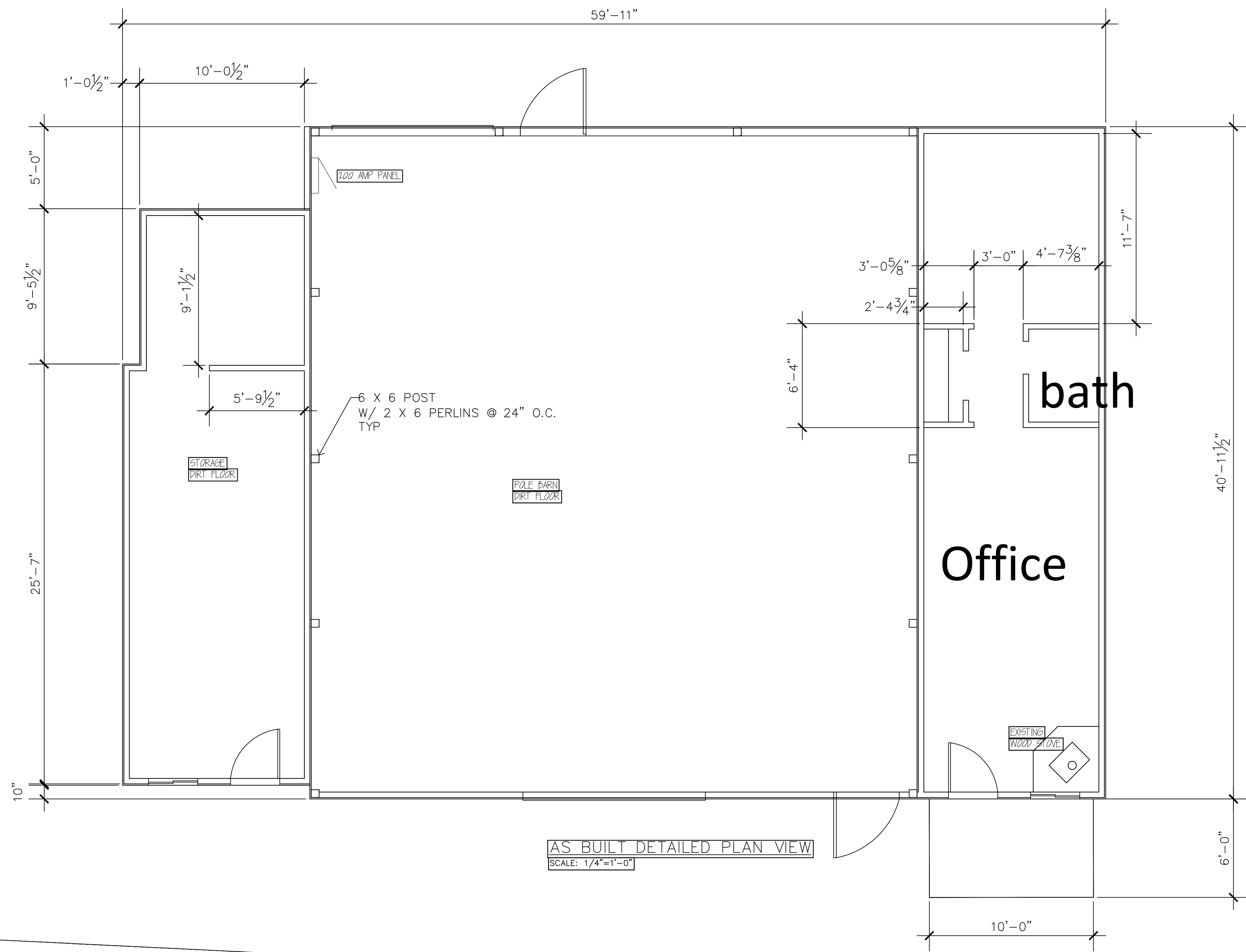


JERRY & COLETTE BURRIS AS BUILT POLE BARN



DRAWING INDEX

SHTS	DRAWINGS
A1	AS BUILT DETAILED PLAN VIEW
A2	AS BUILT ELEVATIONS
A3	AS BUILT SECTIONS
A4	AS BUILT ROOF LAYOUT
A5	AS BUILT EMPTY PLAN

General Notes

A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address

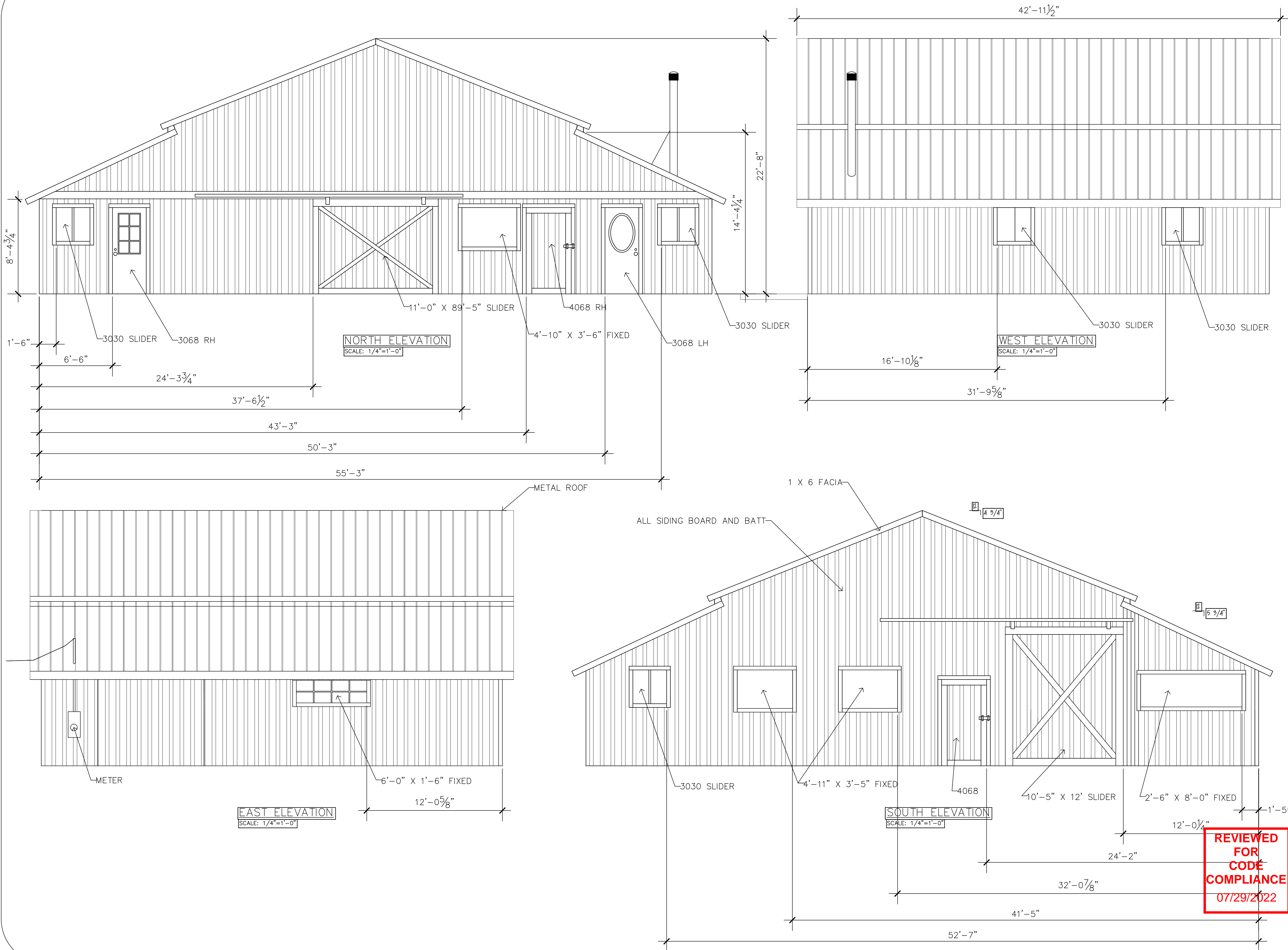
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address

Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	Sheet
Date	05/03/22	A1
Scale	1/4" = 1'-0"	

