

SITE PLAN
A TRACT OF LAND
LOCATED IN THE NW ¼ OF SECTION 31, TOWNSHIP 5 NORTH,
RANGE 84 WEST OF THE 6TH P.M., ROUTT COUNTY,
COLORADO

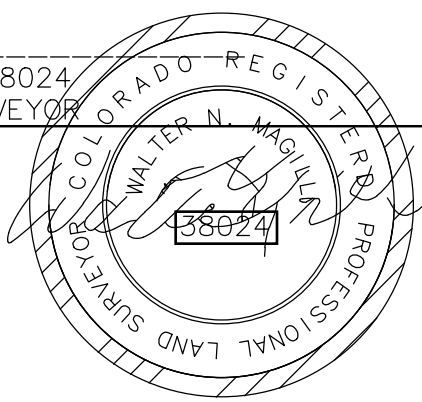
440 S. Lincoln Ave, Suite 4A
P.O. Box 775966
Steamboat Springs, CO 80487
(970)-871-6772
www.fourpointse.com

- NOTES:
- SITE PLAN OF A TRACT OF LAND LOCATED IN THE NW ¼ OF SECTION 31, TOWNSHIP 5 NORTH, RANGE 84 LESS RIGHT DEDICATED IN RECEPTION NO. 699688 COUNTY OF ROUTT, STATE OF COLORADO.
 - FIELD SURVEYING COMPLETED DECEMBER 21, 2022. AT THE TIME OF SURVEY 2.0± OF SNOW COVERED THE GROUND AND SOME IMPROVEMENTS MAY HAVE BEEN OBSERVED.
 - THIS CERTIFICATE DOES NOT CONSTITUTE A TITLE SEARCH BY FOUR POINTS SURVEYING AND ENGINEERING, INC. TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY, OR TITLE OF RECORD, FOUR POINTS SURVEYING AND ENGINEERING, INC. RELIED UPON THE DEED FOR THE PROPERTY RECORDED AT RECEPTION NO. 836135. NO ADDITIONAL TITLE RESEARCH WAS COMPLETED BY FOUR POINTS SURVEYING AND ENGINEERING.
 - LEGAL DESCRIPTION PROVIDED BY ROUTT COUNTY ASSESSOR.
 - LOCATES FOR UTILITIES WERE NOT REQUESTED OR OBTAINED BY FOUR POINTS SURVEYING AND ENGINEERING, INC. IN CONJUNCTION WITH THIS SURVEY. UTILITY LOCATES SHOULD BE OBTAINED PRIOR TO PERFORMING ANY WORK IN THE REFERENCED AREA.
 - STREET ADDRESS: 298060 COUNTY ROAD #14, STEAMBOAT SPRINGS.
 - PROPERTY CORNERS FOUND AND MARKED AS SHOWN HEREON.

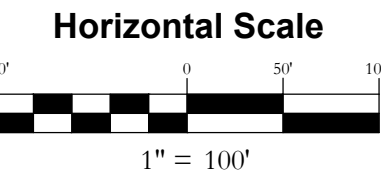
HEREBY CERTIFY THAT THIS IMPROVEMENT LOCATION CERTIFICATE WAS PREPARED FOR JDG CONSTRUCTION AND CZDZ35, LLC AND THAT IT IS NOT A LAND SURVEY PLAT, AND THAT IT IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING, OR OTHER FUTURE IMPROVEMENT LINES. THIS CERTIFICATE IS VALID ONLY FOR USE BY JDG CONSTRUCTION AND CZDZ35 LLC AND DESCRIBES THE PARCELS APPEARANCE ON DECEMBER 21, 2022.

I FURTHER CERTIFY THAT THE IMPROVEMENTS ON THE ABOVE DESCRIBED PARCEL ON THIS DATE, DECEMBER 21, 2022 EXCEPT UTILITY CONNECTIONS, ARE ENTIRELY WITHIN THE BOUNDARIES OF THE PARCEL, EXCEPT AS SHOWN, THAT THERE ARE NO ENCROACHMENTS UPON THE DESCRIBED PREMISES BY IMPROVEMENTS ON ANY ADJOINING PREMISES, EXCEPT AS INDICATED, AND THAT THERE IS NO APPARENT EVIDENCE OR SIGN OF ANY EASEMENT CROSSING OR BURDENING ANY PART OF SAID PARCEL, EXCEPT AS NOTED HEREON.

WALTER N. MAGILL, PLS 38024
PROFESSIONAL LAND SURVEYOR



Lot 1 and North 1.1' of Lot 2
Section 31, T5N, R84W
29860 County Road #14
Steamboat Springs, CO



1" = 100'

Contour Interval = 2 ft

DATE: 12-19-2022

JOB #: 2191-002

DRAWN BY: WNM

DESIGN BY:

REVIEW BY:

IF THIS DRAWING IS PRESENTED IN A
FORMAT OTHER THAN 24" X 36", THE
GRAPHIC SCALE SHOULD BE UTILIZED.

