
Berlet Site Plan Review

ACTIVITY #: PL20240057

HEARING DATES: Planning Commission (PC): 10/17/2024 at 6:00pm
Board of Adjustment (BCC): 10/29/2024 at 9:35am

PETITIONER: Berlet Roofing
PETITION: Site Plan Review for a single family residence with attached garage and Home Occupation use
LOCATION: 38980 Main St (Milner)
ZONE DISTRICT: Commercial (C)
AREA: 0.22 acres
STAFF CONTACT: Michael Fitz – mfitz@co.routt.co.us
ATTACHMENTS:

- Narrative
- Variance request
- Site Plan
- Architectural planset
- Site Photos

History:

The Town of Milner was platted in the early 1900s. It never grew larger than the approximately 30 acres of land it occupies today. In 1972, the County adopted zoning regulations and applied Commercial zoning to several parcels along the north boundary of Milner, adjacent to US Highway 40. Due to the small size of the town, not all of the Commercial-zoned parcels have been utilized for commercial uses. The County's zoning, now implemented by the Unified Development Code, allows for residential uses in Commercial zone districts but requires a Site Plan Review.

Site Description:

The subject site is three contiguous original Town of Milner lots situated at the southeast corner of US 40 and Main St. The site is entirely flat, with one tree in the very center. A dirt pile remains from a small, dilapidated building that previously occupied the site. The site is otherwise covered in low grass. A partially improved alley is platted along the east side, but it does not have legal access onto US 40 and is not maintained by the County. Adjacent land uses include agriculture to the north, a vacant lot to the east, small-lot residential to the south, and a vacant commercial property to the west. A community bus stop is located on US 40 adjacent to the site as well.

Project Description:

The applicants are proposing to place a single-family home on the subject site. The home is designed with a large storage area and garage on the first floor, which will allow them space for a Home Occupation related to their roofing business in addition to their personal vehicles. The main dwelling areas of the home will be on the second floor, with a small home office. The proposed application utilizes three original platted lots from the Town of Milner, resulting in a 9,600 square foot lot. The home would cover only 1,775 square feet, resulting in a lot coverage of 19%. Setbacks are proposed at 20' front, 17' side, and 63' rear. One Variance is requested, to Section 3.20.A.5 (sidewalks).

Staff Comments:

Site Plan Review is required for all new uses and structures in Commercial and Industrial zones because the district does not have specific dimensional standards for setbacks. In such situations, appropriateness is considered within the context of adjacent residential zones. The adjacent residential zone is Historic Town (HT), which allows for 10' front setbacks, 5' side/rear setbacks, and a Lot Coverage of 35% on a lot as small as 3,000 square feet. The proposal complies with all of these standards, making it fit the context of the adjacent HT zone district. While Agriculture/Forestry zoning abuts to the north, it is beyond the Town of Milner and is not an appropriate zone district for comparison. The property to the south is a Planned Unit Development with six tiny homes. While this property provides a similar comparison to the HT zone district, it is a custom zone district specific to that property, and not suitable for comparison..

*****Issues for Discussion*****

Staff has not identified any issues for discussion.

Staff Recommendation

Staff recommends that the application be **APPROVED**.

Compliance with the Routt County Master Plan, Sub Area Plans and Unified Development Code

The Routt County Master Plan (Master Plan), Sub Area Plans and Unified Development Code contain dozens of land use policies and regulations that are intended to reinforce the guiding principals of the Master Plan. This report categorizes subject matter content that is important to consider when reviewing. The categories include:

1. Public Health, Safety and Nuisances
2. Regulations and Standards
3. Community Character and Visual Impacts
4. Roads, Transportation, and Site Design
5. Natural Environment
6. Mitigation

Within each category are applicable policies and regulations. Specific UDC sections include:

- **Chapter 3** of the UDC is designed to limit or eliminate conditions that could negatively impact the environment and/or use of surrounding properties and shall apply in all Zone Districts and to all land uses unless otherwise noted. It also contains mitigation techniques that apply to use permits, PUD plans, site plans, and subdivisions.
- **Chapter 4 Section 5** of the UDC contains applicability criteria, standards, and procedures for different types of subdivisions. When applicable, it also requires dedications, fees-in-lieu, and infrastructure installation to ensure that developments are designed to best serve the public and contain all the required infrastructure necessary to serve the development.

Interested parties are encouraged to review the Master Plan, Sub Area plans and Unified Development Code to determine if there are additional policies and regulations that may be applicable to the review of this petition.

Planning Staff comments are included in bold at the end of each category and highlight questions and/or comments from the general public, referral agencies, and Planning Staff.

1. Public Health, Safety and Nuisances

Applicable UDC Regulations

- 3.2 Lighting
- 3.3 Signage

Applicable Master Plan Policies

- 11.11 In addition to the HMP, the Master Plan also recognizes strategies in the Community Wildfire Protection Plan (CWPP) in reference to wildfire hazards and acknowledges associated implementation measures including partnering on fuels treatment projects designed to reduce overall wildfire risk.
- 11.12 Discourage land uses that increase the potential for wildfires in high risk wildfire hazard areas.

Staff comments: The proposed single-family home, like all single-family homes in Routt County, will be required to have downcast and shielded lighting in compliance with the UDC. Signage is not proposed. The proposed location, in an urbanized, platted town, is at low risk for wildfire and is an ideal place to add residential density.

***Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

2. Regulations and Standards

Applicable UDC Regulations

- 3.1 General Provisions
- 3.20 Development in Tier 2/3 Growth Areas
- 3.21 Employee Housing
- 3.22 Public Benefit
- 4.53.B.4 Essential Housing

Staff comments: The proposal complies with all general provisions in Section 3.1, as-applicable. Employee Housing, Public Benefit, and Essential Housing requirements are not applicable for a single-family home being reviewed under a Site Plan Review. While Section 3.20.A.3 requires rear (alley) access when possible, the alley adjacent to this site is not maintained by the County and is also prohibited by CDOT from connecting to US 40, so the Public Works Department is supportive of a front access onto Main St. The application does not comply with 3.20.A.5 requiring pedestrian facilities, and the applicant has requested a variance to this standard, detailed below. Staff is supportive of the request.

***Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

3. Community Character and Visual Concerns

Applicable UDC Regulations

- 3.2 Lighting
- 3.30 Development within Visually Sensitive Viewsheds

Applicable Master Plan Policies

- 4.1 Direct new growth and development to Tier 1, Tier 2, and Tier 3 Future Growth Areas, in that order and as defined in the Growth & Land Use Chapter.
- 4.2 Support infill development and redevelopment that is complementary to existing character and consistent with available resources to accommodate evolving community needs within the Future Growth Areas.
- 4.6 Support efforts to maintain Dark Skies and control light pollution.
- 6.4 Small-scale developments should be considered in Tier 3 Small Established Communities like Phippsburg and Milner if they provide community benefits such as low income or workforce housing, or services.
- 6.5 Support a broad range of housing opportunities in Tier 1 Municipalities and Tier 2 Targeted Growth Areas. Integrate affordable and workforce housing into existing neighborhoods and communities, preferably close to civic/social amenities.
- 6.19 Allow commercial development in Tier 1 municipalities, allow appropriately scaled commercial development Tier 2 Targeted Growth Areas and, on a case-by-case basis, in Tier 3 Small Established Communities if determined to address a community need.
- 9.3 Discourage development that changes the rural character or historic agricultural uses and/or practices.
- 9.7 Protect prime agricultural areas from the impacts of developments and commercial recreation.
- 9.16 Protect unique view corridors with high aesthetic value, including the south valley floor and the Hwy 40 and CR 129 corridors.

Staff comments: This property, located within an existing platted town, is not a visually sensitive location. Milner is a Tier 3 growth area where new development is appropriate. This proposal is located along US 40 and, while intended as a single-family home, is built in a manner that may support future small-scale commercial use of the property, should it be needed in the future. Development on this property will not infringe upon any agricultural areas or view corridors.

***Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

4. Roads, Transportation and Site Design

Applicable UDC Regulations

- 2.1-2.21 Zoning and Land Uses
- 3.4 Utilities
- 3.5 Stormwater Management
- 3.6 Access Management
- 3.7 Common Roads
- 3.8 Parking & Loading
- 3.9 Landscaping
- 3.10 Snow Storage
- 3.23 Transportation
- 3.24 Open Space, Parks, and Trail Design
- 3.25 Financial Guarantee for Improvement

Applicable Master Plan Policies

- 7.15 Ensure that future development occurs where roads can accommodate projected traffic volumes and patterns.

Staff comments: The proposed single-family home is a use-by-right in the Commercial zone district. Utilities, stormwater management, and access permitting will be evaluated through the building permit process. No roads or other transportation facilities are proposed. Parking complies with the 2-space minimum required for single-family homes. Landscaping and snow storage are sufficient for a single-family home, and no open space, parks, or trails are required for such a use. No site improvements will require any financial guarantees. The Town of Milner has sufficient roadway infrastructure to accommodate an additional home.

***Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

5. Natural Environment

Applicable UDC Regulations

- 3.31 Development Adjacent to Waterbodies
- 3.32 Development within Floodplains
- 3.33 Development within a Natural Hazard Area
- 3.34 Development within a Sensitive Wildlife Area

Applicable Master Plan Policies

- 11.3 Protect wildlife species and their habitats.
- 11.4 Include wildlife habitat and species information in land use and site plan decision making.
- 11.5 Encourage land use practices that will minimize conflicts between wildlife and human uses.
- 11.6 Consider impacts on wildlife before approving new recreational uses, residential developments, and other developments and permits.
- 11.7 Minimize the cumulative impacts of development on wildlife and wildlife habitat.

Staff comments: The site is not adjacent to any waterbodies nor is it within any floodplains, natural hazard areas, or sensitive wildlife habitat. Development within the existing platted Town of Milner is an ideal way of minimizing cumulative impacts on wildlife.

***Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

6. Mitigation Techniques

Applicable Zoning Regulations

- 3.35 Mitigation Techniques to Reduce Air Quality Impacts
- 3.36 Mitigation Techniques to Reduce Noise Impacts
- 3.37 Mitigation Techniques to Reduce Scenic Quality
- 3.38 Mitigation Techniques to Reduce Water Quality and Quantity Impacts

Staff comments: No mitigation techniques are required for a single-family home in this location.

***Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

7. Variance Request

The applicant has requested a Variance to Section 3.20.A.5, which states “Pedestrian facilities are required in all developments through the provision of sidewalks or trail

connections. Separation of pedestrian and bicycling improvements from vehicular traffic, through a landscape buffer or setback, are encouraged to support safe walking and biking opportunities. Trail facilities can be hard- or soft-surface”.

The applicant has provided the following justifications based on Variance Criteria in Section 4.71.C. The Board of County Commissioners may grant a Variance if all of the following conditions are found to exist:

1. The Variance will not injure or adversely impact legal conforming uses of adjacent property, or the applicant has accurately assessed the impacts of the proposed Variance and has agreed to adequately mitigate those impacts.

Applicant Response: *We do not believe that removing the requirement to provide a sidewalk will injure or adversely impact the use of the adjacent property as there is no sidewalk to attach to the adjacent property.*

Staff Analysis: Supportable. All legal conforming uses of adjacent property are already developed without sidewalks and do not connect to them. The increase in traffic generated by one single-family home is no different than what would be built anywhere else in Milner, and is not sufficient to justify requiring a sidewalk.

2. The Variance furthers the intent of the Master Plan and applicable Sub-Area Plans.

Applicant Response: *There are no sidewalks currently in the adjacent property so would not change the intent of the Master Plan or Sub-Area Plans.*

Staff Analysis: Supportable. Standard 3.20.A.5 is intended for larger developments, such as commercial uses, larger subdivisions, or resubdivisions, where sidewalks are necessary to mitigate the impact of increased traffic and density in Milner. One additional single-family home does not create this impact. The standard would ordinarily not apply on residentially-zoned lots, but this home requires a Site Plan Review, triggering Chapter 3 standards, because the property is zoned Commercial.

3. The Variance application meets the criteria of either special circumstance, or practical difficulty, or the application presents an acceptable alternative, as further defined below.

- a. Special Circumstances. The special circumstances of the property make the strict application of the standard an unnecessary hardship to the applicant, and the special circumstances are not the result of actions of the property owner or applicant.

Applicant Response: *There are no sidewalks currently in the adjacent property so would not change the intent of the Master Plan or Sub-Area Plans.*

Staff Analysis: Supportable. Standard 3.20.A.5 is intended for larger developments, such as commercial uses, larger subdivisions, or resubdivisions, where sidewalks are necessary to mitigate the impact of increased traffic and density in Milner. One additional single-family home does not create this impact. The standard would ordinarily not apply on residentially-zoned lots, but this home requires a Site Plan Review, triggering Chapter 3 standards, because the property is zoned Commercial.

PLANNING COMMISSION OPTIONS:

1. **Approve the Site Plan Review request without** if it is determined that the petition will not adversely affect the public health, safety, and welfare and the proposed use is compatible with the immediately adjacent and nearby neighborhood properties and uses and the proposal is in compliance with the Routt County Unified Development Code and complies with the guidelines of the Routt County Master Plan.
2. **Deny the Site Plan Review** if it is determined that the petition will adversely affect the public health, safety, and welfare and/or the proposed use is not compatible with the immediately adjacent and nearby neighborhood properties and uses and/or the proposed use is not in compliance with the Routt County Unified Development Code and/or the Routt County Master Plan, Make specific findings of fact; cite specific regulations or policies by number from the Routt County Master Plan, and the Routt County Unified Development Code.
3. **Table the Site Plan Review request** if additional information is required to fully evaluate the petition. Give specific direction to the petitioner and staff.
4. **Approve the Site Plan Review request with conditions and/or performance standards** with conditions and/or performance standards if it is determined that certain conditions and/or performance standards are necessary to ensure public, health, safety, and welfare and/or make the use compatible with immediately adjacent and neighborhood properties and uses and/or bring the proposal into compliance with the Routt County Unified Development Code and the Routt County Master Plan.

FINDINGS OF FACT that may be appropriate if the Site Plan Review is approved:

1. The proposal with the following conditions complies with the applicable guidelines of the Routt County Master Plan and is in compliance with Chapters 3 and 4 of the Routt County Unified Development Code.
2. The Variance request is justified based on the following findings of fact:
 - 1) The Variance will not injure or adversely impact legal conforming uses of adjacent property because they are already developed without sidewalks, and the increase in traffic generated by one single-family home is no different than what would be developed anywhere else in Milner.
 - 2) The Variance furthers the intent of the Master Plan because the Master Plan supports housing in the Commercial zone even in situations where commercial uses are not proposed or viable, and the standard is only intended to mitigate the impacts of larger development.
 - 3) The variance meets the criteria of a special circumstance because the standard is intended to address larger development, and would unfairly burden the property owner from building the same single-family home that other Milner property owners would be able to build.

TERMS OF APPROVAL that may be appropriate may include the following:

General Approval Requirements:

1. The Site Plan Review approval is contingent upon compliance with all applicable provisions of the Routt County Unified Development Code.

2. The Site Plan Review approval is limited to uses and facilities presented in the approved project plan. Any additional uses or facilities must be applied for in a new or amended application.
3. Accessory structures/uses associated with this permit may be administratively approved by the Planning Director without notice.
4. The Site Plan Review is valid for the life of the use provided it is acted upon within three years of approval. This approval shall be deemed to have automatically lapsed if the uses permitted herein are discontinued for a period of one (1) year.

PL20240057 Narrative

I am writing to outline the intended uses for the property, which is a single-family residential home situated on a commercial lot.

The primary floor of the property will be utilized primarily for a garage. This includes the storage of work equipment that I use in my business, as well as parking for trucks and trailers. The vehicles and equipment will simply be parked and stored in this space.

The upper floor of the building will serve two purposes. First, it will serve as a single-family residential area, providing housing for [myself/our family]. The residential use will be the primary function of this floor. Secondly, It will function as a light-use office space, where we will occasionally make phone call and use computers. Much like a home office.

I trust this information provides the clarity needed for the planning process. If you require any additional details or have further questions, please do not hesitate to reach out. I appreciate your attention to this matter and look forward to your guidance in moving forward with the project.

Thank you for your time and consideration.