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022



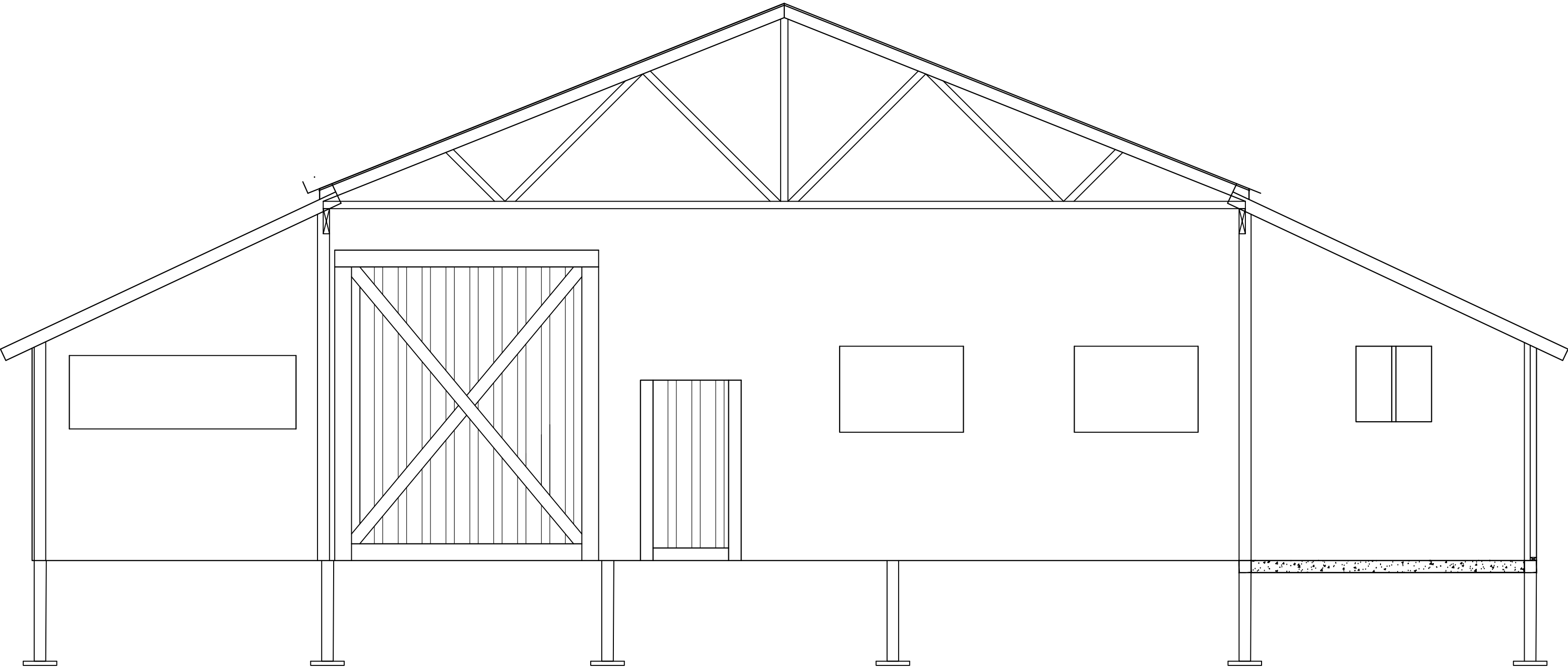
General Notes

A	AS BUILT	05/03/22
No.	Revision/Issue	Date

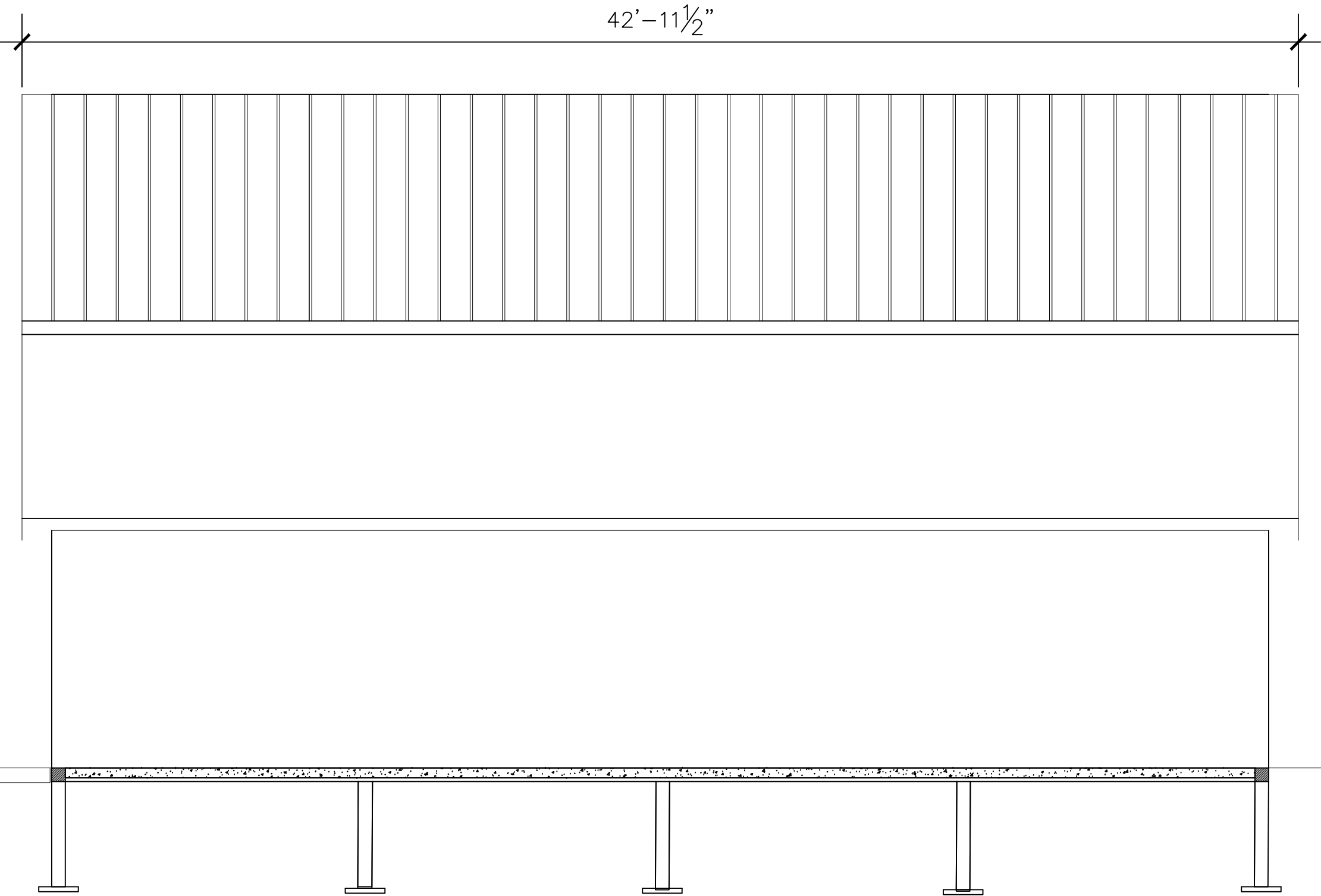
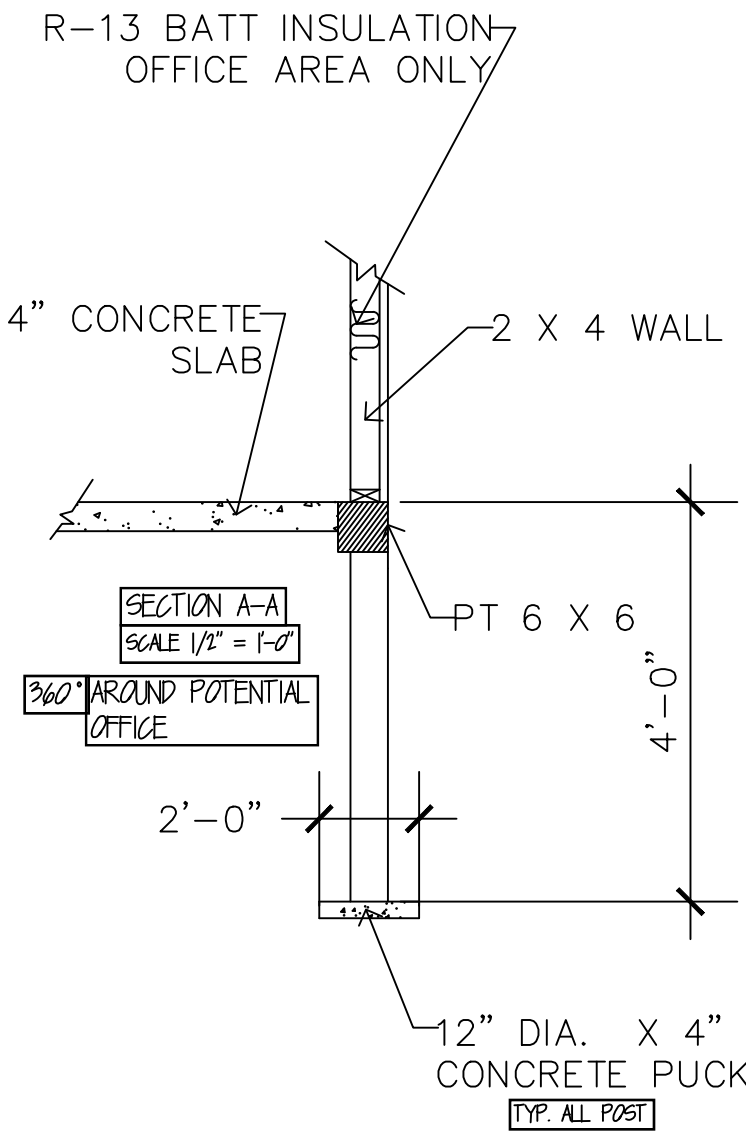
Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

