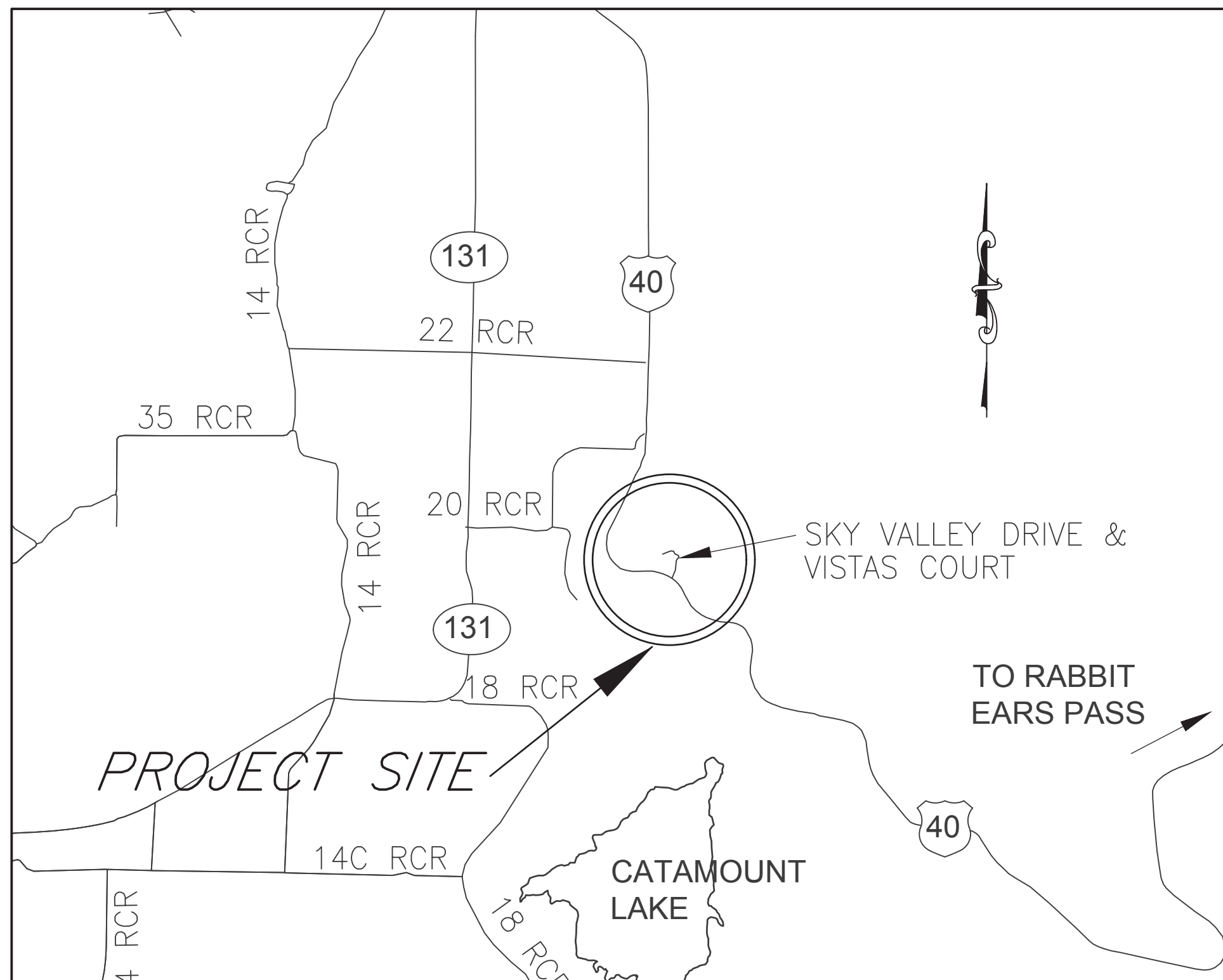


# LOT 1 TIMBERS VILLAGE CIVIL PLANS for BUILDING PERMIT

ADDRESS: 31460 VISTAS COURT

March 2023



VICINITY MAP

Not to Scale

## DRAWING INDEX

C-001	GENERAL NOTES & LEGENDS
C-101	SITE PLAN, GRADING & DRAINAGE, & UTILITIES
C-102	CONSTRUCTION DETAILS
C-103	CONSTRUCTION SITE MANAGEMENT PLAN

THIS IS THE CIVIL DRAWING SET FOR THIS PROJECT. CIVIL SPECIFICATIONS HAVE ALSO BEEN ISSUED AND MUST BE USED IN CONJUNCTION WITH THESE DRAWINGS FOR CONSTRUCTION. SEE SEPARATE PACKAGE FOR ARCHITECTURAL, MECHANICAL, ELECTRICAL AND LANDSCAPE.

GEOTECHNICAL ENGINEER:  
Northwest Colorado Consultants, Inc.  
2580 Copper Ridge Drive  
Steamboat Springs, CO 80487  
(970) 879-7888

ARCHITECT:  
Sally Kavanagh  
729 Oak St.  
Steamboat Springs, CO

OWNER:  
REH1, LLC  
1946 Corvid Way  
Fort Collins, CO 80521  
(912) 660-8925

SURVEYOR:  
Four Points Surveying and Engineering  
440 S. Lincoln Ave  
Steamboat Springs, CO 80487  
(970) 871-6772