Sincerely,

Luke Berlet

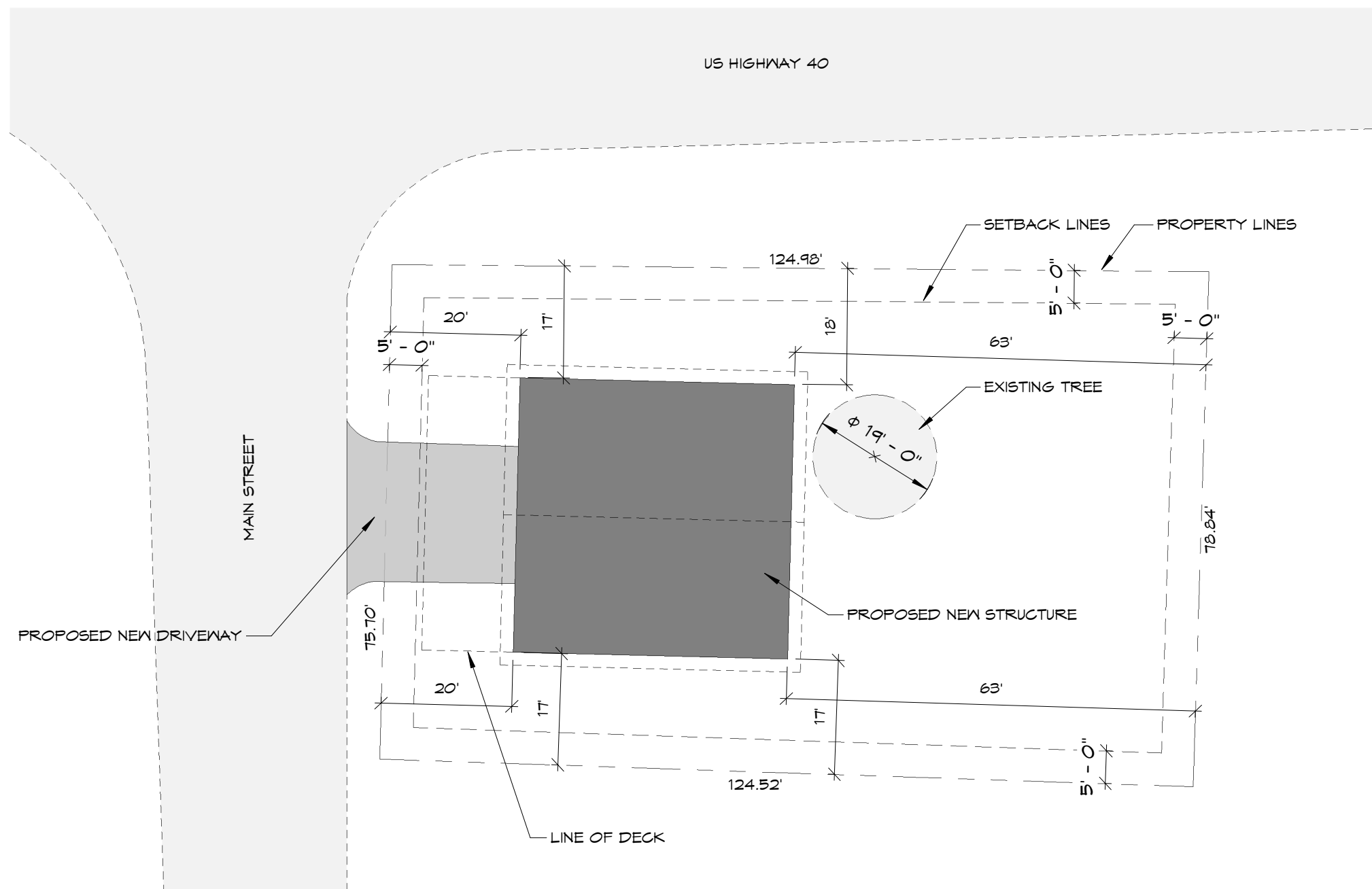
PL20240057 – Variance Request

We are requesting a variance for 'Criteria 3.20.A.5 - Pedestrian facilities are required in all developments through the provision of sidewalks or trail connections. Separation of pedestrian and bicycling improvements from vehicular traffic, through a landscape buffer or setback, are encouraged to support safe walking and biking opportunities. Trail facilities can be hard- or soft-surface.'

We are requesting that we not be required to provide a sidewalk on the property being developed. There are no sidewalks on the adjacent property to connect to at the current time.

1. The Variance will not injure or adversely impact legal conforming uses of adjacent property, or the applicant has accurately assessed the impacts of the proposed Variance and has agreed to adequately mitigate those impacts.
 - a. We do not believe that removing the requirement to provide a sidewalk will injure or adversely impact the use of the adjacent property as there is no sidewalk to attach to the adjacent property.
2. The Variance furthers the intent of the Master Plan and applicable Sub-Area Plans.
 - a. There are no sidewalks currently in the adjacent property so would not change the intent of the Master Plan or Sub-Area Plans.
3. The Variance application meets the criteria of either special circumstance, or practical difficulty, or the application presents an acceptable alternative, as further defined below.
 - a. Special Circumstances. The special circumstances of the property make the strict application of the standard an unnecessary hardship to the applicant, and the special circumstances are not the result of actions of the property owner or applicant.
 - i. We would be required to spend funds on providing a sidewalk that connects to no other sidewalk, which doesn't make financial sense or sense to the community in Milner. If there was a sidewalk to connect to we would be willing to provide the sidewalk on the property being developed.

6/24/2024 4:59:00 PM



1 SITE PLAN 11X17
1" = 20'-0"

BERLET 'SHASTA'
38980 MAIN STREET
MILNER, CO 80477



11251 SE 232nd Ave.
Damascus, OR 97089
(888) 975-2057 Office
(503) 863-3838 Fax
www.dcbuilding.com



0' 5' 10' 20' 40'

Drawn By
KASH
06-24-24

GENERAL NOTES

1. CONTACT EACH MUNIPAL, GOVERNMENTAL, OR PRIVATE UTILITY COMPANIES TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION.
2. SCHEDULE AND COORDINATE ALL SHUT DOWNS OF EXISTING UTILITIES WITH THE OWNER IN ADVANCE A MINIMUM OF SEVEN (7) DAYS PRIOR TO SHUT DOWN.
3. PROVIDE ALL REQUIRED EROSION CONTROL MEASURES PRIOR TO ANY EXCAVATION.
4. A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
5. OTHER WORK MAY BE PERFORMED UNDER A SEPARATE CONTRACT AT THE CLIENT'S PROPERTY. COORDINATE WITH ALL OTHER CONTRACTED TRADES SO AS TO NOT INTERFERE WITH THEIR WORK.
6. ALL FASTENERS IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE HOT DIPPED GALVANIZED.
7. REFER TO STRUCTURAL DRAWINGS FOR STRUCTURAL REQUIREMENTS; SIZE, SPACING AND LOCATION OF ALL STRUCTURAL MEMBERS.
8. STRICTLY FOLLOW ALL MANUFACTURER'S INSTALLATION INSTRUCTIONS WHEN USING OR INSTALLING PRODUCTS.
9. ALL DOOR AND WINDOW DIMENSIONS ARE APPROXIMATE, VERIFY MANUFACTURER SPECIFICATIONS FOR EXACT SIZE.
10. USE 5/8" TYPE 'X' GYPSUM WALL BOARD THROUGHOUT. PROVIDE WATER RESISTANT GYPSUM WALL BOARD IN RESTROOMS WITH SHOWERS. PROVIDE FRAMING AT 16" O.C. MAX AT CEILINGS WHERE WATER RESISTANT GYPSUM WALL BOARD IS INSTALLED.
11. FIRE BLOCKING SHALL BE PROVIDED IN STUD CAVITIES OVER 10' IN HEIGHT.
12. CONTACT DESIGNER OR ENGINEER OF RECORD TO CONFIRM DIMENSIONS IF NOT LISTED.
13. ITEMS LISTED ARE TO BE PROVIDED BY OTHERS, CONTACT OWNER FOR SPECIFICATIONS, DCS IS NOT RESPONSIBLE UNO.

A. FOUNDATION: CONCRETE, ANCHOR BOLTS, FIBER MESH, WATER PROOF MEMBRANE, REBAR, INSULATION

B. ROOFING: ROOFING MATERIAL, MOISTURE BARRIER, VENTING, GUTTERS, FLASHING, NAILS, WATER PROOFING.

C. GENERAL: INSULATION, STONE MASONRY, NAILS & SCREWS, PLUMBING & FIXTURES, ELECTRICAL & FIXTURES, MECHANICAL & FIXTURES, CASEWORK, FLOOR FINISH, WALL FINISH, & CEILING FINISH.

APPLICABLE CODES

- 2021 IRC (INTERNATIONAL RESIDENTIAL CODE)
- 2021 IBC (INTERNATIONAL BUILDING CODE)
- 2019 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)
- 2021 UIIG (WILDLAND URBAN INTERFACE CODE)