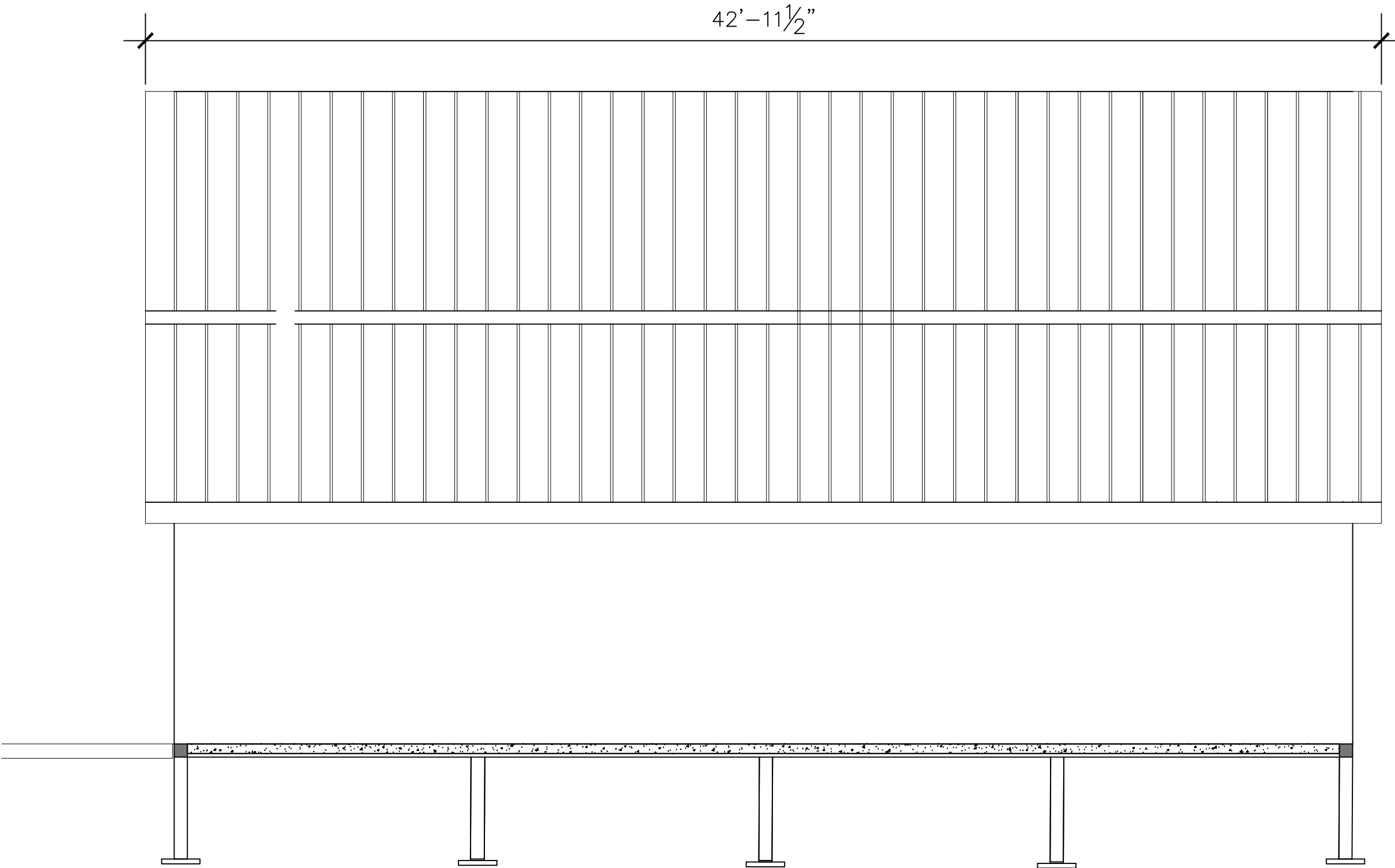
Project	25325-1	Sheet
Date	05/03/22	A2
Scale	1/4" = 1'-0"	



SECTION B-B
SCALE: 1/4"=1'-0"



SECTION C-C
SCALE: 1/4"=1'-0"



SECTION D-D
SCALE: 1/4"=1'-0"

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

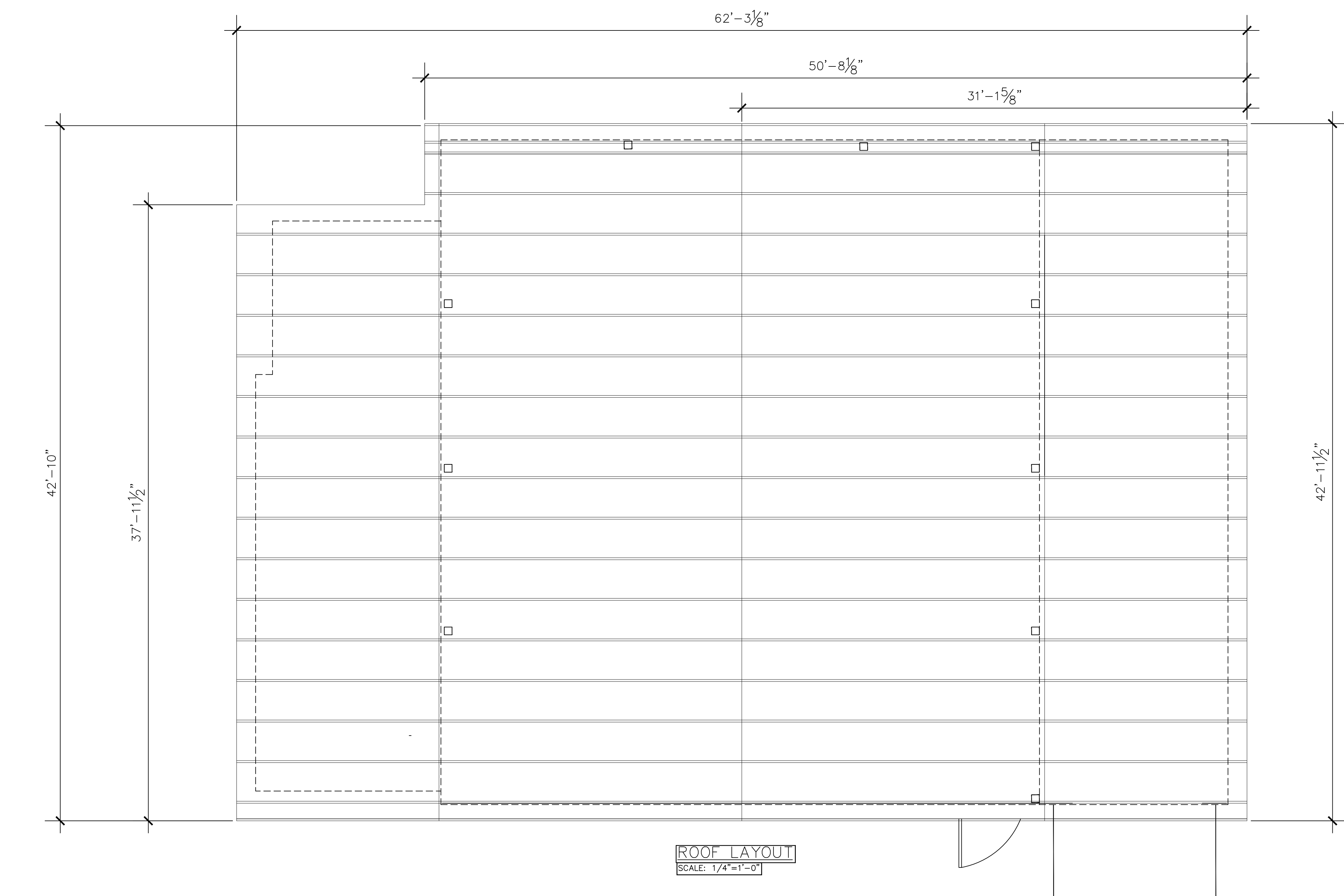
General Notes

A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

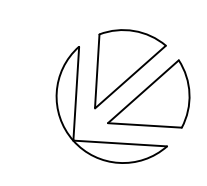
Project Name and Address
Jerry & Colette Burris
25325 Paradise Valley Ln.
Oak Creek, CO 80467
970-846-1768

Project	25325-1	Sheet
Date	05/03/22	A3
Scale	1/4" = 1'-0"	



ROOF LAYOUT
SCALE: 1/4"=1'-0"