## GENERAL NOTES

- ROUTT COUNTY PLAN REVIEW AND APPROVAL IS ONLY FOR GENERAL CONFORMANCE WITH CITY DESIGN CRITERIA AND THE COUNTY DESIGN CODE. THE COUNTY IS NOT RESPONSIBLE FOR THE COMPLETENESS, ACCURACY AND ADEQUACY OF THE DRAWINGS. DESIGN, DIMENSIONS, AND ELEVATIONS SHALL BE CONFIRMED AND CORRELATED AT THE JOB SITE.
- ONE COPY OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS SHALL BE KEPT ON THE JOB SITE AT ALL TIMES. PRIOR TO THE START OF CONSTRUCTION, CONTRACTOR TO VERIFY WITH PROJECT ENGINEER THE LATEST REVISION DATE OF THE APPROVED CONSTRUCTION PLANS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES. CALL THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) AT 1-800-922-1987 AND ANY NECESSARY PRIVATE UTILITY TO PERFORM LOCATES PRIOR TO CONDUCTING ANY SITE WORK.
- ALL PUBLIC INFRASTRUCTURE CONSTRUCTION AND RELATED WORK SHALL CONFORM TO ROUTT COUNTY STANDARDS.
- ALL WATER AND SANITARY SEWER CONSTRUCTION AND RELATED WORK SHALL CONFORM TO THE TIMBERS WATER AND SANITATION DISTRICT STANDARD SPECIFICATIONS FOR WATER AND WASTEWATER UTILITIES, CURRENT EDITION. HDPE PIPE IS ACCEPTABLE FOR WATER SERVICES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO PERFORM THE WORK SUCH AS RIGHT-OF-WAY PERMIT, GRADING AND EXCAVATION PERMIT, CONSTRUCTION DEWATERING PERMIT, STORM WATER QUALITY PERMIT, ARMY CORP OF ENGINEER PERMIT, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN A COPY OF ALL APPLICABLE CODES, LICENSES, SPECIFICATIONS, AND STANDARDS NECESSARY TO PERFORM THE WORK, AND BE FAMILIAR WITH THEIR CONTENTS PRIOR TO COMMENCING ANY WORK.
- PRIOR TO ANY WORK IN THE ROUTT COUNTY RIGHT-OF-WAY, INCLUDING STREET CUTS, CONTACT THE ROUTT COUNTY ROAD & BRIDGE DEPARTMENT AT 970-870-5552 FOR PERMIT REQUIREMENTS. NO WORK SHALL OCCUR IN THE ROW BETWEEN NOVEMBER 1 - MAY 1 UNLESS A WRITTEN VARIANCE HAS BEEN APPROVED AND ISSUED BY ROUTT COUNTY.
- PRIOR TO CLOSURE OF ANY STREET OR PART OF STREET, AN APPROVED WORK IN THE RIGHT OF WAY PERMIT MUST BE ISSUED BY ROUTT COUNTY.
- PRIOR TO START OF CONSTRUCTION CONTRACTOR SHALL COORDINATE WITH PROJECT ENGINEER TO IDENTIFY PROJECT INSPECTION AND TESTING REQUIREMENTS. CONTRACTOR SHALL PROVIDE FOR INSPECTIONS AND TESTING AT AN ADEQUATE FREQUENCY FOR THE PROJECT ENGINEER TO DOCUMENT THAT PROJECT IS CONSTRUCTED IN CONFORMANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR ALL NECESSARY TRAFFIC CONTROL. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), LATEST EDITION.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TRAFFIC CONTROL (SIGNS, BARRICADES, FLAGMEN, LIGHTS, ETC) IN ACCORDANCE WITH THE MUTCD, CURRENT EDITION.
- CONTRACTOR MUST SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN (CSMP) FOR REVIEW AND APPROVAL BY ROUTT COUNTY PRIOR TO START OF CONSTRUCTION. THE CSMP MUST BE MAINTAINED ON-SITE AND UPDATED AS NEEDED TO REFLECT CURRENT CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO ADJACENT PROPERTIES, INCLUDING BUT NOT LIMITED TO DRIVEWAYS, DRIVEWAY CULVERTS, ROADWAY DITCHES, AND LANDSCAPING.

## EARTHWORK, GRADING AND DRAINAGE

- GRADING SHALL OCCUR WITHIN THE PROPERTY LIMITS. WHERE OFF-SITE WORK IS APPROVED, WRITTEN PERMISSION OF THE ADJACENT PROPERTY OWNER MUST BE OBTAINED PRIOR TO ANY OFF-SITE GRADING OR CONSTRUCTION.
- VEGETATED SLOPES GREATER THAN 2:1 REQUIRE SOIL STABILIZATION.
- REFER TO THE SUBSOIL AND FOUNDATION GEOTECHNICAL REPORT PREPARED BY NWCC, DATED NOVEMBER 19, 2022, FOR ADDITIONAL SITE GRADING, DRAINAGE AND EXCAVATION RECOMMENDATIONS AND SPECIFICATIONS.

## EROSION CONTROL

- CONTRACTOR SHALL SUBMIT A CONSTRUCTION SITE MANAGEMENT PLAN TO ROUTT COUNTY FOR APPROVAL PRIOR TO BUILDING PERMIT ISSUANCE.
- CONTRACTOR SHALL WORK IN A MANNER THAT MINIMIZES THE POTENTIAL FOR EROSION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING, INSPECTING, AND MAINTAINING ALL NECESSARY EROSION AND SEDIMENT CONTROL DURING CONSTRUCTION AND REMOVING EROSION CONTROL WHEN PROJECT IS COMPLETE AND VEGETATION IS ESTABLISHED.
- ANY AREA DISTURBED BY CONSTRUCTION AND NOT PAVED OR NATURAL ROCK SURFACE SHALL BE REVEGETATED WITHIN ONE CONSTRUCTION SEASON.

## CUT/FILL QUANTITY TABLE:

CUT: 850 CU. YDS  
FILL: 525 CU. YDS  
NET 325 CU. YDS (CUT)

\*AREA OF DISTURBANCE: 10,000 SQ. FT. (0.25 ACRES)  
\*CUT VOLUME INCLUDES TOPSOIL STRIPPING.  
\*SEE GEOTECHNICAL REPORT BY NWCC FOR DETAILED SOILS INFORMATION.  
\*FILL VOLUME INCLUDES IMPORT GRAVELS.

## SQUARE FOOTAGE CALCULATIONS

HOUSE ONLY:			
-FOOTPRINT:	1,358 SF	1,400 SF	MAX ALLOWABLE PER HOA
-GROSS FLOOR AREA (ABOVE GROUND):	1,798 SF	1,800 SF	MAX ALLOWABLE PER HOA
-TOTAL FLOOR AREA INCLUDING UNDERGROUND:		3,156 SF	
UNDERGROUND: (STAIR INCLUDED)		1,358 SF	
MAIN LEVEL: (STAIR NIC)		1,311 SF	
UPPER LEVEL: (STAIR NIC)		487 SF	
HOUSE AND GARAGE ADDED TOGETHER:			
-FOOTPRINT:		2,090 SF	
-GROSS FLOOR AREA (ABOVE GROUND):		1,798 SF	
-TOTAL: (INCLUDING UNDER GROUND)		3,888 SF	
UNDERGROUND: (STAIR INCLUDED)		1,358 SF	
MAIN LEVEL: (STAIR NIC)		1,311 SF	
UPPER LEVEL: (STAIR NIC)		487 SF	
GARAGE:		732 SF	