MATERIALS

CONCRETE

EARTH

GYPSUM WALL BOARD

BATT INSULATION

METAL

PLYWOOD

STONE

GRAVEL

RIGID INSULATION

WOOD

REFERENCE SYMBOLS

LEVEL
LEVEL OR SPOT ELEVATION

DETAIL CALLOUT
DETAIL NUMBER
S-105
SHEET WHERE DETAIL IS DRAWN

ELEVATION, SECTION, & DETAIL CALLOUT
DETAIL NUMBER
A-301
SHEET NUMBER
DIRECTION OF VIEW

101
DOOR TAG

101
WINDOW TAG

101
EQUIPMENT TAG
SEE EQUIPMENT SCHEDULE ON SHEET A-104

SHEARMALL TAG
SHEARMALL TYPE, SEE SCHEDULE ON S-001 FOR NAILING AND ANCHOR BOLT SPACING

WALL TAG
WALL TYPE, SEE WALL DETAILS ON SHEET A-101

REVISION
CLOUD AROUND REVISION

KEYNOTE TAG

PROPERTY LINE

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR	FC	FRAMING CLIP	NG	NOT IN CONTRACT	TEL	TELEPHONE
ADJ	ADJACENT	FRP	FIBER REINFORCED PLASTIC	NTS	NOT TO SCALE	TV	TELEVISION
AGG	AGGREGATE	FFL	FINISHED FLOOR LINE	OC	ON CENTER (S)	TEMP	TEMPERED GLAZING
A/C	AIR CONDITIONING	FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER	THK	THICK (NESS)
ALT	ALTERNATE	FD	FLOOR DRAIN	OV	OVEN	TPD	TOILET PAPER DISPENSER
ALUM	ALUMINUM	FTG	FOOTING			T&G	TONGUE AND GROOVE
AB	ANCHOR BOLT	FND	FOUNDATION	PB	PROVIDED BY	T.O.	TOP OF
ABV	ABOVE			PBO	PROVIDED BY OTHERS	TB	TONGUE BAR
ARCH.	ARCHITECT (URAL)	SA	GAUGE	PEN	PENETRATION	TYP	TYPICAL
ASPH	ASPHALT	SALV	GALVANIZED	PT	PRESSURE TREATED	UNO	UNLESS NOTED OTHERWISE
		GB	GRAB BAR	PTD	PAPER TOWEL DISPENSER	VPB	VAPOR BARRIER
BLK	BLOCK	GLB	GULLEY BEAM	PLAM	PLASTIC LAMINATE	VIF	VERIFY IN FIELD
BLKG	BLOCKING	GSN	GENERAL STRUCTURAL NOTES	PL	PLATE, PROPERTY LINE	VERT	VERTICAL
BD	BOARD	GNB	GYPSUM WALL BOARD	PLYMD	PLYWOOD	VB	VINYL BASE
BLDG	BUILDING	HWD	HARDWOOD	PVC	POLYVINYL CHLORIDE	VCT	VINYL COMPOSITION TILE
		HVAC	HEATING/VENTILATING/A/C	PSF	POUNDS PER SQUARE FOOT	VF	VINYL FABRIC
CAB.	CABINET	HSS	HOLLOW STRUCTURAL STEEL	PSI	POUNDS PER SQUARE INCH	VT	VINYL TILE
CPT	CARPET (ED)	HB	HOSE BIBB	QT	QUARRY TILE	VNC	VINYL WALL COVERING
CLS	CEILING	ID	INSIDE DIAMETER	RCA	RAISED CENTER AISLE	VC	WATER CLOSET
CL	CENTERLINE	INSUL	INSULATE (D), (ION)	REF	REFRIGERATOR	VRB	WATER RESISTANT BARRIER
CO	COLUMN	INT	INTERIOR INV INVERT	REINF	REINFORCE (D), (ING)	WH	WATER HEATER
CONC	CONCRETE	KIT.	KITCHEN	REQD	REQUIRED	WPF	WATERPROOFING
CMU	CONCRETE MASONRY UNIT	LAB	LABORATORY	RM	RIGHT OF WAY	WV	WELDED WIRE FABRIC
CJ	CONTROL JOINT	LAM.	LAMINATE (D)	RB	RUBBER BASE	W	WEST, WIDTH, WIDE
CONT	CONTINUOUS OR CONTINUE	LAV	LAVATORY	RBT	RUBBER TILE	WDM	WINDOW
CF	CUBIC FOOT	LH	LEFT HAND			W/O	WITHOUT
CY	CUBIC YARD	LF	LINEAR FEET	SCH	SCHEDULE	WB	WOOD BASE
		LVL	LAMINATED VENEER LUMBER	SLR	SEALER (CONCRETE SEALER)	WD	WOOD
DEMO.	DEMOLISH	LSL	LAMINATED STRAND LUMBER	SECT	SECTION	WPT	WORKING POINT
DET	DETAIL	MH	MANHOLE	SHT	SHEET		
DIA	DIAMETER	MFR	MANUFACTURE (ER)	SV	SHEET VINYL		
DN	DOWN	MAT.	MATERIAL (S)	SIM	SIMILAR		
DS	DOWNSPOUT	MAX.	MAXIMUM	SC	SOLID CORE		
DW	DISHWASHER	MECH	MECHANICAL (-LY)	SPEC.	SPECIFICATION (S)		
		MTL	METAL	SF	SQUARE FEET		
ELEC	ELECTRIC (AL)	MM	MILLIMETER (S)	SQ	SQUARE		
EQ	EQUAL	MN	MINIMUM	SS	STAINLESS STEEL		
EQUIP	EQUIPMENT	MISC	MISCELLANEOUS	STD	STANDARD		
EN	EDGE NAIL			STL	STEEL		
'E'	EXISTING			SD	STORM DRAIN		
				SUSP	SUSPENDED		
				SW	SHEAR WALL		
				SIN	STEP IN WALL		

AREA - CONDITIONED SPACE

NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING & HEAD CLEARANCE ABOVE 48"	
CONDITIONED	
ENTRY & MECH.	254 SF
UPPER LEVEL LIVING	1602 SF
	1056 SF
OUTDOOR	
DECK	532 SF
	532 SF
UNCONDITIONED	
MAIN LEVEL SHOP	1510 SF
	1510 SF
GRAND TOTAL	3898 SF

SHEET INDEX

- A-001 TITLE SHEET & GENERAL NOTES
- A-002 3D EXTERIOR VIEWS
- A-003 3D INTERIOR VIEWS
- A-101 MAIN LEVEL
- A-102 UPPER LEVEL
- A-103 ROOF PLAN
- A-104 SCHEDULES
- A-201 ELEVATIONS
- A-301 SECTIONS
- A-302 SECTIONS
- A-406 WALL DETAILS

PROJECT DESCRIPTION

GARAGE IV LIVING ABOVE

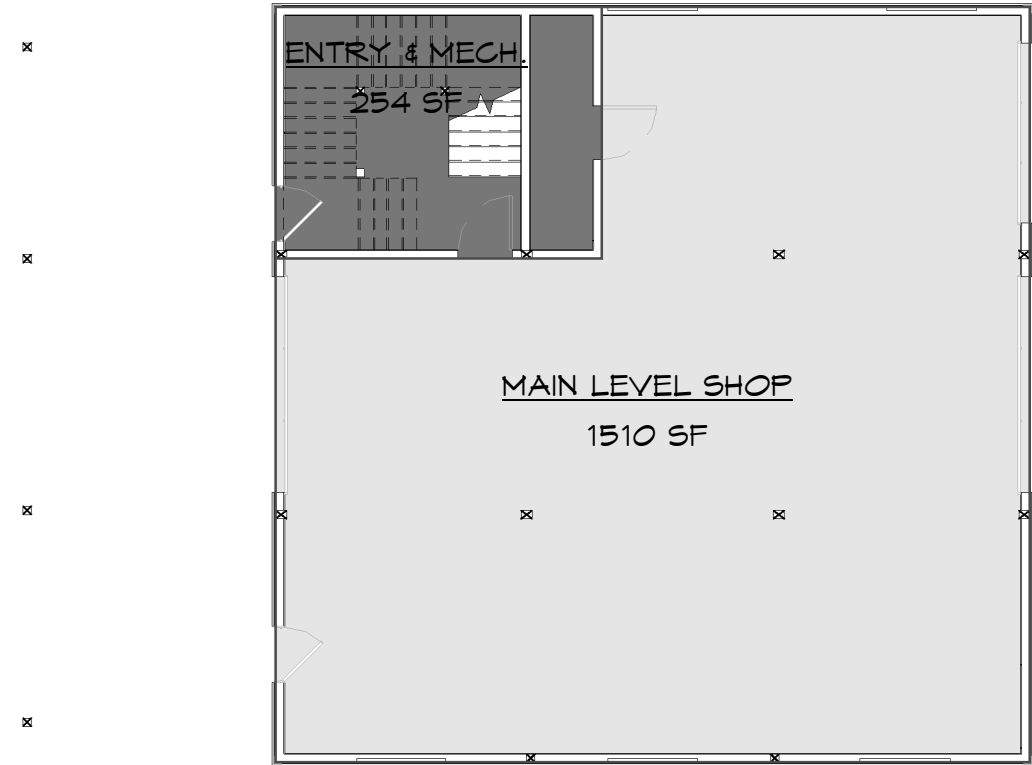
PROJECT DIRECTORY

OWNER
LUKE & CARISSA BERLET
23465 WILLOW ISLAND TRAIL
STEAMBOAT SPRINGS, CO 80477
P: 970-848-1816
E: LUKE@BERLETROOFING.COM

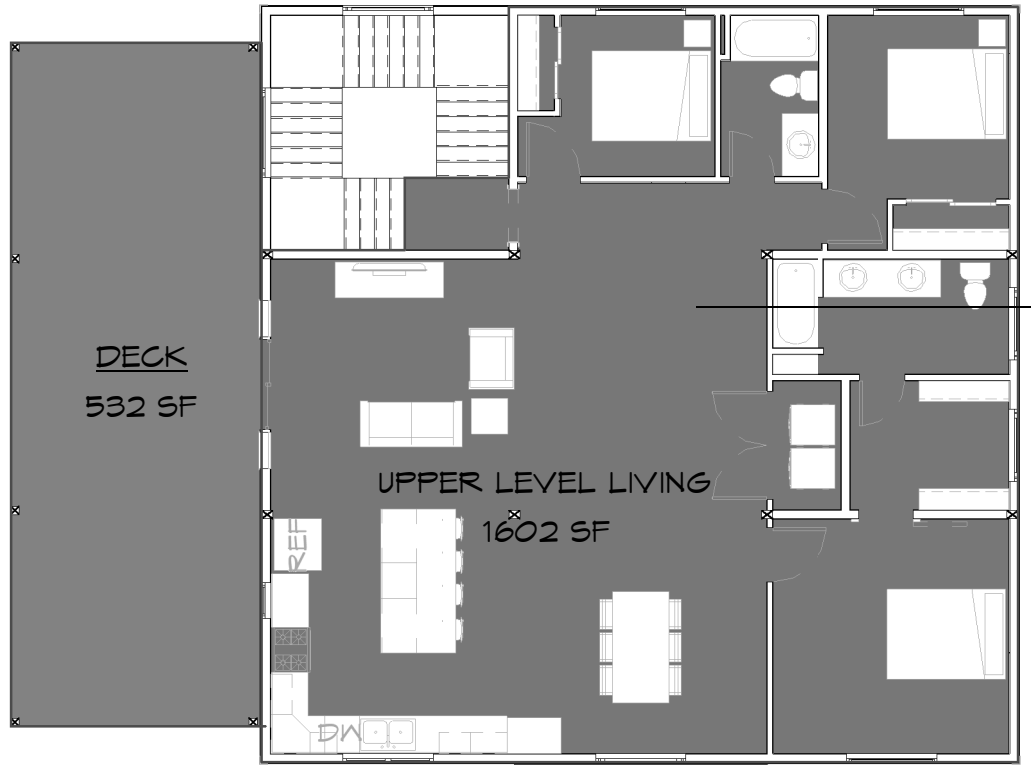
CONTRACTOR
REGISTERED DESIGN PROFESSIONAL
ECLIPSE ENGINEERING, P.C.
2140 SW JEFFERSON ST., SUITE 200
PORTLAND, OR 97201
CONTACT: SCOTT RATTERMAN, P.E.
503.595.1224
SRATTERMAN@ECLIPSE-ENGINEERING.COM