DRIVEWAY



REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

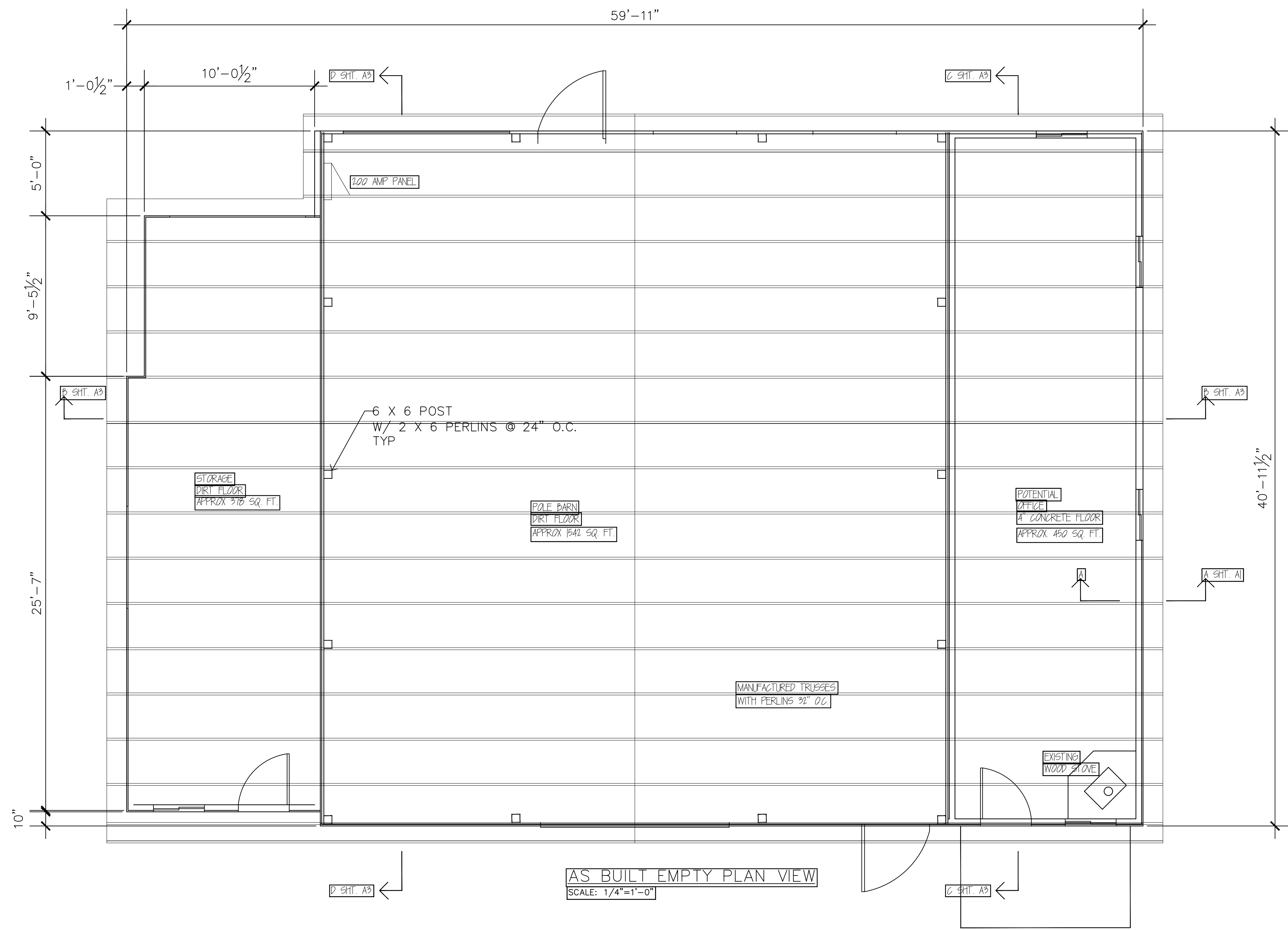
General Notes

A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	A4
Date	05/03/22	
Scale	1/4" = 1'-0"	



DRIVEWAY

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

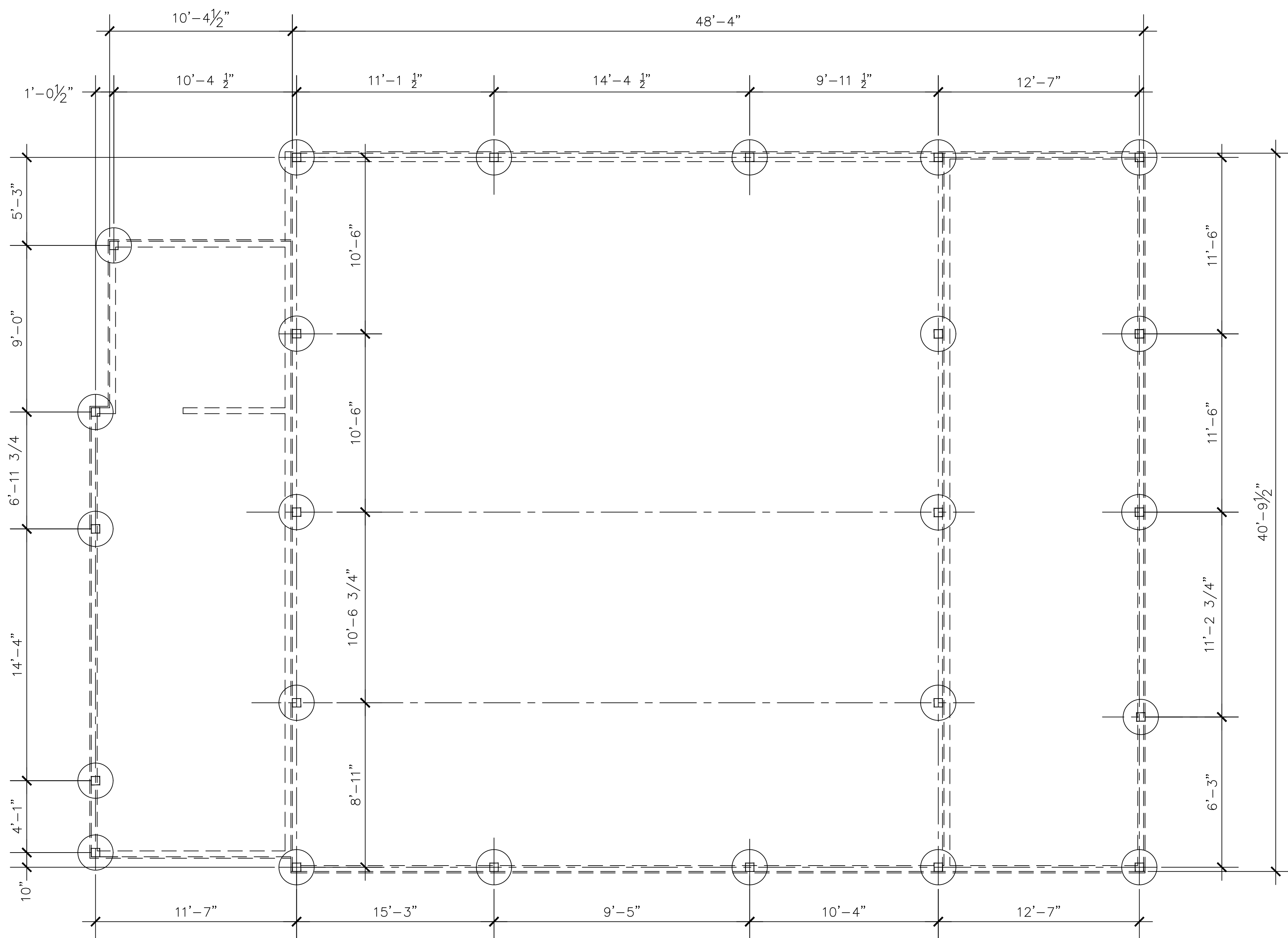
General Notes

A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	Sheet
Date	05/03/22	A5
Scale	1/4" = 1'-0"	



AS BUILT DETAILED PIER LAYOUT
SCALE: NTS

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

General Notes

A	AS BUILT	05/09/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	Sheet
Date	05/09/22	A6
Scale	1/4" = 1'-0"	