## LEGEND

EXISTING	PROPOSED	
		WATER MAIN (SIZE & TYPE AS NOTED)
		AIR RELEASE VALVE IN MANHOLE
		WATER SERVICE W/CURB STOP
		FIRE HYDRANT & GATE VALVE
		BLOWOFF HYDRANT
		SEWER MAIN & MANHOLE
		SEWER SERVICE W/ CLEANOUT
		OVERHEAD ELECTRIC LINE
		ELECTRIC LINE
		FIBER OPTICS LINE
		TELEPHONE LINE
		GAS LINE
		CABLE TV LINE/COMMUNICATIONS
		ELEC, TEL, TV PED GROUPING
		ELEC TRANSFORMER OR SWITCH GEAR
		ELEC CUBICLE
		TEL PED
		CATV PED
		POWER POLE
		LIGHT POLE
		GUY WIRE
		PUBLIC LANDS SURVEY LINE
		PROPERTY/ R.O.W. LINE
		EASEMENT LINE
		B'LDG. ENVELOPE/SETBACK LINE
		ADJACENT PROPERTY OWNER
		CONTOUR
		SPOT ELEVATION
		TOP OF WALL ELEVATION
		BOTTOM OF WALL ELEVATION
		FINISH FLOOR ELEVATION
		GEO-CELL STABILIZED SLOPE
		TREE/VEGETATION LINE
		FENCE
		GRAVEL DRIVEWAY
		SITE GRADING SLOPE
		GROUND SLOPE (PERCENTAGE)
		STORM DRAIN (SIZE & TYPE NOTED)
		CULVERT; FLARED END SECT./HEADW'L.
		FRENCH DRAIN
		DRAINAGE SWALE/ IRRIG. DITCH
		STORM DRAIN CATCH BASIN/INLET
		STORM DRAIN CLEANOUT/MANHOLE
		RIPRAP
		BOULDER WALL
		STRAW WATTLE SEDIMENT CONTROL LOG
		SILT FENCE
		SIGNS
		BENCH MARK (PROPERTY CORNER)
		GEOTECHNICAL INVESTIGATION TEST PIT
		EDGE OF GRAVEL ROAD/DRIVE SHOULDER
		BUILDING FOOTPRINT
		CONCRETE FEATURES



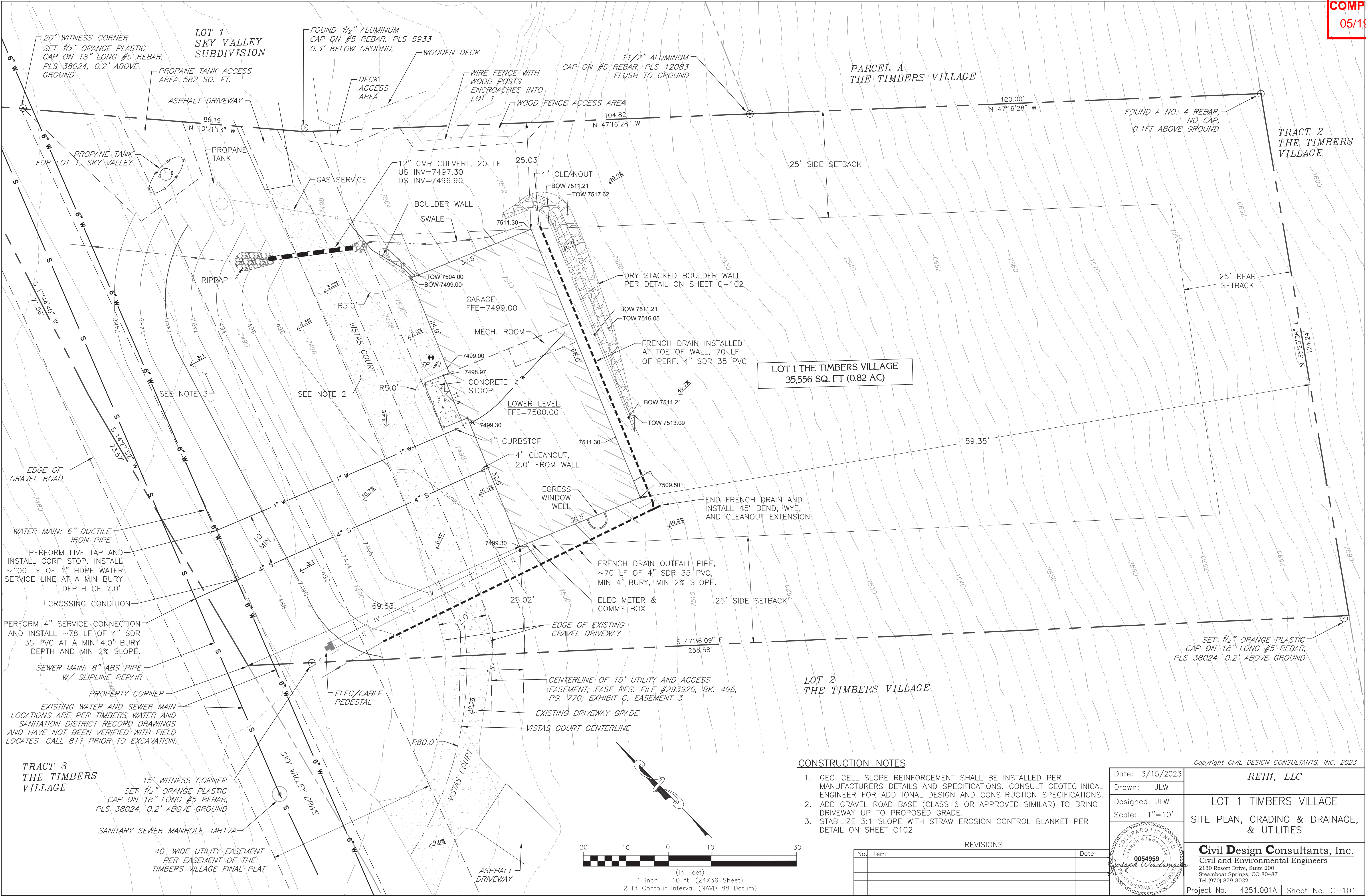
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**Civil Design Consultants, Inc.**  
Civil and Environmental Engineers  
2130 Resort Drive, Suite 200  
Steamboat Springs, CO 80487  
Tel (970) 879-3022

