

PAVILION & BELL TOWER



**SEAD**
STEAMBOAT ENGINEERING AND DESIGN, INC.

2740 ACRE LANE SUITE E, STEAMBOAT SPRINGS, CO 80487
PH: 970.871.9101
EMAIL: JAKE@SEADINC.COM

HOME RANCH

54880 Co Rd 129
Clark, CO 80428

A NEW DESIGN FOR:
PAVILION & BELL TOWER

ISSUE DATES

REVIEW SET
10.25.21

REVIEW SET
5.9.22

PERMIT SET
8.4.22

DESIGNED BY: MVS
REVIEWED BY: CWM
PROJECT #: 21112

COVER SHEET

A-0

Copyright 2022©

ARCHITECTURAL NOTES:

GENERAL
All work must comply with state and local codes, based on the Routt County Zoning Code, the 2018 International Building Code, the 2018 International Plumbing Code, the 2018 International Mechanical Code, the 2018 Energy Conservation Code and the 2018 International Electric code. The contractor shall comply with all laws, ordinances, rules and regulations of any public authority bearing on the performance of the work, including O.S.H.A.

Location of the utilities (electrical, telephone, cable TV, gas, water, sewer) shall be verified before construction begins.

All on site construction safety and construction means and methods are the responsibility of the contractor. There is no implication of the construction safety requirements or building methods contained in these drawings.

Actual site conditions may require that some of the components of the work should be done differently than shown on these drawings. All dimensions and conditions to be verified by the contractor prior to construction. Verify changes with the designer and engineer.

These drawings represent a simplified builder's set of plans. Additional detailing may be required of the engineer during construction.

Any variation which requires a physical change from these plans must be brought to the attention of the designer and engineer in order to maintain the design intent of the project.

All work connected with this project by any trade involved shall be of the highest quality attainable in accordance with the professional practice of the trade.

DIMENSIONS

All interior and exterior dimensions are to face of stud or face of concrete, U.N.O.

All exterior walls are nominal 2x6 stud construction, U.N.O. All interior walls are nominal 2x4 stud construction, U.N.O.

Do not scale drawings.

The water closet stool shall be located in a clear space of not less than 30" in width. The clear space in front of the water closet stool shall be not less than 21".

Crawl space access shall be provided w/ min. 18"x24" through the floor & min. 16"x24" through the wall.

Minimum clear ceiling height is 7'-6" for habitable space & hallways & 6'-8" for bathrooms, laundry rooms & stairs. Exceptions apply for sloped ceilings and basements per IBC 1003.2

If any discrepancies are found in these drawings notify engineer and/or designer immediately.

STAIRWAYS:
Stairs shall have a minimum 48" clear width on stairs per Routt County resolution to IBC 1011.2. The surface of stairs shall be slip resistant. Minimum vertical headroom is 6'-8" from the nosing. Maximum riser height is 7", and minimum tread depth is 11".

Landings shall be provided at the top and bottom of each stairway with a length no less than the width of the stairway served. Landings are not required at the top of interior stairs provided that a door does not swing over the stairs.

Handrails shall be provided on at least one side of each continuous stair flight with four or more risers, and shall be 42" tall, measured vertically from the sloped plane of the tread nosings. Handrails shall comply with section IBC Section 1014.

Open sides of stairways, landings, ramps, balconies and porches which are more than 30" above grade shall be protected by a guardrail. All guardrails must be 36" above finished floor and shall allow no more than a 4" diameter sphere to pass through any portion of the railing per IBC 1015.

Walls and ceilings of enclosed usable space under stairs requires 1/2" gypsum wallboard. The door to access such spaces need not be rated.

ROOF ASSEMBLIES
Unvented roof assemblies shall comply with section IBC 1202.3 and shall be completely within the thermal envelope. The roof shall dry to the inside, thus Class I vapor retarder shall NOT be installed on the ceiling. If air-impermeable insulation is used, it shall be Class II vapor retarder, min. R-49, and be applied directly to the underside of sheathing. If air-permeable insulation is used in the cavity, it shall be min. R-19 applied to underside of sheathing & shall be accompanied by min. R-30 continuous rigid board insulation above the sheathing. Alternatively, R-30 air-impermeable insulation can be applied to the underside of sheathing, w/ min. R-19 air-permeable beneath.