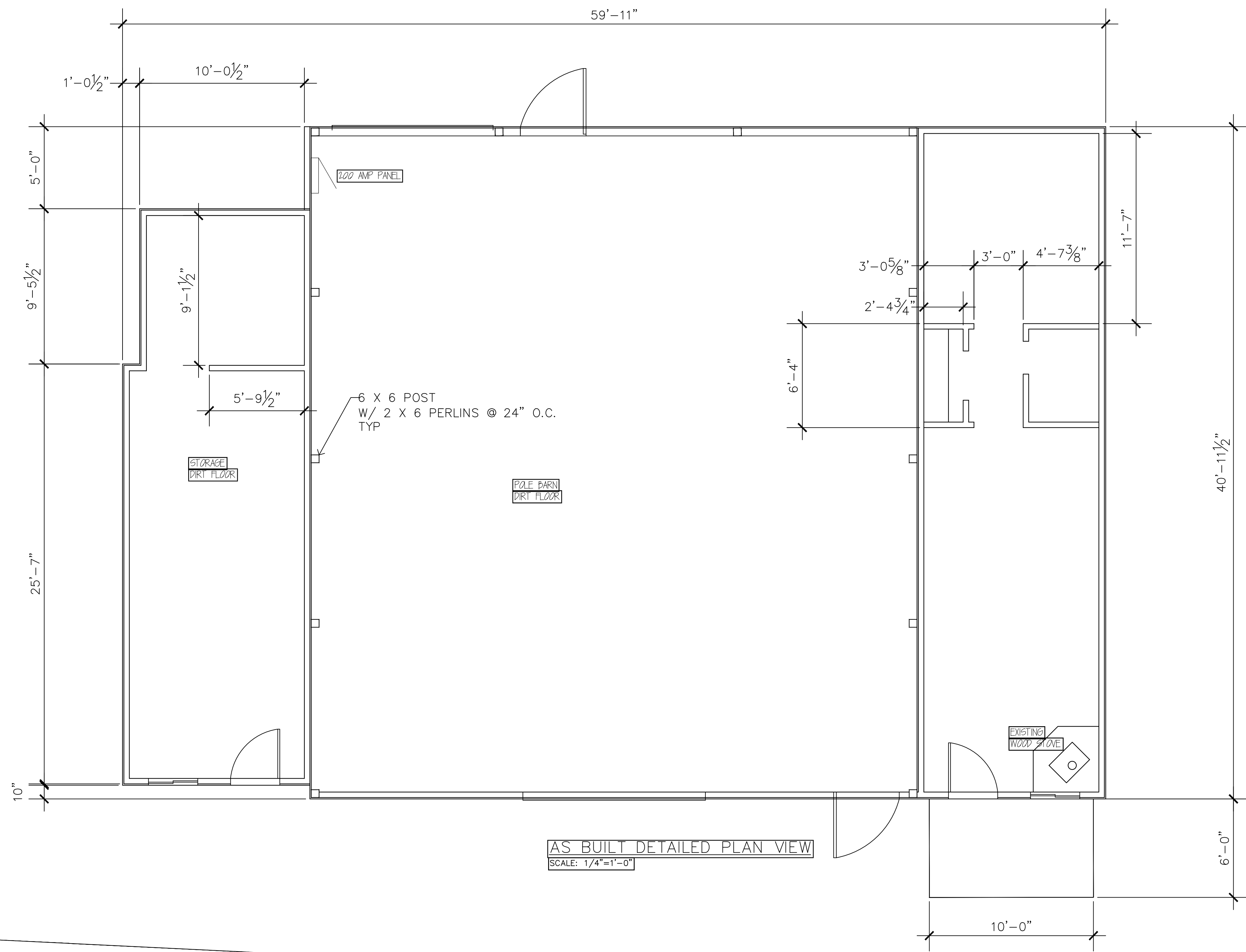








JERRY & COLETTE BURRIS AS BUILT POLE BARN



DRAWING INDEX

SHTS	DRAWINGS
A1	AS BUILT DETAILED PLAN VIEW
A2	AS BUILT ELEVATIONS
A3	AS BUILT SECTIONS
A4	AS BUILT ROOF LAYOUT
A5	AS BUILT EMPTY PLAN

General Notes

A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address

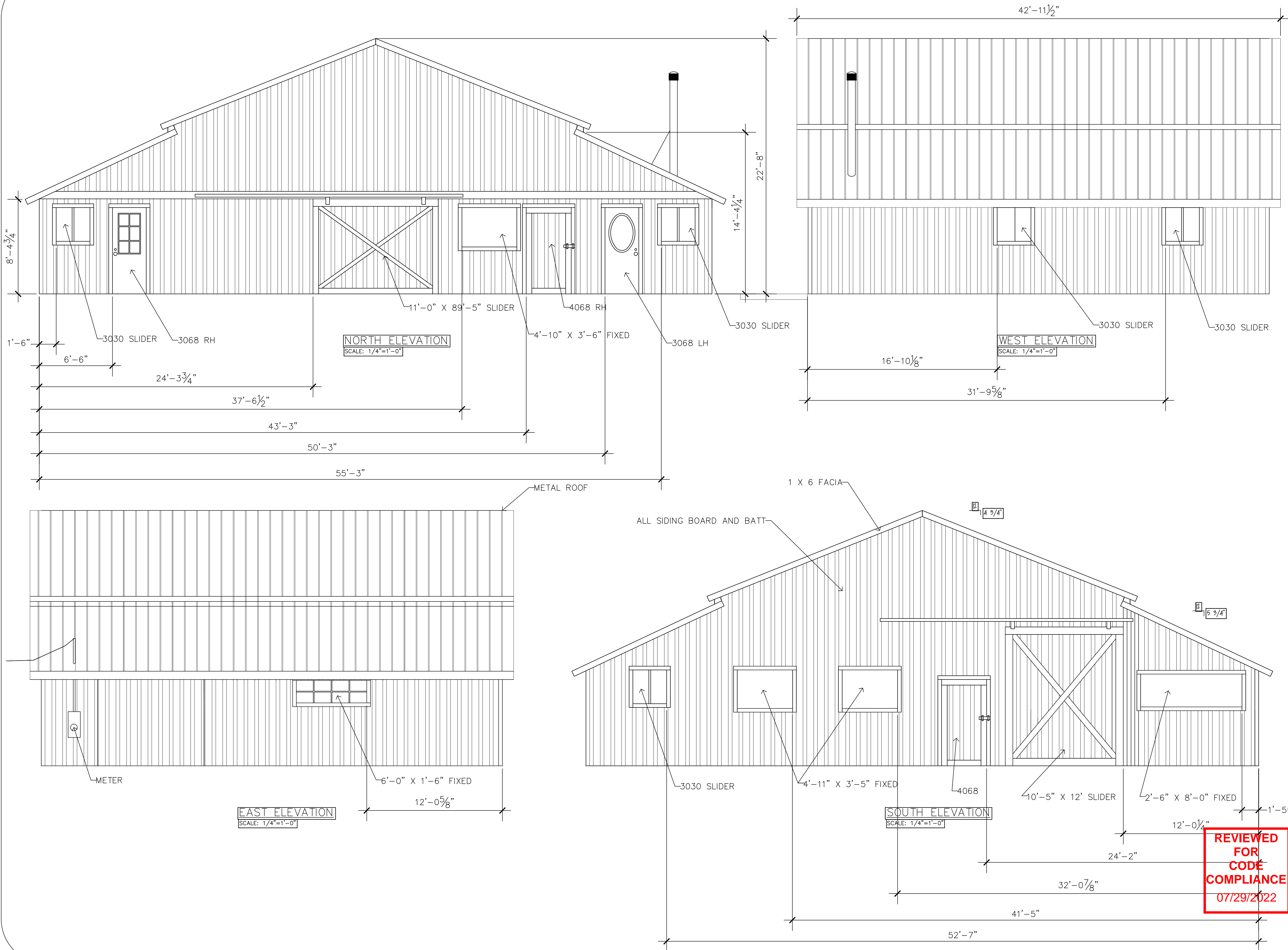
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address

Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	Sheet
Date	05/03/22	A1
Scale	1/4" = 1'-0"	

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022



General Notes

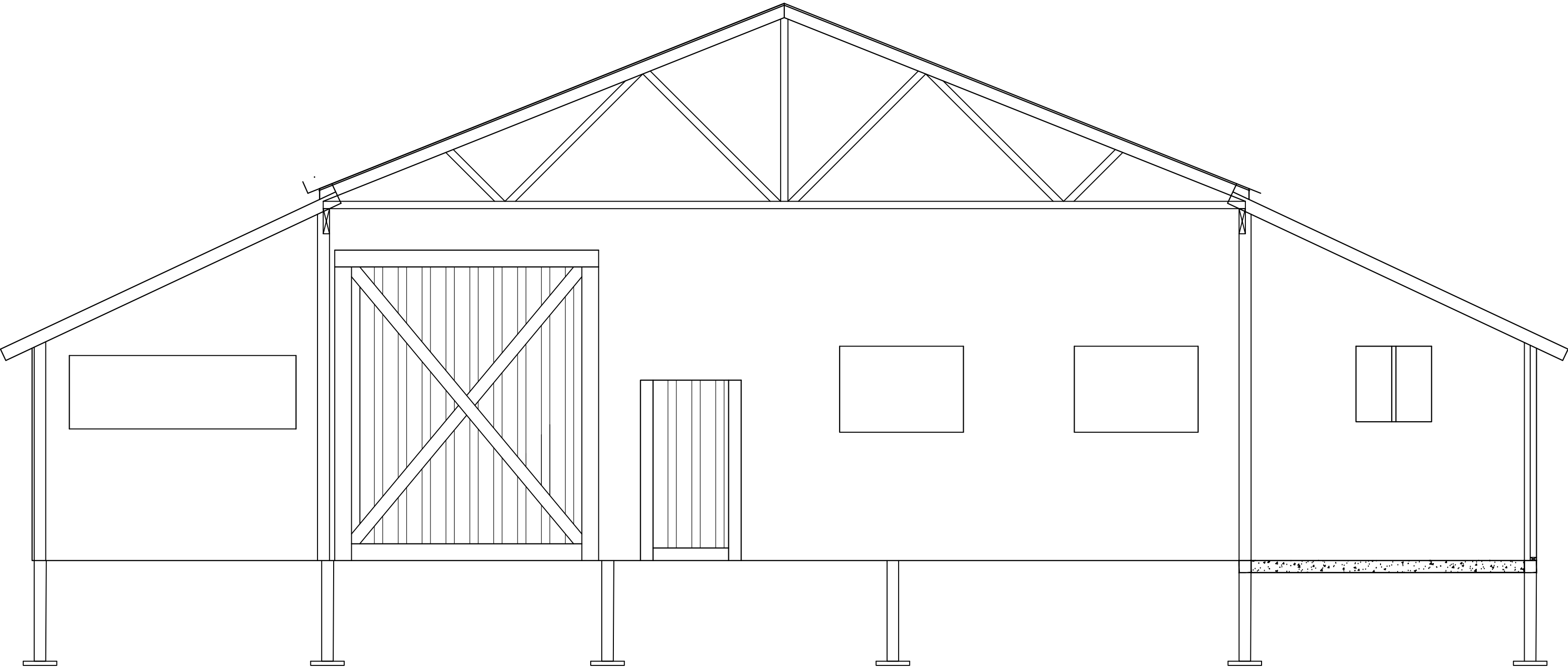
A	AS BUILT	05/03/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