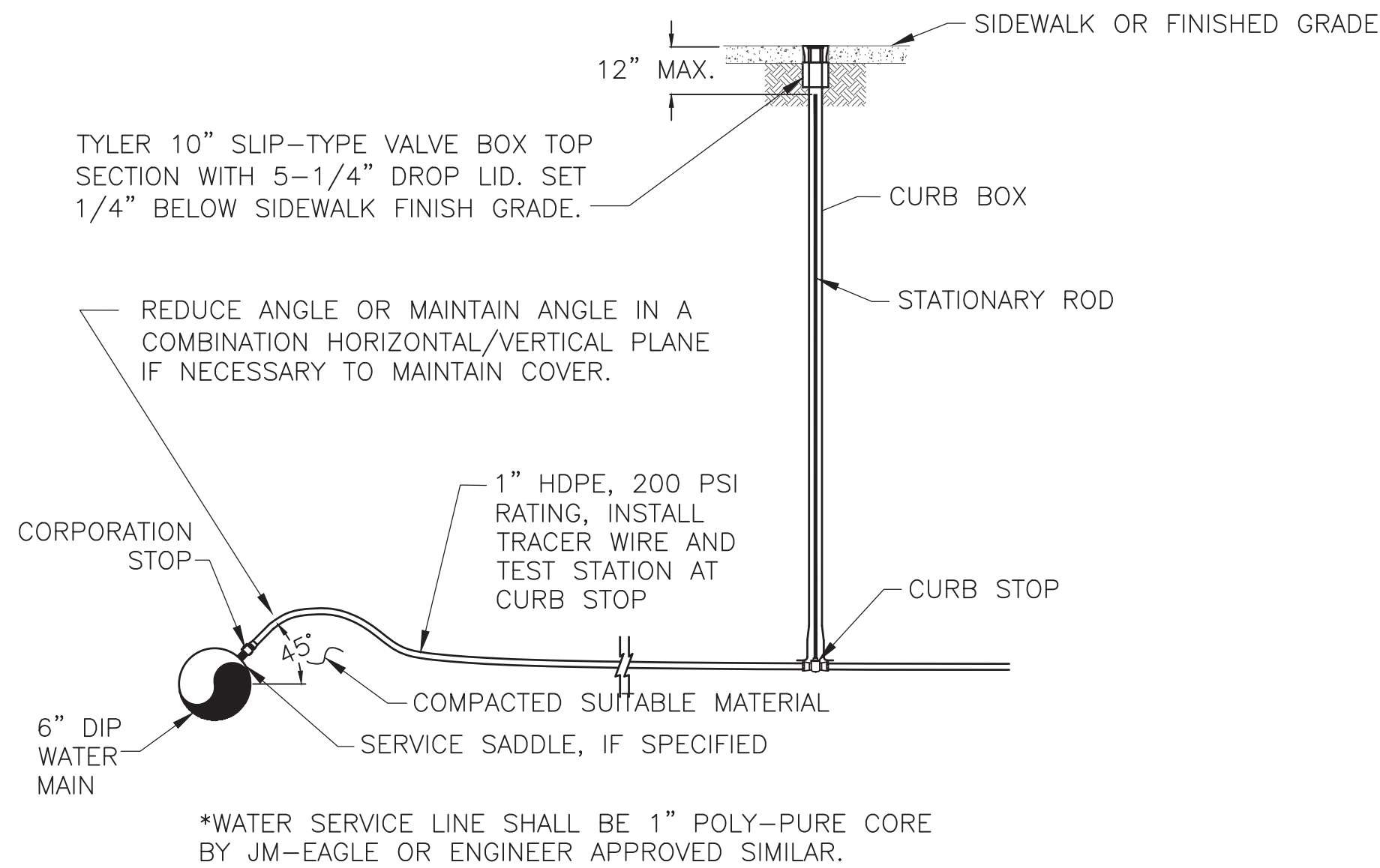


PROJECT: LOT 1 TIMBERS VILLAGE  
CDC PROJ. NO: 4251.001A  
OWNER: REH1, LLC  
ISSUED: 03/15/23 REF: BLDG. PERMIT

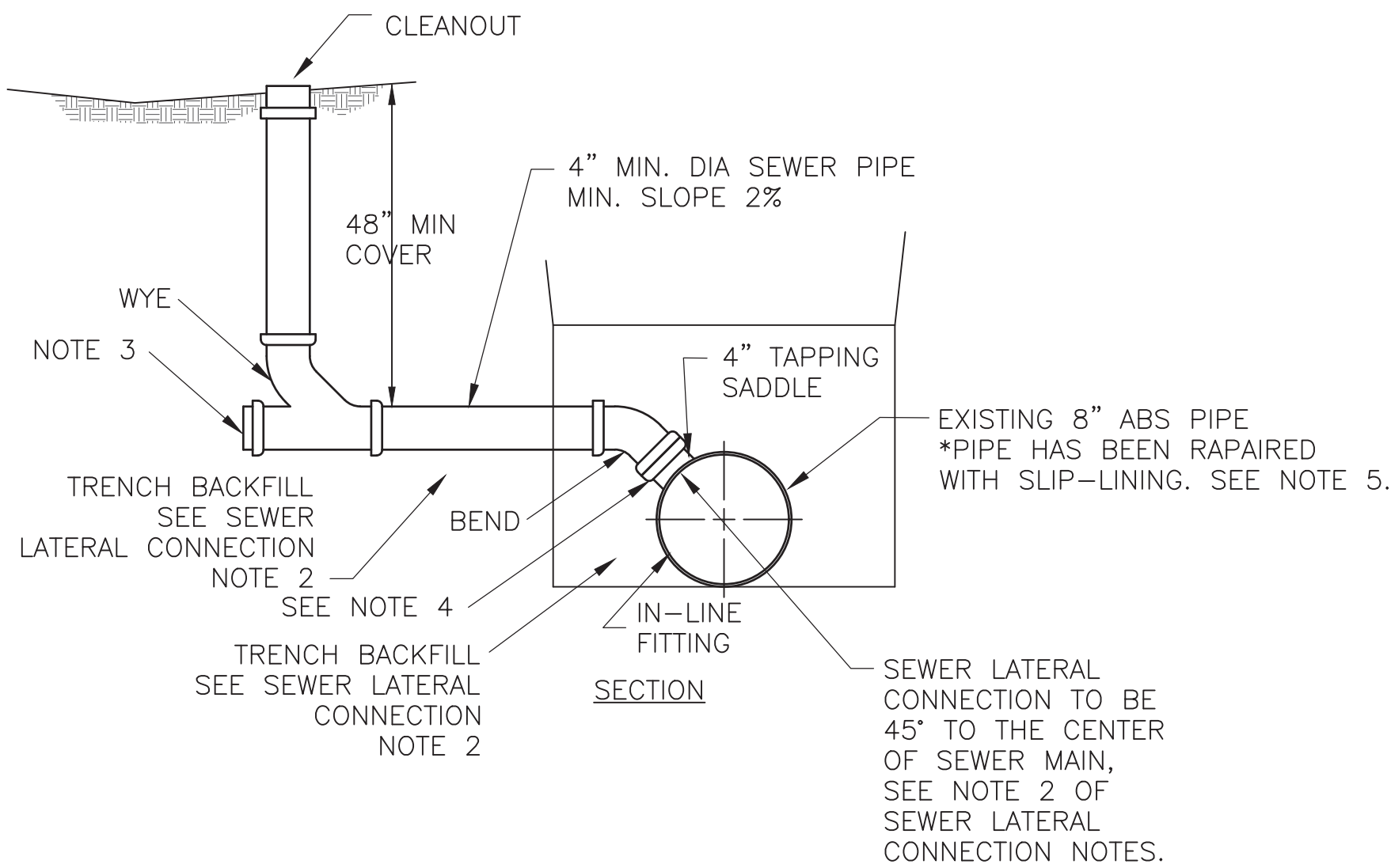






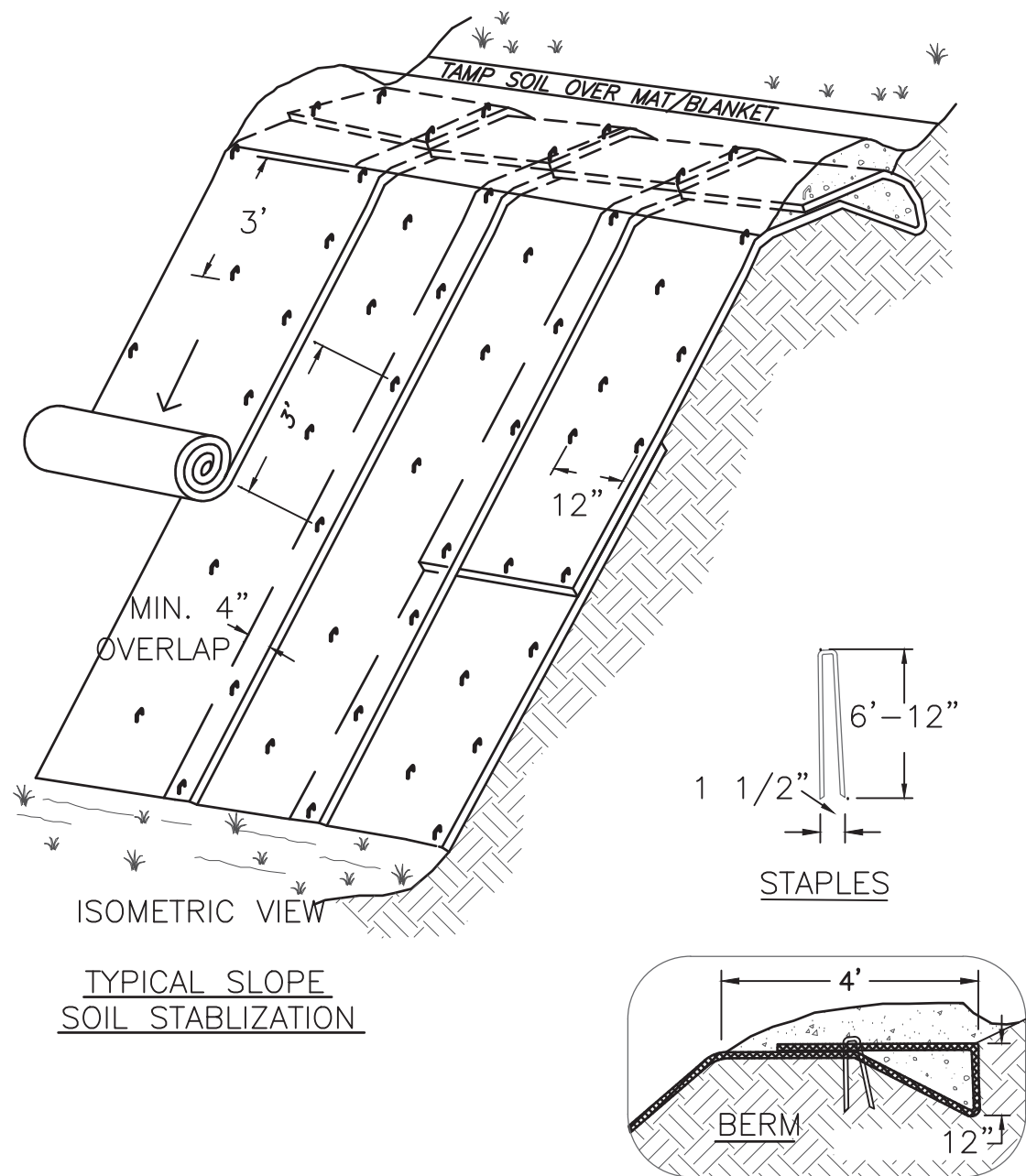


WATER SERVICE & CONNECTION  
NOT TO SCALE



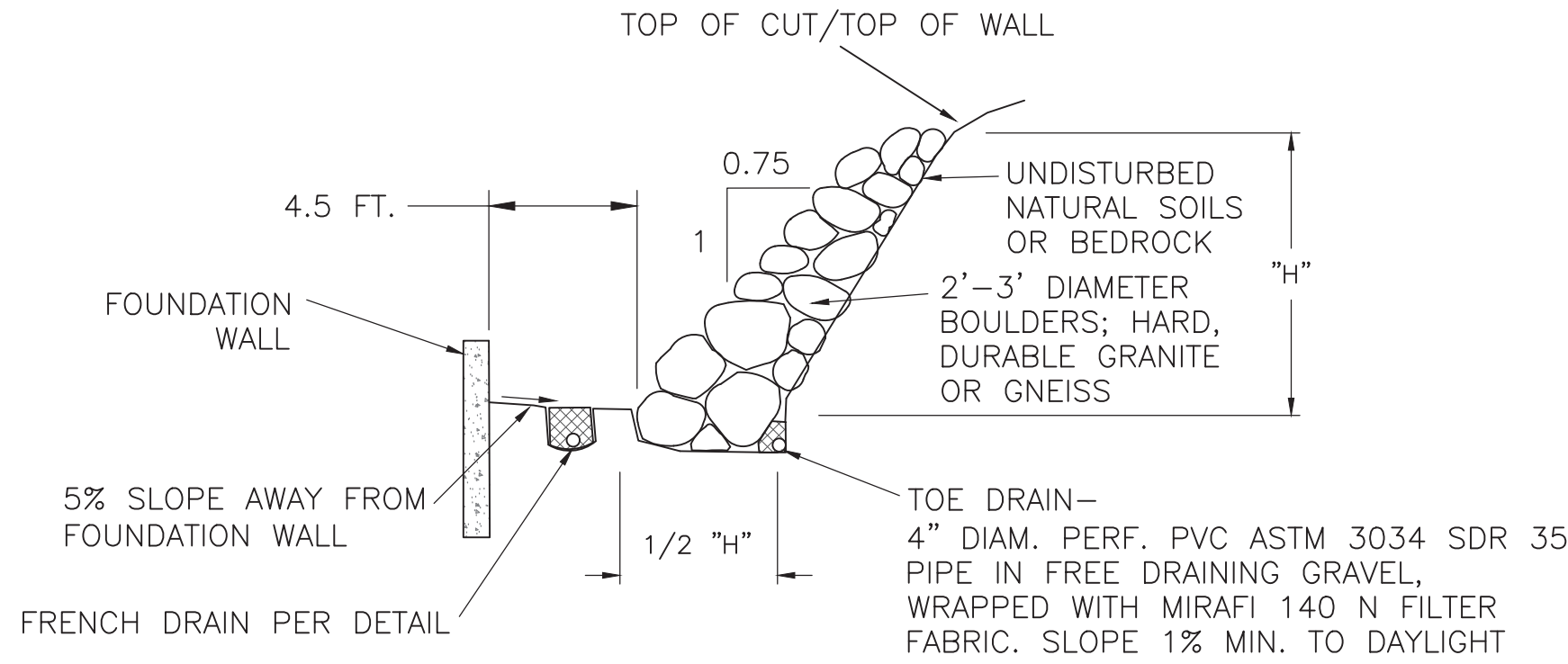
- SEWER LATERAL CONNECTION NOTES:**
- INSPECTION: PRIOR TO BACKFILL, SECURE ACCEPTANCE BY ENGINEER FOR ALL PIPE, FITTINGS, COUPLINGS, AND GRADE.
  - BACKFILL: INSTALL AND COMPACT ALL BACKFILL MATERIAL PER CITY OF STEAMBOAT SPRINGS UTILITY STANDARD SPECIFICATIONS SECTION 24 AND AS SHOWN WITHIN THE TRENCH CROSS SECTION AND PIPE EMBEDMENT BACKFILL DETAIL.
  - RUBBER GASKETED BELL AND SPIGOT TYPE COUPLER FOR TRANSITION FROM SCHEDULE 40 PVC TO SDR35.
  - ALL PVC FITTINGS SHALL MEET ASTM D3034 SPECIFICATIONS, AND SHALL ALSO MEET ASTM D3212 SPECIFICATIONS FOR RUBBER GASKETED BELL AND SPIGOT TYPE WITH INTEGRAL BELL.
  - CARE SHALL BE TAKEN TO ENSURE THE TAP INTO THE SEWER MAIN REMOVES THE SLIP-LINING MATERIAL INSIDE THE ABS PIPE.