Provide Grace 'Ice and water shield', or equivalent product, from the edge of roof overhangs to the ridge.

Asphalt shingles shall comply with Chapter 15 & require double underlayment when applied on 2:12 to 4:12 roof pitches. Standing seam metal roofing shall have min. ::12 slope.

Attic access shall be provided if attic is more than 30" tall (measured from top of ceiling framing to underside of roof framing members for more than 30 sq. ft. Access shall have a rough-framed opening of min. 22"x30" with min. 30" clear headroom.

MECHANICAL/ENERGY SYSTEMS:
Appliances located in garages and having an ignition source shall be elevated such that the source of ignition less than 18" above the floor.

Dryer exhaust systems shall be independent of all other systems, shall transport the moisture to the outdoors and shall terminate on the outside of the building in accordance with IMC section M501 and M502.

Heating and Cooling equipment appliances shall be installed per manufacturers instructions and in accordance with the IBC Chapter 28.

Meter location must be approved by an Atmos Energy Corporation employee during a mandatory site visit to be scheduled after foundation is in place. Meters will not be allowed under a shedding roofline or where overhanging snow is a danger to the meter set.

The building or dwelling unit shall be tested and verified in accordance with the IECC.

Heating load calculations and equipment sizing shall be submitted for review and approval when applying for a mechanical permit. Do not install or inspect mechanical equipment or HVAC until submitted to RCRBD and approved.

Lighting shall be provided per IBC section 1204 and ventilation shall be provided per IBC section 1202.5

ABBREVIATIONS LIST	
ABV	ABOVE
ALT	ALTERNATE/ALTERNATING
ALUM	ALUMINUM
ARCH	ARCHITECT/ARCHITECTURAL
BO	BOTTOM OF
BOT	BOTTOM
CL	CENTER LINE
CMU	CONCRETE MASONRY UNIT
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
DBL	DOUBLE
DF	DOUGLAS FIR
DIA	DIAMETER
Ø	DIMATER
DWG	DRAWING
EA	EACH
ELEV	ELEVATION
EOR	ENGINEER OF RECORD
EW	EACH WAY
EXT	EXTERIOR
FTG	FOOTING
GL	GLUE-LAMINATED BEAM
GT	GIRDER TRUSS
HF	HEM-FIR
IBC	INTERNATIONAL BUILDING CODE
IRC	INTERNATIONAL RESIDENTIAL CODE
INT	INTERIOR
LSL	LAMINATED STRAND LUMBER
LVL	LAMINATED VENEER LUMBER
MAX	MAXIMUM
MECH	MECHANICAL
MFR	MANUFACTURER
MIN	MINIMUM
OC	ON CENTER
OSB	ORIENTED STRAND LUMBER
PERP	PERPENDICULAR
PL	PLATE
PLUM	PLUMBING
PLYWD	PLYWOOD
PSL	PARALLEL STRAND LUMBER
PT	PRESERVATIVE TREATED/POST TENSIONED
REINF	REINFORCEMENT/REINFORCING
REQ	REQUIRED
SBW	STEP BOTTOM OF WALL
SCH	SCHEDULE
SCHED	SCHEDULE
SIM	SIMILAR
SPF	SPRUCE-PINE-FIR
STRUCT	STRUCTURE/STRUCTURAL
T&B	TOP AND BOTTOM
T&G	TONGUE AND GROOVE
THRU	THROUGH
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD
w/	WITH
WD	WOOD
WRB	WEATHER RESISTIVE BARRIER
WWF	WELDED WIRE FABRIC

SHEET INDEX		
A-0	COVER SHEET	
A-0.1	ARCHITECTURAL NOTES & CODE STUDY	
A-1	FLOOR & ROOF PLANS	
A-2	NORTH & SOUTH ELEVATIONS	
A-3	EAST & WEST ELEVATIONS	
A-4	PUBLIC ADA SPECIFICATIONS & STANDARDS	

SQUARE FOOTAGE SUMMARY TABLE		
LEVEL	USE	IBC BUILDING AREA (SQ. FT.)
FLOOR LEVEL	PAVILION	1,984
	STORAGE ROOM	169
	TOTAL	2,153