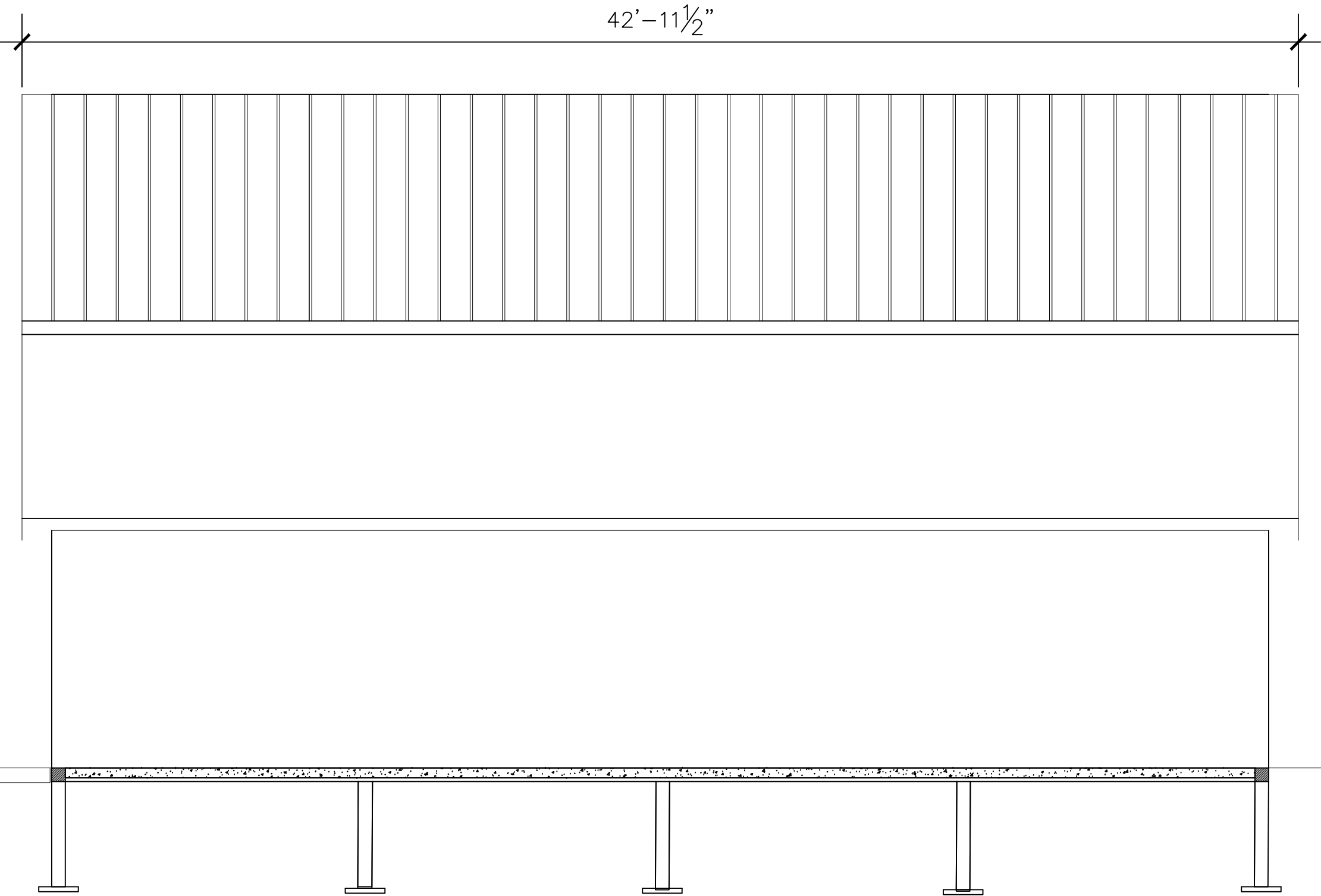
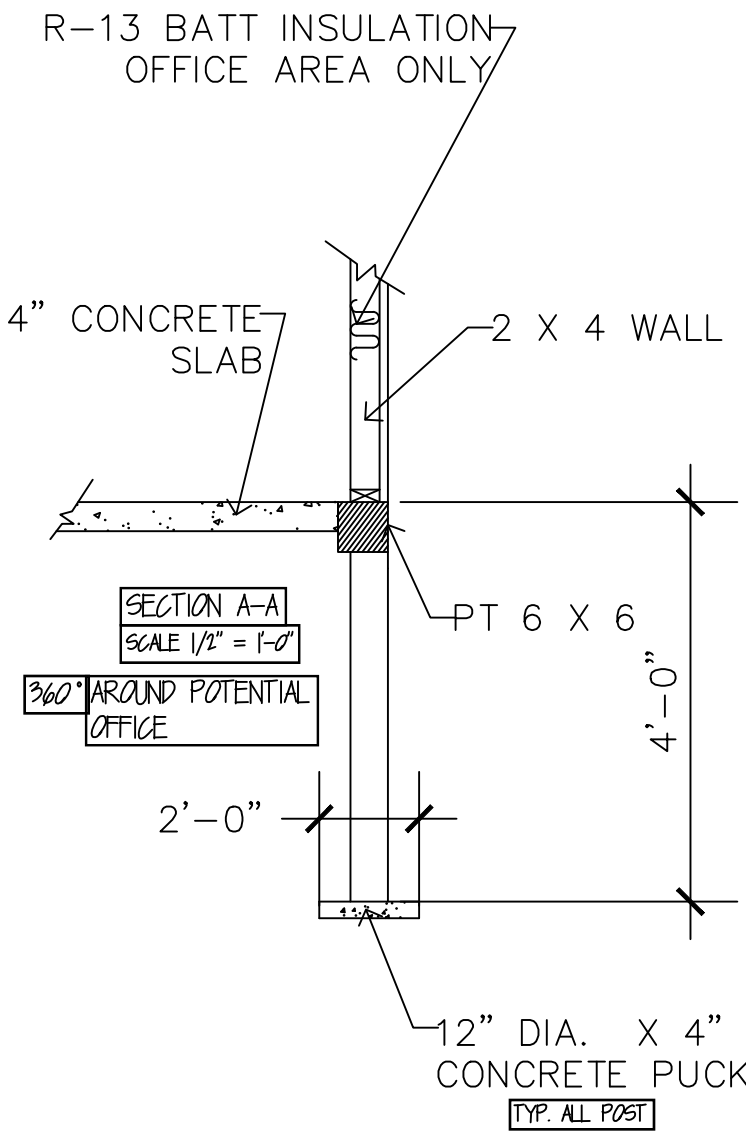
Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

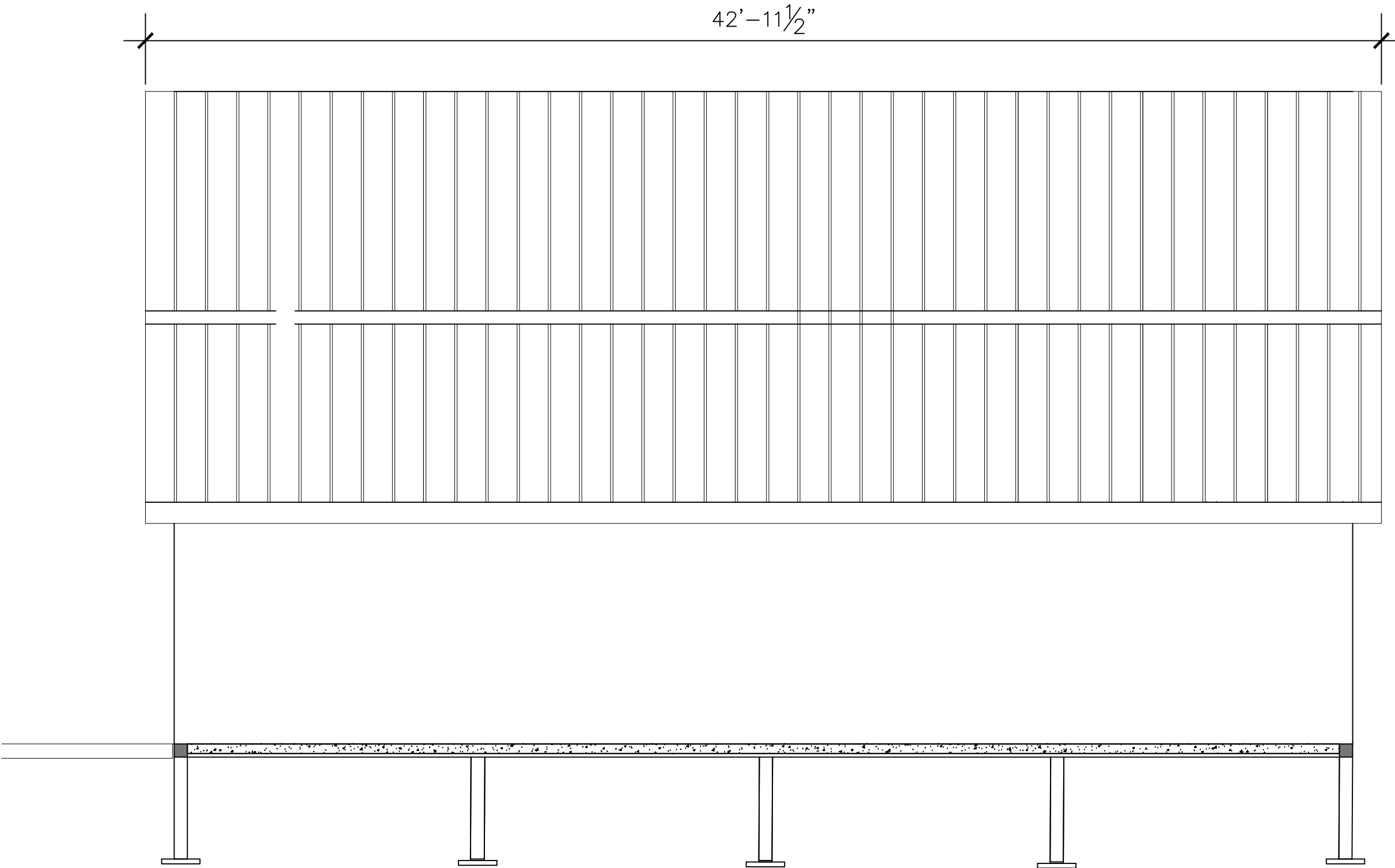
Project	25325-1	Sheet
Date	05/03/22	A2
Scale	1/4" = 1'-0"	