SEWER SERVICE LATERAL & CONNECTION  
NOT TO SCALE



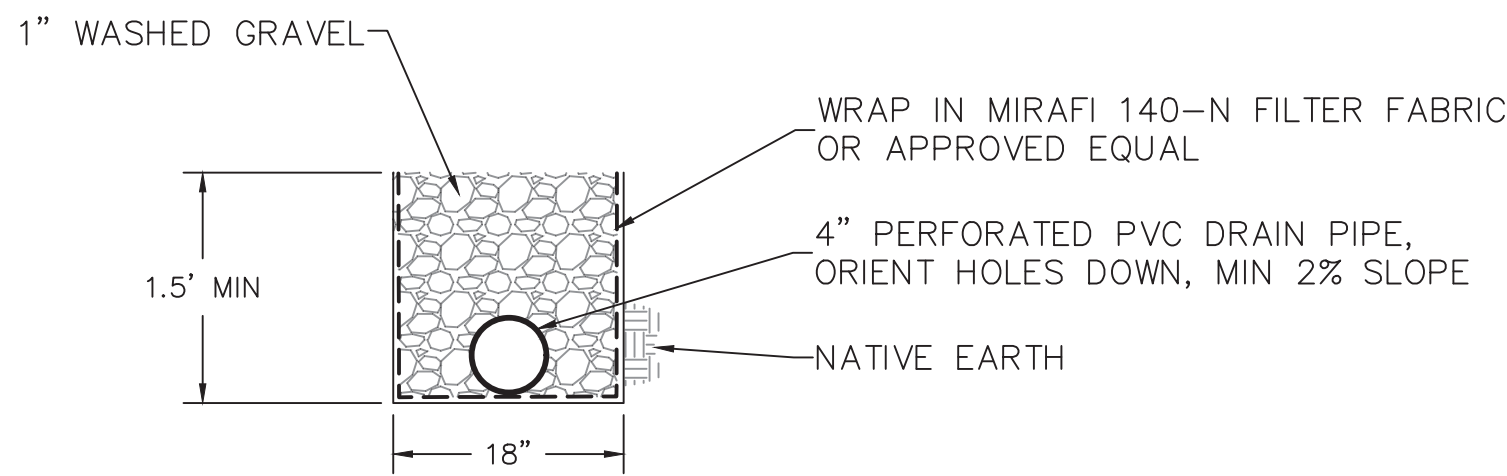
- NOTES:**
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS AND GRASS. MATS/ BLANKETS SHALL HAVE GOOD SOIL CONTACT.
  - INSTALL BLANKETS/MATS VERTICALLY DOWNSLOPE.
  - LAY BLANKETS/MATS LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH THE SOIL. DO NOT STRETCH.
  - SEE SPECIFICATIONS FOR BLANKET OR MAT TYPE.
  - DETAIL SHOWS TYPICAL MINIMUM REQUIREMENTS. STAKING OR STAPLING LAYOUT TO BE PER MANUFACTURERS SPECIFICATIONS.

STRAW EROSION CONTROL BLANKET SLOPE INSTALLATION  
NOT TO SCALE



- NOTES:**
- BACKFILL MATERIAL AROUND FOUNDATION WALL SHALL BE CAREFULLY PLACED IN UNIFORM LIFTS AT A MAXIMUM 8" DEEP LOOSE LIFTS AND COMPACTED TO AT LEAST 95% OF THE MAXIMUM STANDARD PROCTOR DENSITY AND NEAR THE OPTIMUM MOISTURE CONTENT.
  - CIVIL ENGINEER OF RECORD TO INSPECT SUB-BASE PRIOR TO ANY BOULDER PLACEMENT. INSPECTIONS TO CONTINUE DURING CONSTRUCTION PROCESS.
  - CONTRACTOR SHALL TAKE CARE WHEN PLACING BOULDERS AND SHALL NOT EXCEED A 0.75:1 BATTER ANGLE.