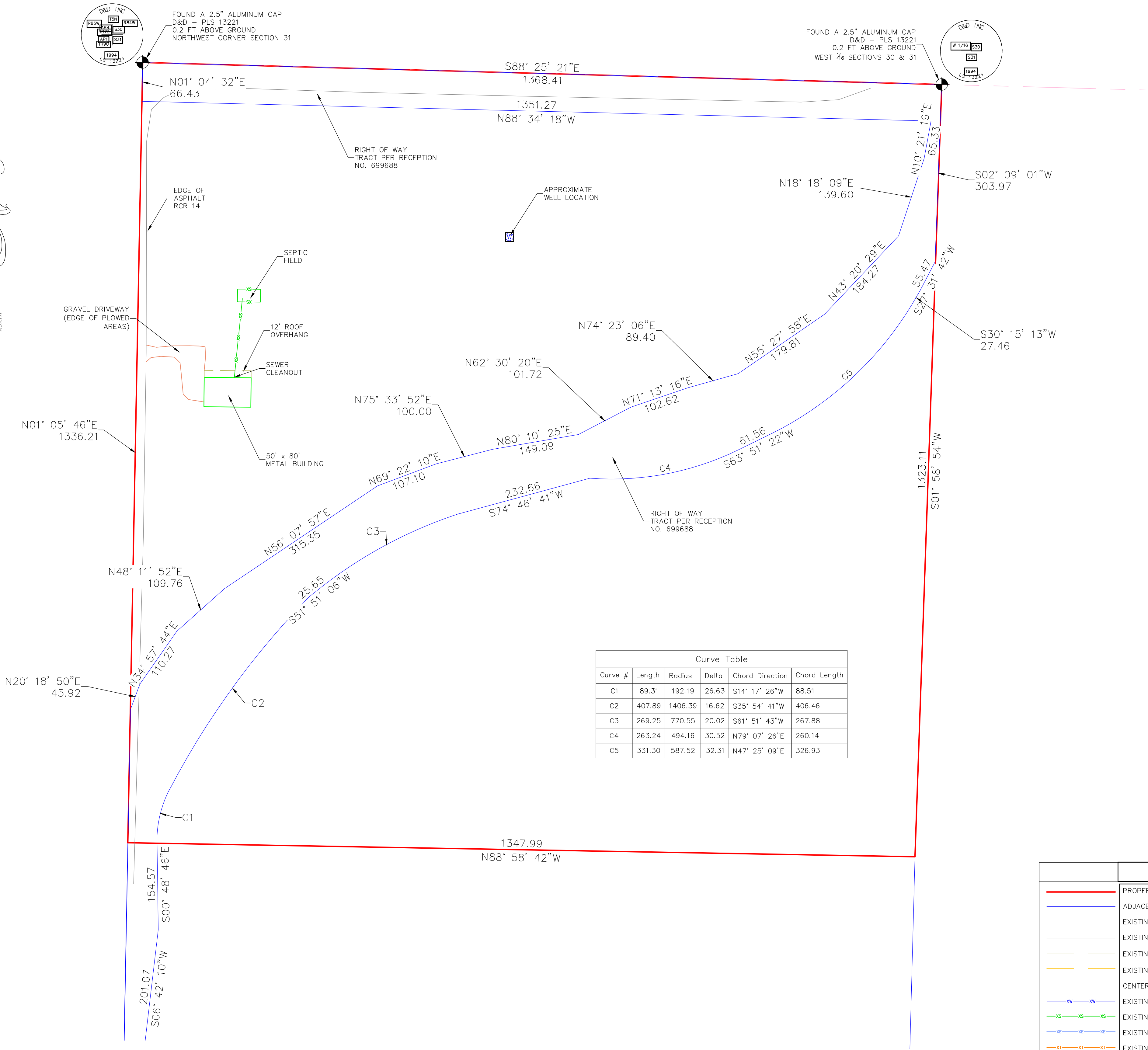
DRAWING:

SHEET #

1

SITE PLAN

REVIEWED
FOR
CODE
COMPLIANCE
04/27/2023



Curve Table					
Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	89.31	192.19	26.63	S14° 17' 26"W	88.51
C2	407.89	1406.39	16.62	S35° 54' 41"W	406.46
C3	269.25	770.55	20.02	S61° 51' 43"W	267.88
C4	263.24	494.16	30.52	N79° 07' 26"E	260.14
C5	331.30	587.52	32.31	N47° 25' 09"E	326.93

LEGEND	
	PROPERTY BOUNDARY
	ADJACENT PROPERTY BOUNDARY
	EXISTING EASEMENT
	EXISTING EDGE OF ASPHALT
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	CENTER LINE OF DITCH
	EXISTING WATER LINE
	EXISTING SEWER LINE
	EXISTING UNDERGROUND ELECTRICAL
	EXISTING UNDERGROUND TELEPHONE
	EXISTING WOOD FENCE
	EXISTING CONCRETE PAVING
	EXISTING BUILDINGS