DEFINITIONS: 1. IBC BUILDING AREA PER CH. 2: AREA INCLUDED WITHIN SURROUNDING EXTERIOR WALLS OR EXTERIOR WALLS AND FIRE WALLS, EXCLUSIVE OF VENT SHAFTS AND COURTS. 2. WHERE THE BUILDING DOES NOT HAVE EXTERIOR WALLS, THE AREA IS DEFINED BY THE PROJECTION OF THE ROOF ABOVE.		
--	--	--

LEGAL DESCRIPTION	
PT OF TR 87 & PT OF TR 88 27-9-85	

CODE STUDY	
Re: 2018 IBC	
ZONING	OR - (OUTDOOR RECREATION)
OCCUPANCY CLASSIFICATION	ASSEMBLY (A-3)
TYPE OF CONSTRUCTION	V-B
NON-SPRINKLERED	(SPRINKLERS NOT REQUIRED PER IBC 903.2.1.3)
ALLOWABLE NUMBER OF STORIES	1 (TBL. 504.4)
ALLOWABLE HEIGHT OF BUILDING	40 FT. (TBL. 504.3)
ALLOWABLE AREA	6,000 S.F. (TBL. 506.2)
MIN. # OF EXISTS	(2) (TBL. 1006.3.2)
MAX OCCUPANCY:	500 (TBL. 1006.3.2)
OCCUPANT LOAD:	ASSEMBLY AREAS WITHOUT FIXED SEATS CONCENTRATED 1,984 S.F. / 7 = 209 # OF OCCUPANTS
OCCUPANT LOAD:	NECESSARY STORAGE AREAS, MECHANICAL EQUIPMENT ROOM = 169 S.F. / 300 = 1 # OF OCCUPANTS
OCCUPANT LOAD:	TOTAL = 210
ACCESSIBILITY:	PAVILION SHALL BE FULLY ACCESSIBLE PER IBC 1103.1
NOTE:	REFER TO PHASED UNIT DEVELOPMENT DOCUMENT FOR PHASING PLAN, MASTER SITE PLAN (P.U.D. AREA), CONDITIONS OF APPROVAL & DETAILED LEGAL DESCRIPTION (PREPARED BY FOUR POINTS SURVEYING AND ENGINEERING).

MINIMUM PLUMBING FACILITIES - NOTE: TO BE SUPPLIED TEMP. FOR SPECIAL EVENTS

(Re: IPC CHAPTER 4)

PER IPC, TABLE 403.1 - CLASSIFICATION: ASSEMBLY (OUTDOOR ACTIVITIES)

	WATER CLOSETS		LAVATORIES		DRINKING FOUNTAIN	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE		
REQUIREMENTS	(1) PER 75 OCCUPANTS	(1) PER 40 OCCUPANTS	(1) PER 200 OCCUPANTS	(1) PER 150 OCCUPANTS	(1) PER 1000 OCC.	(1)
REQUIRED FACILITIES	$105/75 = (1.4) = 2$	$105/40 = (2.7) = 3$	$105/200 = (0.53) = 1$	$105/150 = (0.71) = 1$	$211/1000 = 2.1$ (USE 1.0)	(1)
PROVIDED FACILITIES	EXISTING LODGE BUILDING SHALL BE USED TO PROVIDE WATER CLOSETS, LAVATORIES, DRINKING FOUNTAINS & SERVICE SINKS FOR OCCUPANTS.					

- MALE OCCUPANT LOAD: $210/2 = (105)$ OCCUPANTS

- FEMALE OCCUPANT LOAD: $210/2 = (105)$ OCCUPANTS

- FAMILY /ASSISTED TOILET FACILITIES PERMITTED IF (2) ARE PROVIDED IN PLACE OF (1)

NOTE:

REQUIRED NUMBER AND TYPE OF RESTROOMS SHALL BE SUPPLIED TEMPORARLY FOR SPECIAL EVENTS PER CODE STUDY.



SEAD

STEAMBOAT ENGINEERING AND DESIGN, INC.