DRY STACKED BOULDER WALL  
NOT TO SCALE



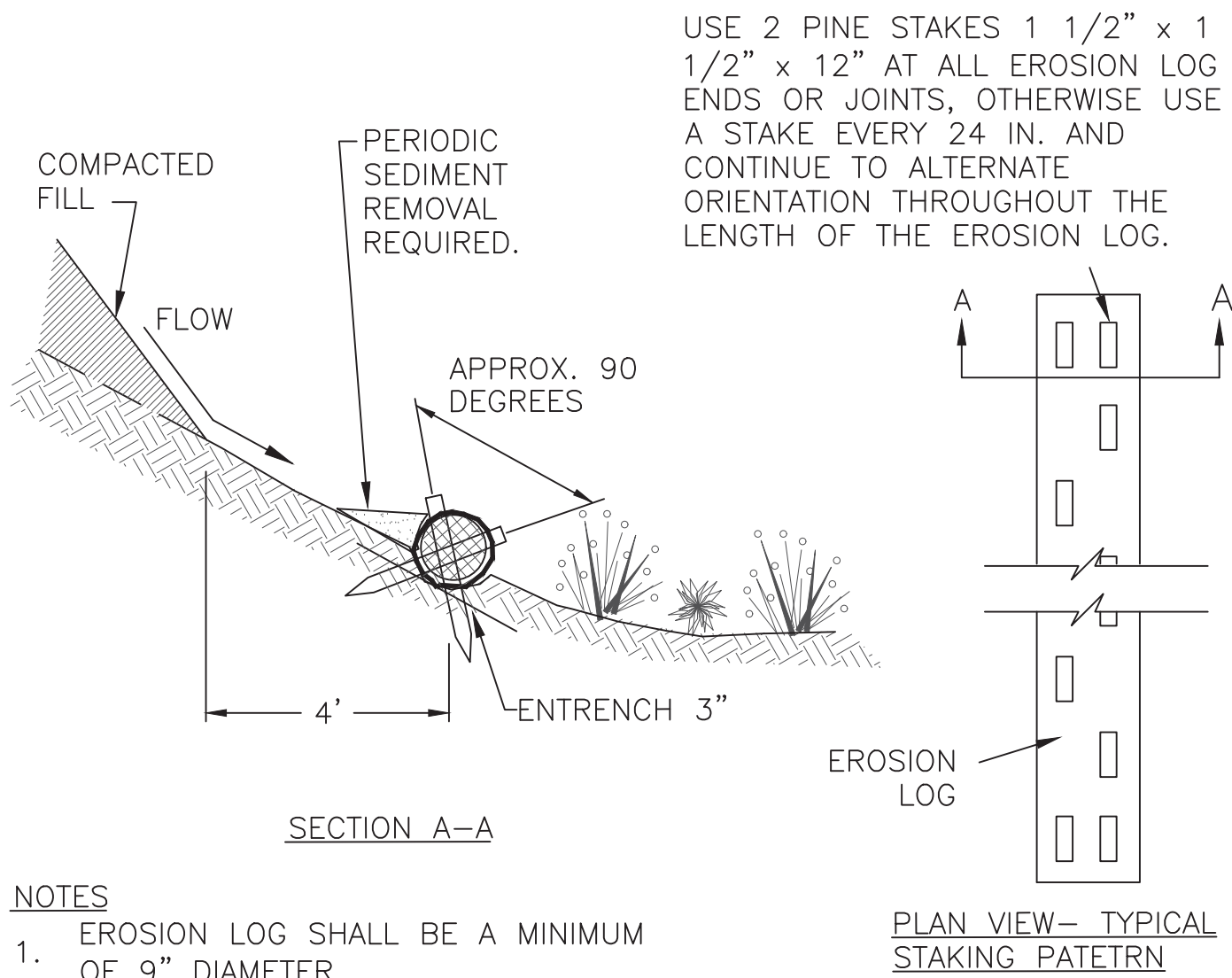
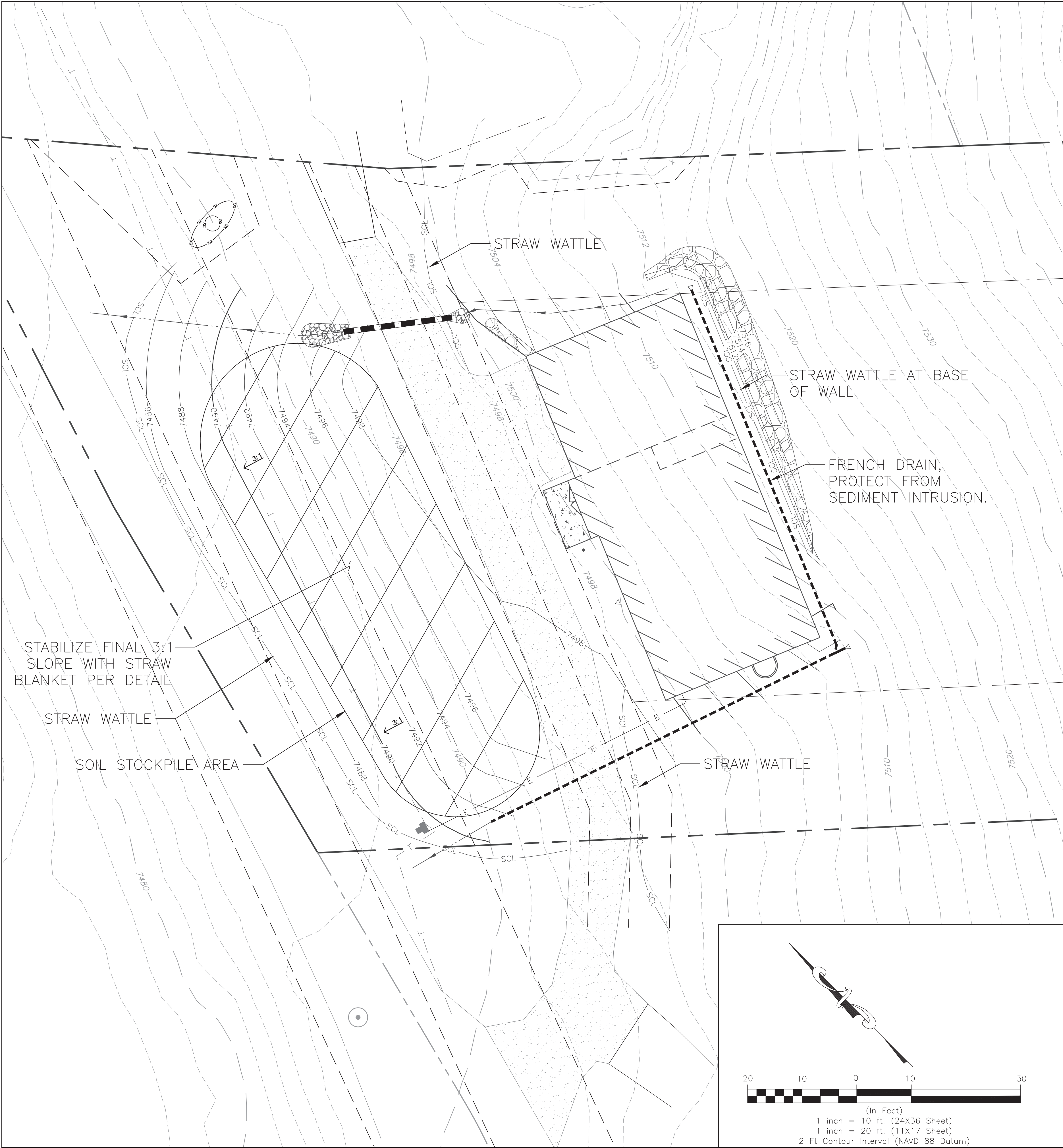
FRENCH DRAIN  
NOT TO SCALE

\*DEPTH OF PERFORATED PIPE VARIES DUE TO SLOPE REQUIREMENTS BUT A MINIMUM OF 1.5- FEET IS REQUIRED.