BERLET 'SHASTA'

38980 MAIN STREET
MILNER, CO 80477



1 MAIN LEVEL AREA PLAN
3/32" = 1'-0"



2 UPPER LEVEL AREA PLAN
3/32" = 1'-0"

DISCLAIMER:
ALL 3D IMAGES ARE AN APPROXIMATE ONLY. ALL 3D IMAGES ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY. 2D DRAWINGS SHALL SUPERCEDE ALL ITEMS SHOWN ON 3D IMAGES. THIS SHEET IS PROVIDED AS A REPRESENTATION AND IS 'NOT FOR CONSTRUCTION'



NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index
No. Date Description

LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

TITLE SHEET
& GENERAL
NOTES

A-001

DRAWN BY
KASH
8/20/2024 12:10:56 PM

DISCLAIMER:
ALL 3D IMAGES ARE AN APPROXIMATE ONLY. ALL 3D IMAGES ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY. 2D DRAWINGS SHALL SUPERCEDE ALL ITEMS SHOWN ON 3D IMAGES. THIS SHEET IS PROVIDED AS A REPRESENTATION AND IS NOT FOR CONSTRUCTION.

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index

No.	Date	Description
-----	------	-------------

LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

3D
EXTERIOR
VIEWS

A-002

DRAWN BY
KASH
8/20/2024 12:11:06 PM



1 3D EXTERIOR VIEW A



2 3D EXTERIOR VIEW B



3 3D EXTERIOR VIEW C



4 3D EXTERIOR VIEW D

DISCLAIMER:
ALL 3D IMAGES ARE AN APPROXIMATE ONLY. ALL 3D IMAGES ARE SHOWN FOR ILLUSTRATION PURPOSES ONLY. 2D DRAWINGS SHALL SUPERCEDE ALL ITEMS SHOWN ON 3D IMAGES. THIS SHEET IS PROVIDED AS A REPRESENTATION AND IS NOT FOR CONSTRUCTION.

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index

No. Date Description

LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

3D INTERIOR
VIEWS

A-003

DRAWN BY
KASH
8/20/2024 12:11:20 PM



1 3D INTERIOR VIEW @ GARAGE 1



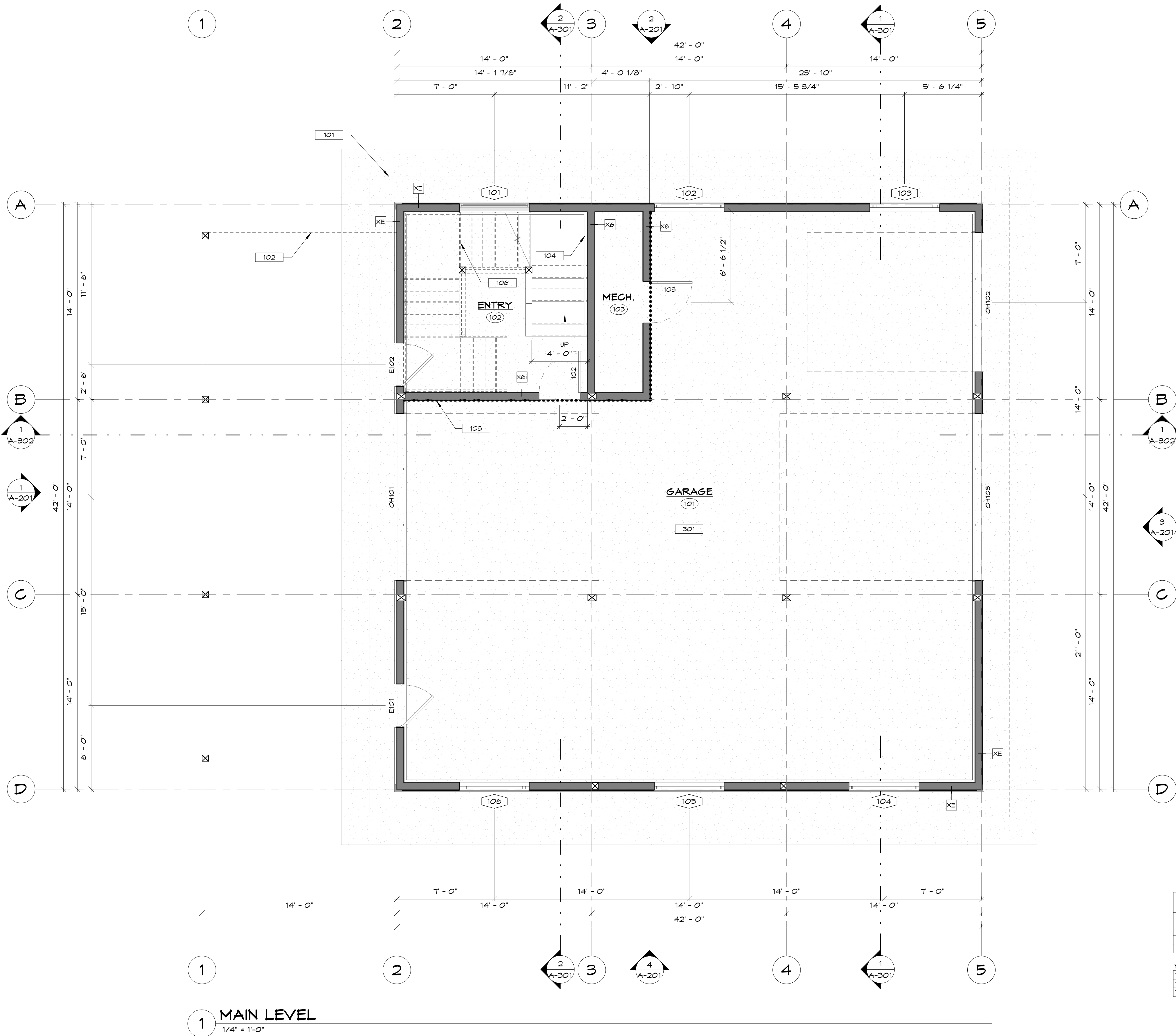
2 3D INTERIOR VIEW @ GARAGE 2



3 3D INTERIOR VIEW @ KITCHEN & DINING 1



4 3D INTERIOR VIEW @ KITCHEN & DINING 2



1 MAIN LEVEL
1/4" = 1'-0"

KEYNOTES	
101	ROOF LINE ABOVE
102	DECK LINE ABOVE
103	(1) LAYER 5/8" TYPE 'X' GNB FINISH, ONE-HOUR RATED, FBO
104	HANDRAIL, FBO
106	STAIR FRAMING, FB DCS
301	8" SLAB - CONCRETE W/ RADIANT TUBING PER STRUCTURAL, FBO

AREA - CONDITIONED SPACE	
NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING & HEAD CLEARANCE ABOVE 48"	
CONDITIONED	
ENTRY & MECH.	254 SF
UPPER LEVEL LIVING	1602 SF
OUTDOOR DECK	1856 SF
UNCONDITIONED	
MAIN LEVEL SHOP	1510 SF
GRAND TOTAL	3898 SF

Door Schedule - Level						
SEE SCHEDULES SHEET FOR DOOR TYPES AND COMPLETE SCHEDULE						
Mark	Type	Width	Height	Operation	Provided By	Comments
MAIN LEVEL						
EXTERIOR						
E101	F	3' - 0"	6' - 8"	HALF-LITE	FBO	
E102	F	3' - 0"	6' - 8"	HALF-LITE	FBO	
OH101	J	12' - 0"	14' - 0"	OVERHEAD - GLASS	FBO	FROSTED GLASS
OH102	J	12' - 0"	12' - 0"	OVERHEAD - GLASS	FBO	FROSTED GLASS
OH103	J	12' - 0"	14' - 0"	OVERHEAD - GLASS	FBO	FROSTED GLASS
INTERIOR						
102	A	3' - 0"	6' - 8"	SWING	FBO	20 MIN. FIRE RATED
103	A	3' - 0"	6' - 8"	SWING	FBO	20 MIN. FIRE RATED