2740 ACRE LANE SUITE E, STEAMBOAT SPRINGS, CO 80487
PH: 970.871.9101
EMAIL: JAKE@SEADINC.COM

HOME RANCH

54890 Co Rd 129
Clark, CO 80428

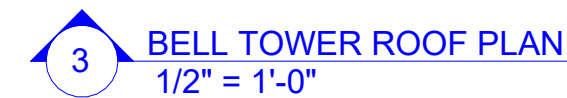
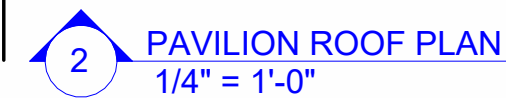
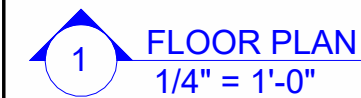
A NEW DESIGN FOR:
PAVILION & BELL TOWER

ISSUE DATES	
REVIEW SET	10. 25. 21
REVIEW SET	5. 9. 22
PERMIT SET	8. 4. 22

DESIGNED BY: MVS
REVIEWED BY: CWM
PROJECT #: 21112

ARCHITECTURAL
NOTES AND CODE
STUDY

A-0.1



—●—
A NEW DESIGN FOR:
PAVILION & BELL TOWER

REVIEW SET
10. 25. 21

REVIEW SET
5. 9. 22

PERMIT SET
8. 4. 22

FLOOR & RC
PLANS

Copyright 2022©

T.O. RIDGE
124' - 9 5/8"

T.O. BM.
115' - 0"

T.O. PIER
103' - 0"

T.O. SLAB
100' - 0"

REVIEWED
FOR
CODE
COMPLIANCE
09/16/2022

TO RIDGE
138' - 8 1/8"

T.O. BM.
132' - 0"

T.O. WALL
126' - 0"

± 39' - 3 7/16"
OVERALL HEIGHT

8:12

T.O. RIDGE
138' - 8 1/8"

TYPICAL ROOF - METAL ROOFING
OVER 100% HIGH TEMP ICE & WATER
SHIELD OVER 5/8" APA RATED EXP. 1
40/20 SHEATHING OVER 2X12 RAFTERS

T.O. BM.
132' - 0"

TIMBER FRAMED BELL TOWER
ROOF Re: STRUCTURALS

T.O. WALL
126' - 0"

CONTRACTOR TO PROVIDE DRAIN
PIPE & SCUPPERS THROUGH CMU
WALL TO ALLOW WATER RUNOFF
IBC 1502.3

STONE VENEER APPLIED ON
EXTERIOR OF BELL TOWER
PER IRC R703.8

TYPICAL - 4'-0" WIDE X 5"
THICK CONC. WALKWAY
Re: STRUCTURALS

NOTE:
SNOW GUARDS STRONGLY
RECOMMENDED TO PREVENT
SNOW SHED OVER WALKWAYS

TYPICAL ROOF - METAL ROOFING
OVER 100% HIGH TEMP ICE & WATER
SHIELD OVER 5/8" APA RATED EXP. 1
40/20 SHEATHING OVER 2X12 RAFTERS

T.O. RIDGE
124' - 9 5/8"

TIMBER TRUSSES
Re: STRUCTURALS

TYPICAL - 10X10 TIMBER COLUMNS
Re: STRUCTURALS

TYPICAL - CONCRETE FOUNDATION
Re: STRUCTURALS

CONCRETE SLAB-ON-
GRADE PER STRUCTURALS

T.O. BM.
115' - 0"

T.O. PIER
103' - 0"

T.O. SLAB
100' - 0"