REVISIONS		
No.	Item	Date

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Date: 3/15/2023	REH1, LLC	
Drawn: JLW	LOT 1 TIMBERS VILLAGE  CONSTRUCTION DETAILS	
Designed: JLW		
	<b>Civil Design Consultants, Inc.</b> Civil and Environmental Engineers 2130 Resort Drive, Suite 200 Steamboat Springs, CO 80487 Tel (970) 879-3022	
	Project No.	4251.001A
	Sheet No.	C-102



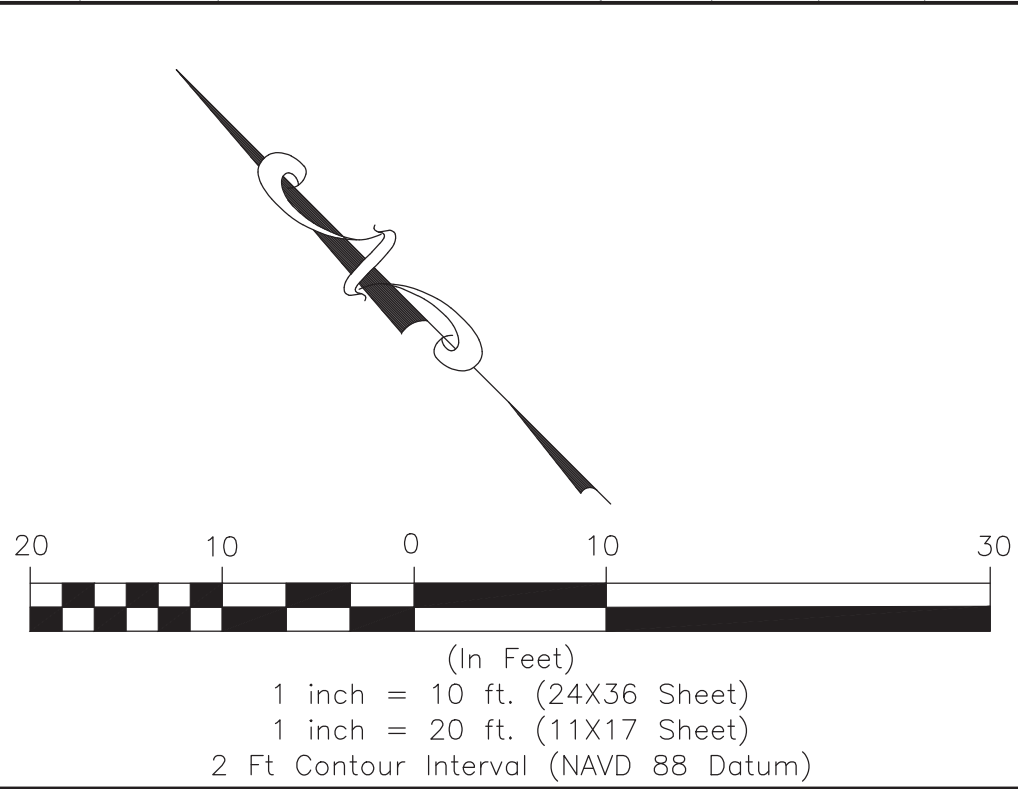


NOTES  
1. EROSION LOG SHALL BE A MINIMUM OF 9" DIAMETER

STRAW WATTLE EROSION CONTROL MEASURE  
NOT TO SCALE

CONSTRUCTION SITE MANAGEMENT NOTES

- 1.THIS PLAN SHALL BE KEPT ON SITE AT ALL TIMES AND UPDATED TO REFLECT ANY CHANGES.
- 2.CLEARING OR GRADING SHALL NOT BEGIN UNTIL ALL CONTROL MEASURES HAVE BEEN INSTALLED.
- 3.CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION AND ESTABLISHING ANY REQUIRED PERMANENT CONTROL MEASURES TO PREVENT RELEASE OF POLLUTANTS FROM THE PROJECT SITE.
- 4.CONTROL MEASURES SHALL BE USED, MODIFIED, AND MAINTAINED WHENEVER NECESSARY TO REFLECT CURRENT CONDITIONS. CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EVERY PRECIPITATION EVENT. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM CONTROL MEASURES WHEN THE SEDIMENT LEVEL REACHES ½ THE HEIGHT OF THE CONTROL MEASURE.
- 5.THE CONTRACTOR SHALL PROMPTLY REMOVE ALL SEDIMENT, MUD, AND CONSTRUCTION DEBRIS THAT MAY ACCUMULATE IN THE RIGHT OF WAY, PRIVATE PROPERTY, OR WATER WAYS AS A RESULT OF THE CONSTRUCTION ACTIVITIES.
- 6.ALL INGRESS AND EGRESS ACCESS POINTS ON TO THE DISTURBED SITE MUST BE STABILIZED WITH A VEHICLE TRACKING CONTROL PAD. ACCESS SHALL ONLY BE VIA APPROVED LOCATIONS AS SHOWN ON APPROVED CSMP.
- 7.TEMPORARY SOIL STABILIZATION MEASURES SHALL BE IMPLEMENTED WHERE GROUND DISTURBANCES HAVE TEMPORARILY OR PERMANENTLY CEASED FOR 14 DAYS OR FOR AREAS OF LAND DISTURBANCE WITHIN ONE GROWING SEASON.
- 8.CONCRETE WASTE AND WASHOUT WATER FROM MIXING TRUCKS SHALL BE CONTAINED ON SITE, REMOVED FROM THE SITE, AND PROPERLY DISPOSED. MATERIALS SHALL NOT BE ALLOWED TO ENTER STATE WATERS.
- 9.CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL LOCAL, STATE, AND FEDERAL LAWS. IN ADDITION CONTRACTOR MUST OBTAIN REQUIRED PERMITS.
- 10.EMERGENCY ACCESS MUST BE KEPT OBSTACLE FREE AND PASSABLE AT ALL TIMES.
- 11.CONTRACTOR SHALL SUPPLY AND MAINTAIN A TEMPORARY PORTA-POTTY AND DUMPSTER DURING CONSTRUCTION.



REVISIONS		
No.	Item	Date

Date: 3/6/2023

Drawn: JLW

Designed: JLW

Scale: 1"=10'

0054959

Colorado Licensed Professional Engineer

Joseph Wiedemeier

REHI, LLC

LOT 1 TIMBERS VILLAGE

CONSTRUCTION SITE MANAGEMENT PLAN

Civil Design Consultants, Inc.  
Civil and Environmental Engineers  
2130 Resort Drive, Suite 200  
Steamboat Springs, CO 80487  
Tel (970) 879-3022

Project No. 4251.001A | Sheet No. C-103

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