SECTION B-B
SCALE: 1/4"=1'-0"



SECTION C-C
SCALE: 1/4"=1'-0"



SECTION D-D
SCALE: 1/4"=1'-0"

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

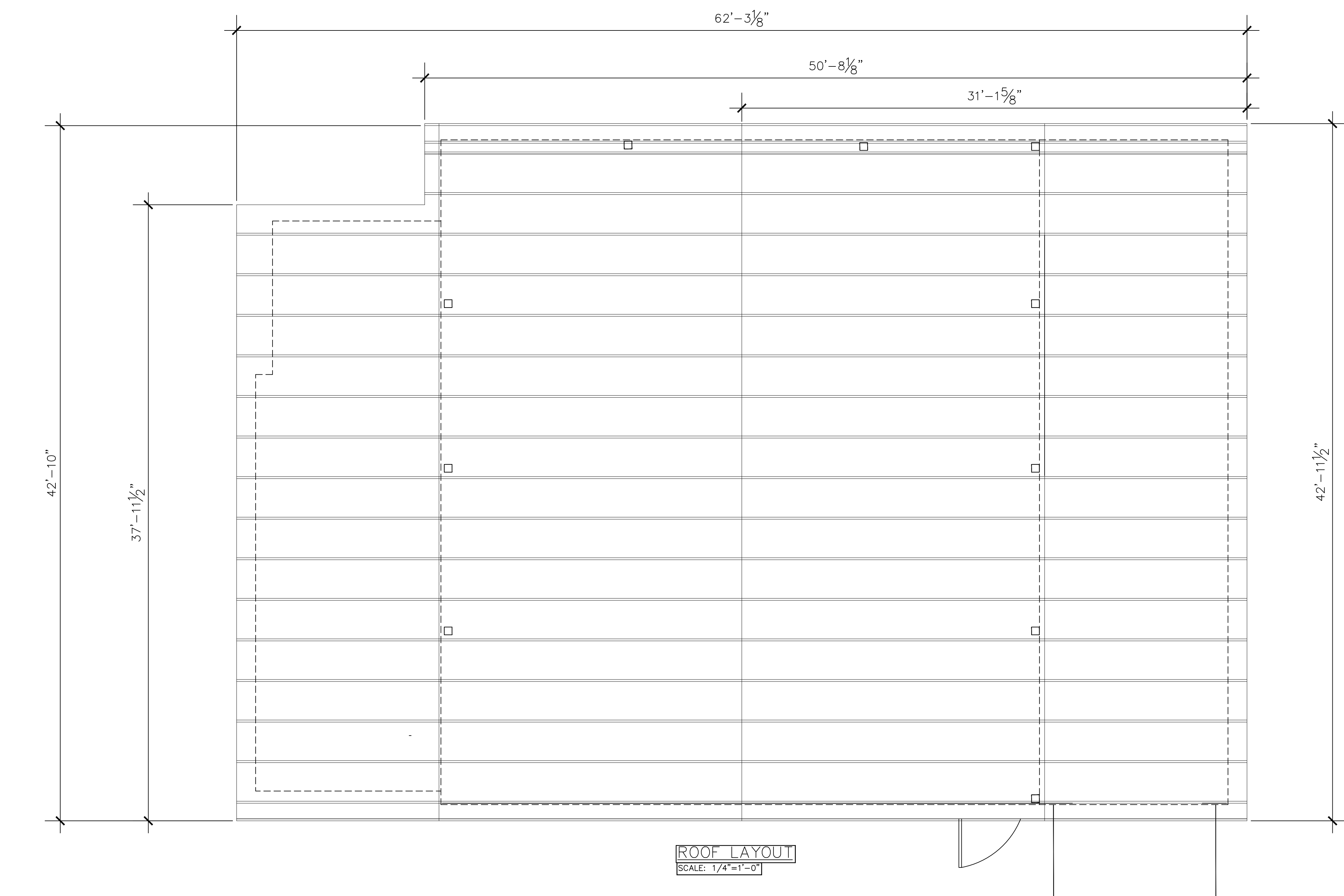
General Notes

A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

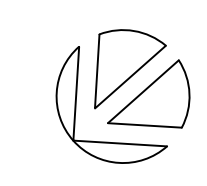
Project Name and Address
Jerry & Colette Burris
25325 Paradise Valley Ln.
Oak Creek, CO 80467
970-846-1768

Project	25325-1	Sheet	A3
Date	05/03/22		
Scale	1/4" = 1'-0"		



ROOF LAYOUT
SCALE: 1/4"=1'-0"

DRIVEWAY



REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

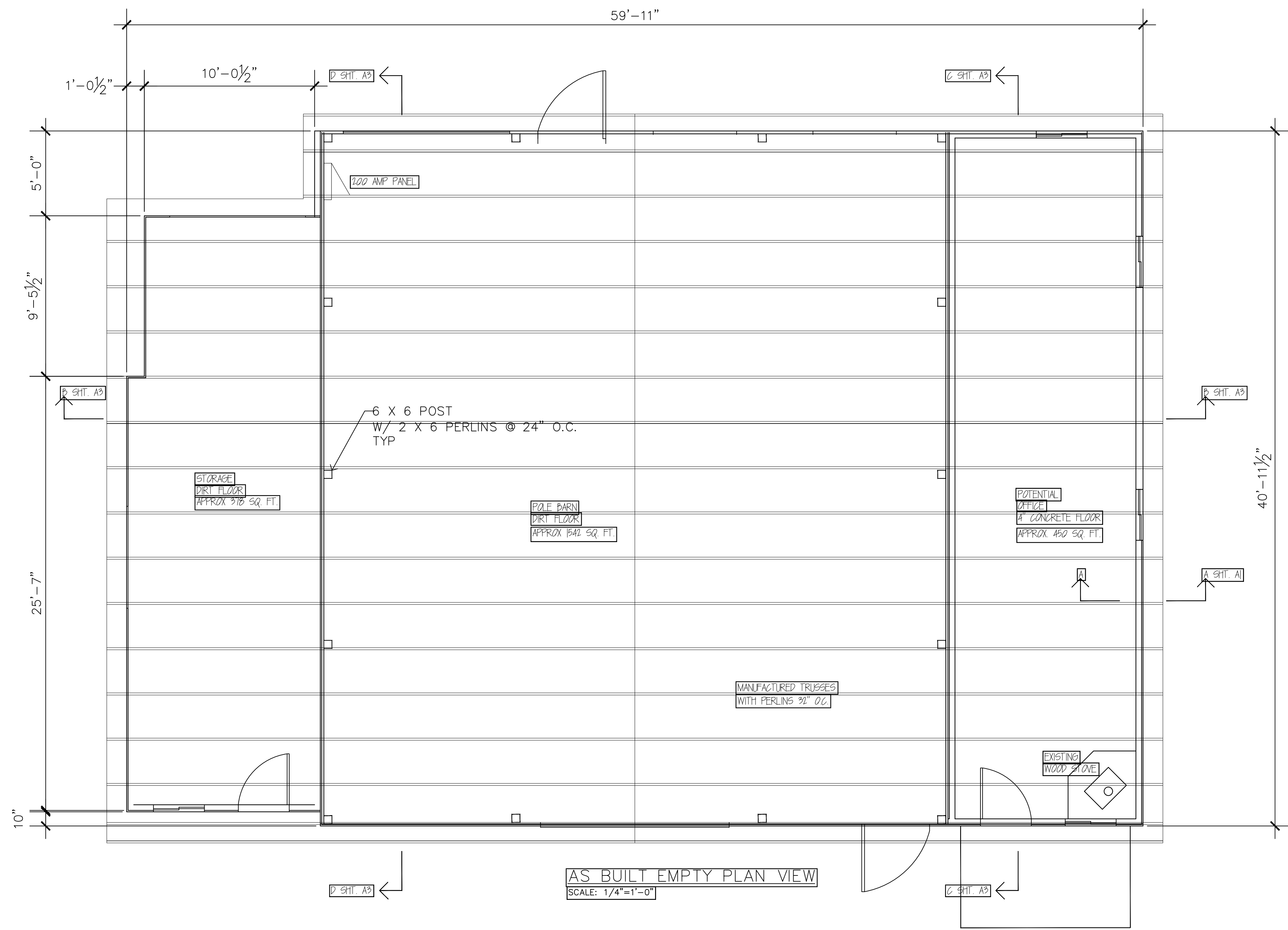
General Notes

A	AS BUILTS	05/03/22
	No.	Revision/Issue

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	A4
Date	05/03/22	
Scale	1/4" = 1'-0"	