2740 ACRE LANE SUITE E, STEAMBOAT SPRINGS, CO 80487
PH: 970.871.9101
EMAIL: JAKE@SEADINC.COM

HOME RANCH

54880 Co Rd 129
Clark, CO 80428

A NEW DESIGN FOR:
PAVILION & BELL TOWER

ISSUE DATES

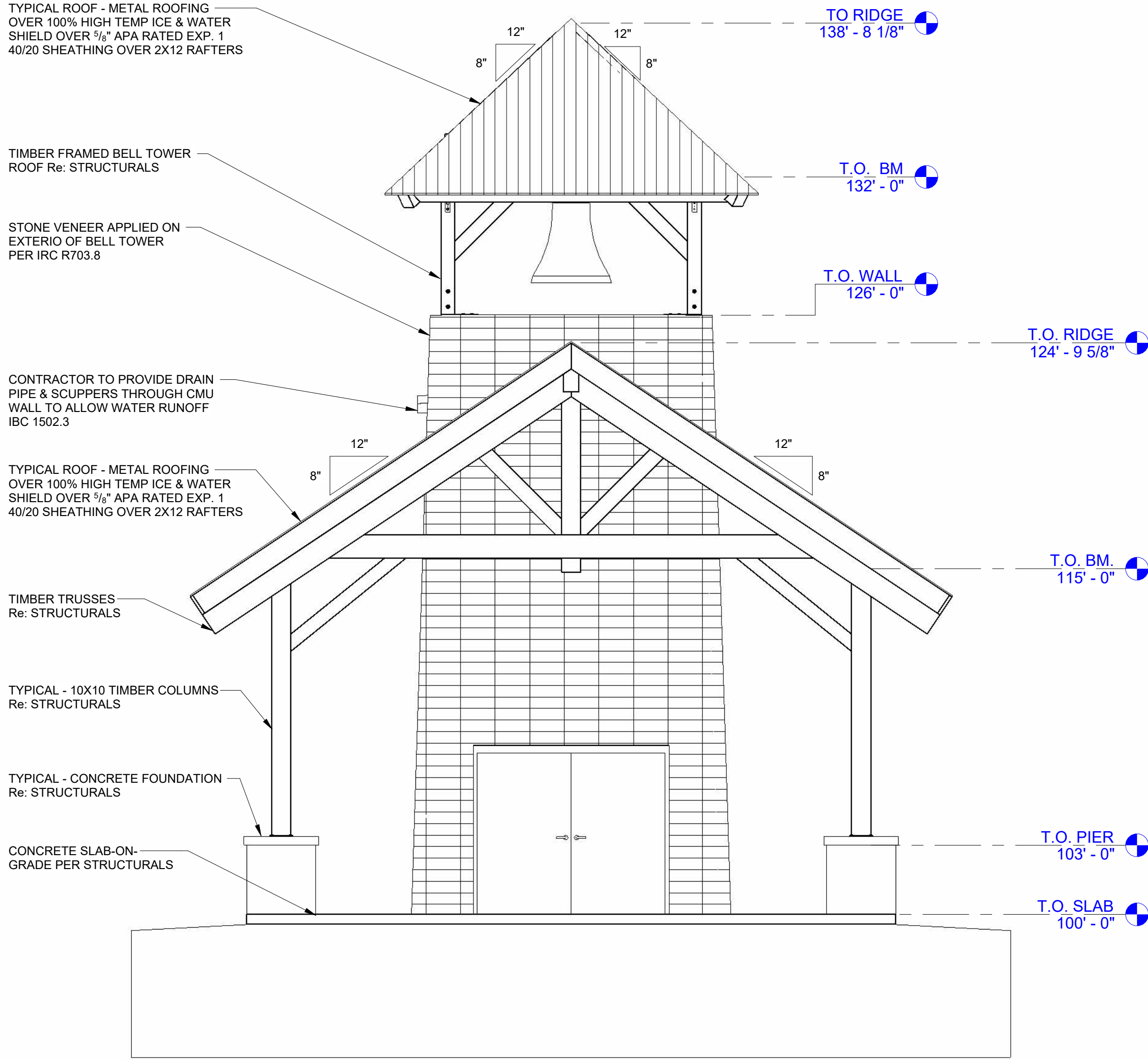
REVIEW SET
10.25.21
REVIEW SET
5.9.22
PERMIT SET
8.4.22