Window Schedule - Level								
SEE SCHEDULES SHEET FOR WINDOW TYPES AND COMPLETE SCHEDULE								
Mark	Type	Rough Opening Width	Height	Head Height (BTM of HDR)	Sill Height (TOP of SILL)	Operation	Provided By	Comments
MAIN LEVEL								
101	D	5' - 0"	1' - 6"	14' - 0"	12' - 6"	FIXED	FBO	TEMPERED
102	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNING BELOW	FBO	TEMPERED
103	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNING BELOW	FBO	TEMPERED
104	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNING BELOW	FBO	TEMPERED
105	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNING BELOW	FBO	TEMPERED
106	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNING BELOW	FBO	TEMPERED

Room Schedule - Level							
NOTE: ROOM AREA MEASURED FROM INTERIOR OF STUD WALL OR USEABLE SPACE.							
Number	Name	Area	Floor Finish	Wall Finish	Ceiling	Height	Comments
MAIN LEVEL							
101	GARAGE	1441 SF	CONCRETE, FBO	FBO	5/8" TYPE 'X' GNB, FBO	15' - 0"	
102	ENTRY	111 SF	CONCRETE, FBO	FBO	GNB, FBO	VARIES	
103	MECH.	45 SF	CONCRETE, FBO	FBO	5/8" TYPE 'X' GNB, FBO	15' - 0"	
		1657 SF					

FLOOR PLAN GENERAL NOTES

NOTES APPLY TO SHEETS A-101 AND A-102 ONLY.

- REFERENCE SHEET A-104 FOR COMPLETE WINDOW & DOOR SCHEDULES.
- REFERENCE SHEET A-401 FOR WALL TYPES AND DETAILS.

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES AS INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index		
No.	Date	Description

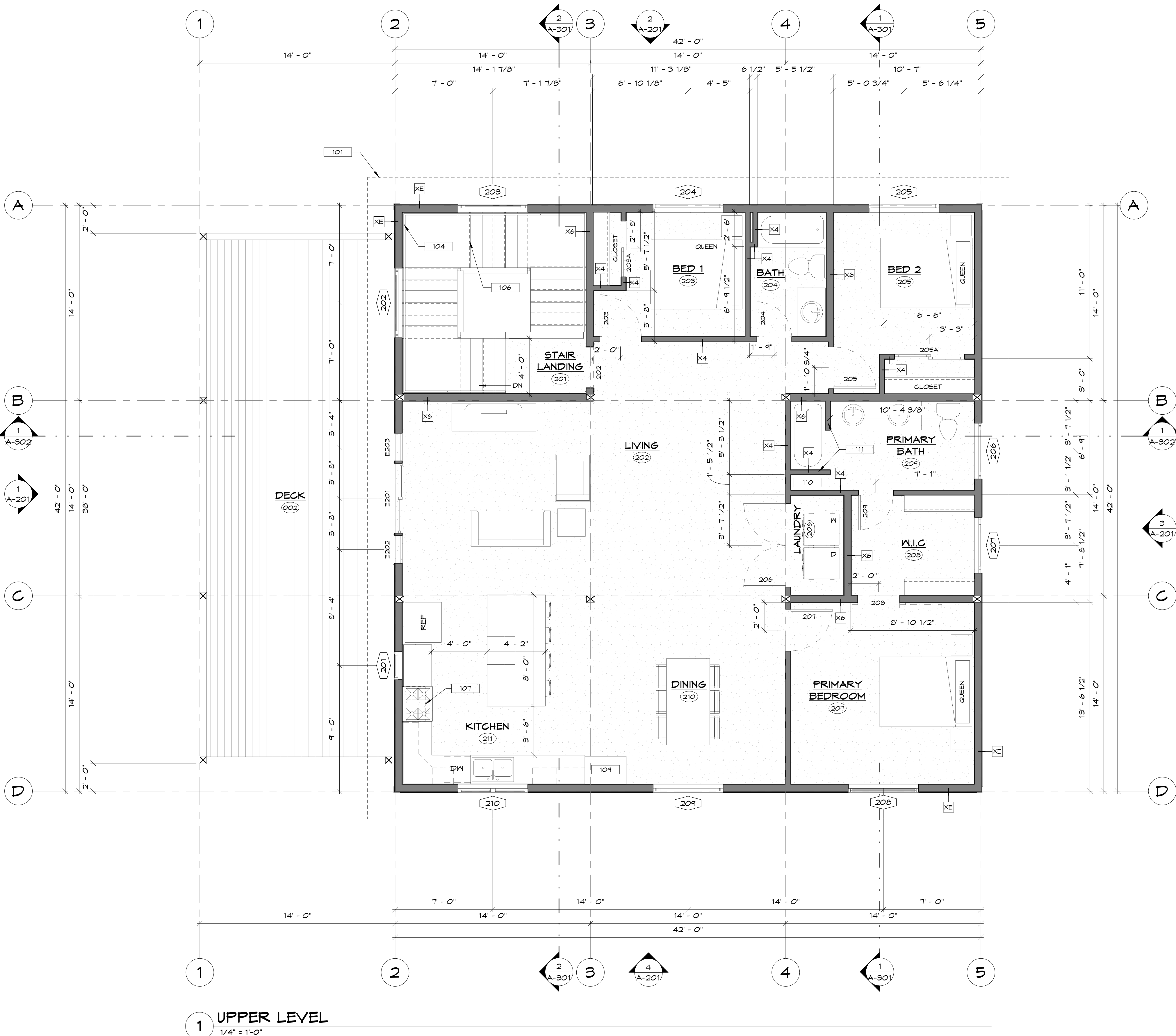
LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

MAIN LEVEL

A-101



1 UPPER LEVEL
1/4" = 1'-0"

KEYNOTES	
101	ROOF LINE ABOVE
104	HANDRAIL, FBO
106	STAIR FRAMING, FB DCS
107	HOOD & VENT ABOVE, FBO
109	PANTRY CABINET
110	LINEN CABINET
111	8'-0" TALL WALL

AREA - CONDITIONED SPACE	
NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING & HEAD CLEARANCE ABOVE 48"	
CONDITIONED	
ENTRY & MECH.	254 SF CONDITIONED
UPPER LEVEL LIVING	1602 SF CONDITIONED
	1856 SF
OUTDOOR	
DECK	532 SF OUTDOOR
	532 SF
UNCONDITIONED	
MAIN LEVEL SHOP	1510 SF UNCONDITIONED
	1510 SF
GRAND TOTAL	3848 SF

Door Schedule - Level						
SEE SCHEDULES SHEET FOR DOOR TYPES AND COMPLETE SCHEDULE						
Mark	Type	Width	Height	Operation	Provided By	Comments
UPPER LEVEL						
EXTERIOR						
E201	G	5' - 0"	6' - 8"	SLIDING - DOUBLE	FBO	
E202	H	2' - 0"	6' - 8"	FIXED - SIDELIGHT	FBO	
E203	H	2' - 0"	6' - 8"	FIXED - SIDELIGHT	FBO	
INTERIOR						
I202	IE	3' - 0"	6' - 8"	CASED OPENING	FBO	
I203	A	3' - 0"	6' - 8"	SWING	FBO	
I203A	B	4' - 0"	6' - 8"	SLIDING - CLOSET	FBO	
I204	A	2' - 6"	6' - 8"	SWING	FBO	
I205	A	3' - 0"	6' - 8"	SWING	FBO	
I205A	B	3' - 0"	6' - 8"	SLIDING - CLOSET	FBO	
I206	D	6' - 0"	8' - 0"	SWING - DOUBLE	FBO	
I207	A	3' - 0"	6' - 8"	SWING	FBO	
I208	C	3' - 0"	6' - 8"	BARN SLIDER	FBO	
I209	A	2' - 6"	6' - 8"	SWING	FBO	

Window Schedule - Level								
SEE SCHEDULES SHEET FOR WINDOW TYPES AND COMPLETE SCHEDULE								
Mark	Type	Rough Opening Width	Rough Opening Height	Head Height (BTM of HDR)	Sill Height (TOP of SILL)	Operation	Provided By	Comments
UPPER LEVEL								
I201	C	2' - 0"	3' - 0"	6' - 8"	3' - 8"	SINGLE HUNG	FBO	
I202	A	3' - 0"	3' - 0"	6' - 8"	1' - 8"	FIXED ABOVE w/ 18" TALL AWNING BELOW	FBO	TEMPERED
I203	A	5' - 0"	5' - 0"	6' - 8"	1' - 8"	FIXED ABOVE w/ 18" TALL AWNING BELOW	FBO	TEMPERED
I204	B	5' - 0"	5' - 0"	6' - 8"	1' - 8"	SINGLE HUNG	FBO	EGRESS
I205	B	5' - 0"	5' - 0"	6' - 8"	1' - 8"	SINGLE HUNG	FBO	EGRESS
I206	A	4' - 0"	4' - 0"	6' - 8"	2' - 8"	FIXED ABOVE w/ 18" TALL AWNING BELOW	FBO	
I207	A	4' - 0"	4' - 0"	6' - 8"	2' - 8"	FIXED ABOVE w/ 18" TALL AWNING BELOW	FBO	
I208	B	5' - 0"	5' - 0"	6' - 8"	1' - 8"	SINGLE HUNG	FBO	EGRESS
I209	A	5' - 0"	5' - 0"	6' - 8"	1' - 8"	FIXED ABOVE w/ 18" TALL AWNING BELOW	FBO	
I210	E	5' - 0"	3' - 0"	6' - 8"	3' - 8"	SLIDING	FBO	