General Notes

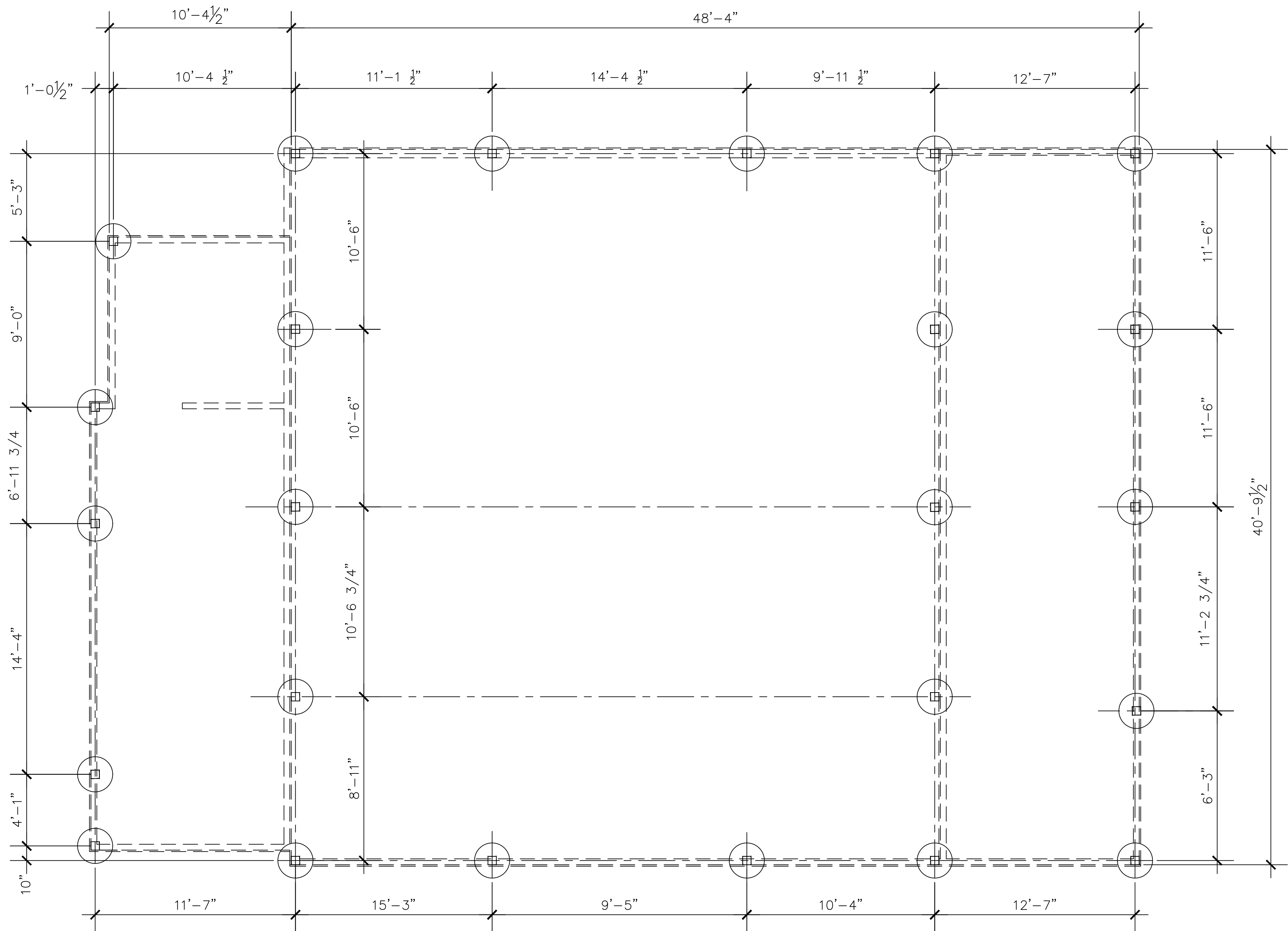
A	AS BUILTS	05/03/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	Sheet	A5
Date	05/03/22		
Scale	1/4" = 1'-0"		

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022



AS BUILT DETAILED PIER LAYOUT
SCALE: NTS

REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022

General Notes

A	AS BUILT	05/09/22
No.	Revision/Issue	Date

Firm Name and Address
Peak 7, Inc.
4611 Plattner LN.
Suite 200B
Evergreen, CO 80439
303-905-1860 Cell
303-674-4455 FAX

Project Name and Address
Jerry & Colette Burris
25325 Paradise Vally Ln.
Oak Creek, CO 80467
970-846-1766

Project	25325-1	Sheet
Date	05/09/22	A6
Scale	1/4" = 1'-0"	

Single Family Residential One Story Detached Garage

Note: For roofs with slopes less than 4:12, follow manufacturer's instructions for low slope application of roofing material.

32" spacing o.c.

Truss or 2x rafters spaced " O.C.
(example: Put checkmark in box -or- 2 x 10 Rafters Spaced 24")

Minimum 1x ~~none~~ **ridge board**
(example: 1 x 12)

Sheathing 1x6 perlin's
(example: 1/2" exterior plywood)

Roof covering metal
(example: Class A 3 tab shingles)

Underlayment 1x6 perlin's
(example: 1 layer #15 felt)

12 x 43/4" pitch

Ceiling Insulation none in barn section
(If heated - example: R-38)

2x 6 ceiling joists @ 32" O.C.
(example: 2 x 8 @ 24" O.C.)

Double 2x top plate
(example: 2 x 6)

Span 36' 6"
(example: 23' 5")

Ceiling height 12' 2"
(example: 8')

Siding horizontal & board
(example: lap or T-111)

Wall sheathing 7/16" OSB
(example: 1/2" exterior plywood)

2x 6 studs @ 16" O.C.
(example: 2 x 6 @ 24" O.C.)

Cont. 2x PT sill plate
(example: 2 x 6 decay resistant)

Wall Insulation R19 between barn & office
(If heated - example: R-20 Fiberglass Batts)

Foundation Insulation unknown
(If heated - example: R-10)

Footing size 14" x 14"
(example: 8" x 16")

Building Section

REVIEWED FOR CODE COMPLIANCE 07/29/2022

Provide tie downs
Solid 2x blocking between rafters that are 2x12 or greater

1x4" collar ties @ 48" o.c.

Span

Note: Pre-engineered roof trusses w/truss clips may be used in lieu of roof structure shown.

Diagonal wind bracing or braced wall panels @ corners and each 20' of wall.

Max. 10' wall height

Concrete Encased Ground required for new service

Check one

☐ Foundation Detail A

☐ Foundation Detail B
(see page 5)

NOTES:

① Office window headers are the beam

② End door/window headers are the trusses

This handout was developed by the Colorado Chapter of the International Code Council as a basic plan submittal under the 2018 International Residential Code. It is not intended to cover all circumstances. Check with your Department of Building Safety for additional requirements.













REVIEWED
FOR
CODE
COMPLIANCE
07/29/2022



Office Area









Single Family Residential One Story Detached Garage

Note: For roofs with slopes less than 4:12, follow manufacturer's instructions for low slope application of roofing material.

32" spacing o.c.
☒ Truss or 2x rafter spaced 32" O.C.
 (example: Put checkmark in box -or- 2 x 10 Rafters Spaced 24")

Sheathing 1x6 perlin
 (example: 1/2" exterior plywood)

Minimum 1x none ridge board
 (example: 1 x 12)

Roof covering metal
 (example: Class A 3 tab shingles)

Underlayment 1x6 perlin
 (example: 1 layer #15 felt)

REVIEWED
 FOR
 CODE
 COMPLIANCE
 07/29/2022

Building Section

Provide roof tie downs
 Solid 2x blocking between
 rafters that are 2x12 or greater

1x4" collar ties @ 48" o.c.

Span

Note: Pre-engineered roof trusses
 w/truss clips may be used in lieu of
 roof structure shown.

Diagonal wind bracing or braced wall panels
 @ corners and each 20' of wall.

Max. 10' wall height

Concrete Encased Ground
 required for new service

✓ Check one

- ☐ Foundation Detail A
☐ Foundation Detail B
 (see page 5)

12 x 43/4"
 pitch

Ceiling Insulation none in
 (If heated - example: R-38)

2x 6 ceiling joists @ 32" O.C.
 (example: 2 x 8 @ 24" O.C.)

Double 2x top plate
 (example: 2 x 6)

Span 36' 6"
 (example: 23' 5")

Ceiling height 12' 2"
 (example: 8')

Siding horizontal & board
 (example: lap or T-111)

Wall sheathing 7/16" OSB
 (example: 1/2" exterior plywood)

2x 6 studs @ 16" O.C.
 (example: 2 x 6 @ 24" O.C.)

Cont. 2x PT sill plate
 (example: 2 x 6 decay resistant)

Wall Insulation R19 between
 (If heated - example: R-20 Fiberglass Batts)

Foundation Insulation unknown
 (If heated - example: R-10)

Footing size 14" x 14"
 (example: 8" x 16")

This handout was developed by the Colorado Chapter of the International Code Council as a basic plan submittal under the 2018 International Residential Code. It is not intended to cover all circumstances. Check with your Department of Building Safety for additional requirements.

NOTES:

- ① Office window headers are the beam
 ② End door/window headers are the trusses