DESIGNED BY: MVS
REVIEWED BY: CWM
PROJECT #: 21112

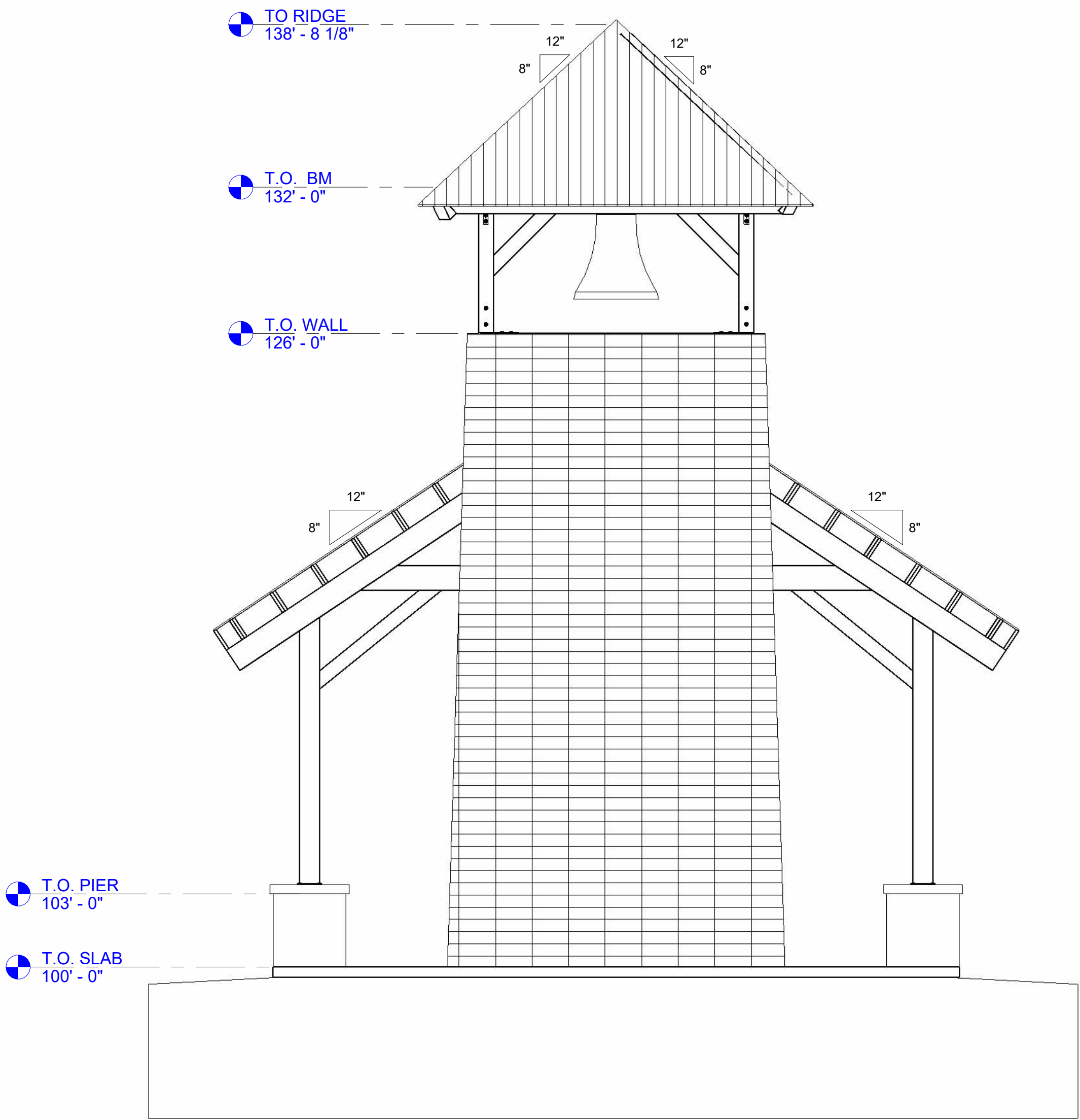
NORTH & SOUTH
ELEVATIONS

A-2

2 WEST ELEVATION
1/4" = 1'-0"



1 EAST ELEVATION
1/4" = 1'-0"



REVIEWED
FOR
CODE
COMPLIANCE
09/16/2022



HOME RANCH
54880 Co Rd 129
Clark, CO 80428
A NEW DESIGN FOR:
PAVILION & BELL TOWER

ISSUE DATES	
REVIEW SET	10.25.21
REVIEW SET	5.9.22
PERMIT SET	8.4.22

DESIGNED BY: MVS
REVIEWED BY: CWM
PROJECT #: 21112

EAST & WEST
ELEVATIONS

A-3