Room Schedule - Level							
NOTE: ROOM AREA MEASURED FROM INTERIOR OF STUD WALL OR USEABLE SPACE.							
Number	Name	Area	Floor Finish	Wall Finish	Ceiling	Height	Comments
UPPER LEVEL							
002	DECK	524 SF	TREX, FBO	-	-	-	
201	STAIR LANDING	25 SF	FBO	FBO	GMB, FBO	-	
202	LIVING	459 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
203	BED 1	46 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
204	BATH	47 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
205	BED 2	130 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
206	LAUNDRY	27 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
207	PRIMARY BEDROOM	171 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
208	W.I.C	63 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
209	PRIMARY BATH	82 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
210	DINING	104 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
211	KITCHEN	102 SF	GYP-CRETE, FBO	FBO	GMB, FBO	VARIES	
		1445 SF					

FLOOR PLAN GENERAL NOTES

NOTES APPLY TO SHEETS A-101 AND A-102 ONLY.

- REFERENCE SHEET A-104 FOR COMPLETE WINDOW & DOOR SCHEDULES.
- REFERENCE SHEET A-401 FOR WALL TYPES AND DETAILS.

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index
No. Date Description

LUKE & CARISSA
BERLET

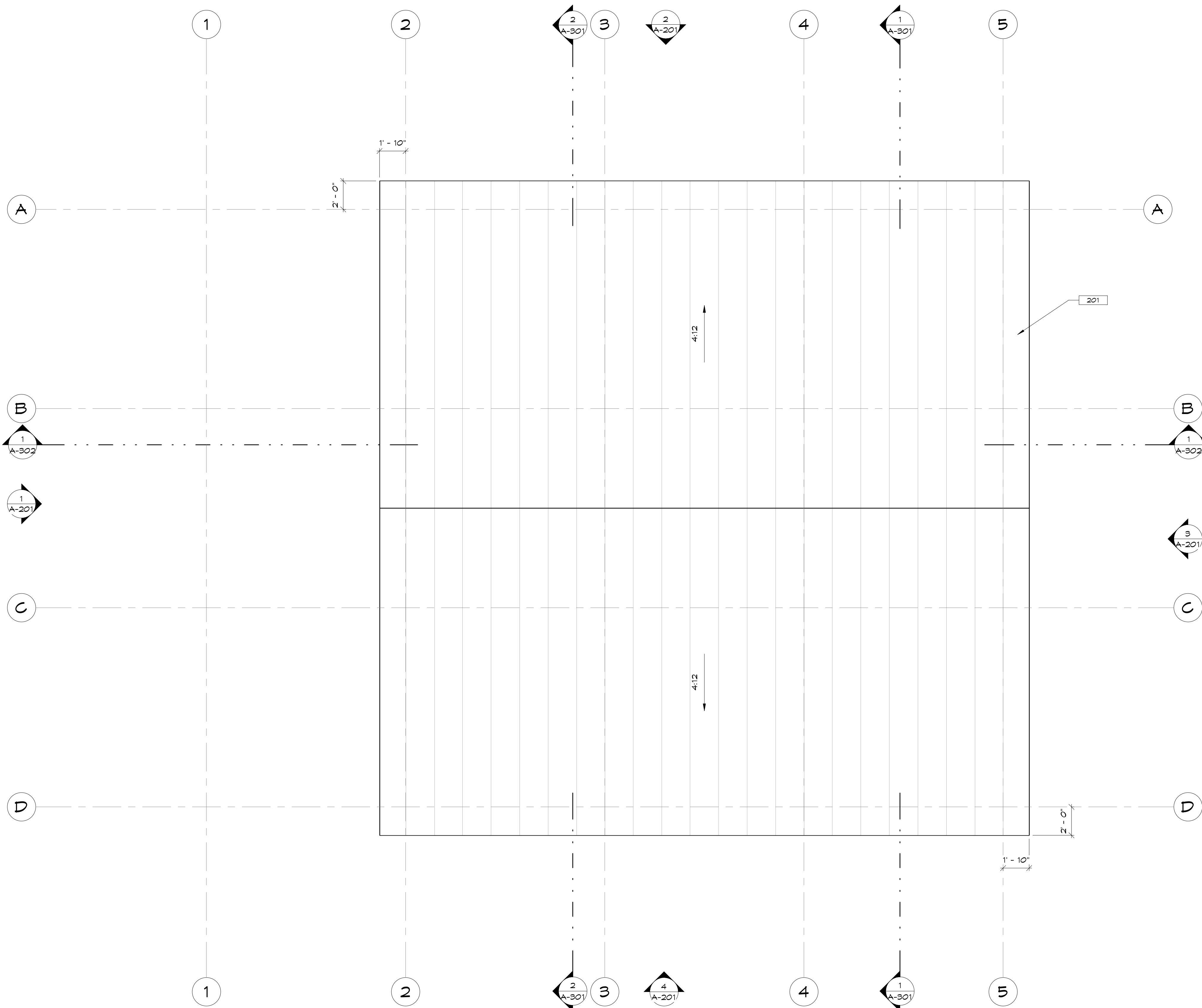
BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

UPPER
LEVEL

A-102

8/20/2024 12:11:27 PM



1 ROOF PLAN
1/4" = 1'-0"

KEYNOTES	
201	ROOFING MATERIAL - SUNSTYLE SOLAR PANELS 0/ SYNTHETIC UNDERLAYMENT, PBO

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS
OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE
DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE
WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index		
No.	Date	Description

LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

ROOF PLAN

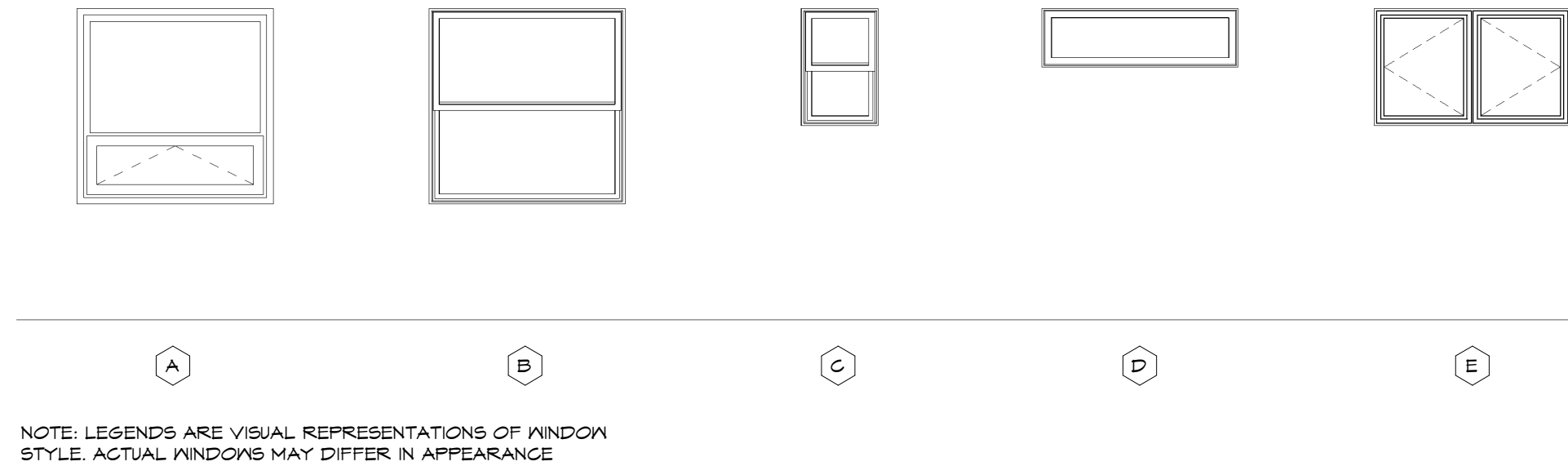
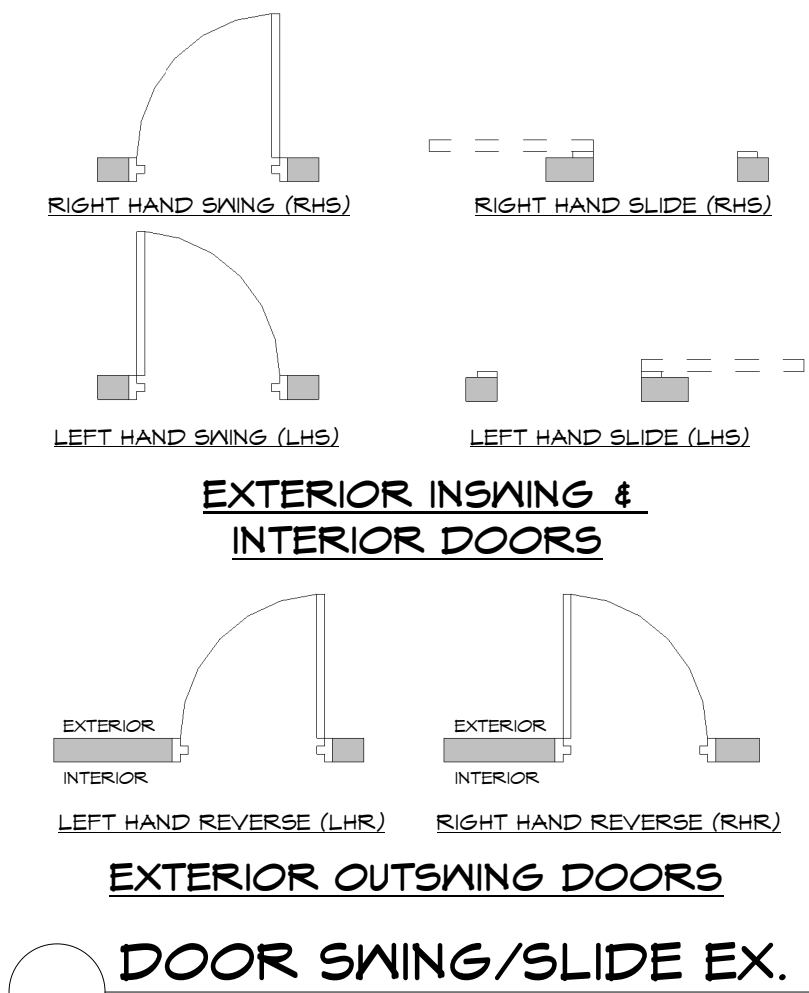
ROOF PLAN GENERAL NOTES

NOTES APPLY TO SHEET A-103 ONLY.

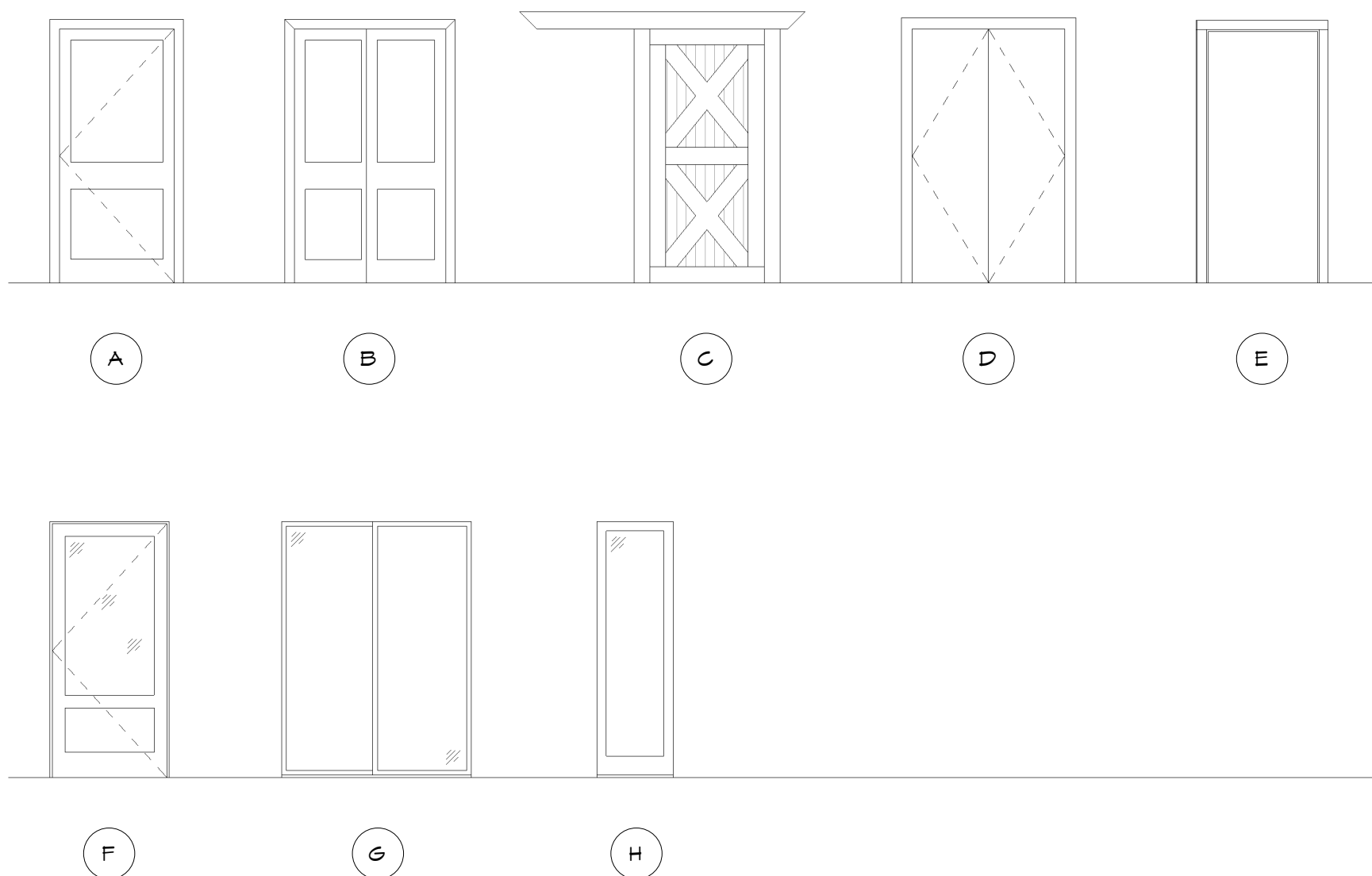
1. ROOFING MATERIALS TO BE PROVIDED BY OTHERS INCLUDE; ROOFING MATERIAL FINISH, MOISTURE BARRIER, VENTING, GUTTERS, FLASHING, NAILS, WATER PROOFING.

DRAWN BY
KASH
8/20/2024 12:11:27 PM

A-103



WINDOW TYPES



DOOR TYPES

AREA - CONDITIONED SPACE			
NOTE: CONDITIONED SPACE MEASURED FROM EXTERIOR SURFACES OF EXTERIOR FRAMING & HEAD CLEARANCE ABOVE 48"			
CONDITIONED			
ENTRY & MECH.	254 SF	CONDITIONED	
UPPER LEVEL LIVING	1602 SF	CONDITIONED	
OUTDOOR			
DECK	532 SF	OUTDOOR	
UNCONDITIONED			
MAIN LEVEL SHOP	1510 SF	UNCONDITIONED	
GRAND TOTAL	3845 SF		

KEYNOTES - FULL SCHEDULE	
101	ROOF LINE ABOVE
102	DECK LINE ABOVE
103	(1) LAYER 5/8" TYPE 'X' G&B FINISH, ONE-HOUR RATED, FBO
104	HANDRAIL, FBO
106	STAIR FRAMING, FB DCS
107	WOOD 1 VENT ABOVE, FBO
108	PANTRY CABINET
110	LINEN CABINET
111	8'-0" TALL WALL
201	ROOFING MATERIAL - SUNSTYLE SOLAR PANELS o/ SYNTHETIC UNDERLAYMENT, FBO
202	SIDING - METAL STANDING SEAM o/ MRB, FBO
203	CORNER TRIM - METAL, FBO
204	WINDOW & DOOR TRIM - METAL, FBO
205	FASCIA - METAL, FBO
206	RAILING - CABLE, FBO, TOP CAP & BOTTOM RAIL, FB DCS
208	SOFFIT - 1x6 T&G INSTALLED BETWEEN RAFTER BAYS, FB DCS
210	POST KNEE BRACE - TIMBER FRAMED, FB DCS
211	FROSTED GLASS ON OVERHEAD DOORS
212	WANSBOT - STONE WANSBOT, METAL TRIM & FLASHING, FBO
213	GUTTERS, FBO
214	RAILING POSTS, FB DCS
215	DECK TRIM, FBO
301	6" SLAB - CONCRETE w/ RADIANT TUBING PER STRUCTURAL, FBO
302	4" SLAB - CONCRETE, SLOPED 1/8"/1'-0" AWAY FROM STRUCTURE PER STRUCTURAL, FBO
303	STEM WALL - 8" WIDE STEM WALL PER STRUCTURAL, FBO
304	FOOTING - CONTINUOUS SPREAD FOOTING PER STRUCTURAL, FBO
305	JOIST - 14" TALL OPEN KEBBED FLOOR TRUSSES PER STRUCTURAL, FB DCS
306	FLOOR - 1 1/8" PT FLOOR SHEATHING, FB DCS; w/ 1 1/2" GYP-CRETE w/ RADIANT TUBING PER STRUCTURAL, FBO
307	RAFTER - 2x12 PER STRUCTURAL, FB DCS

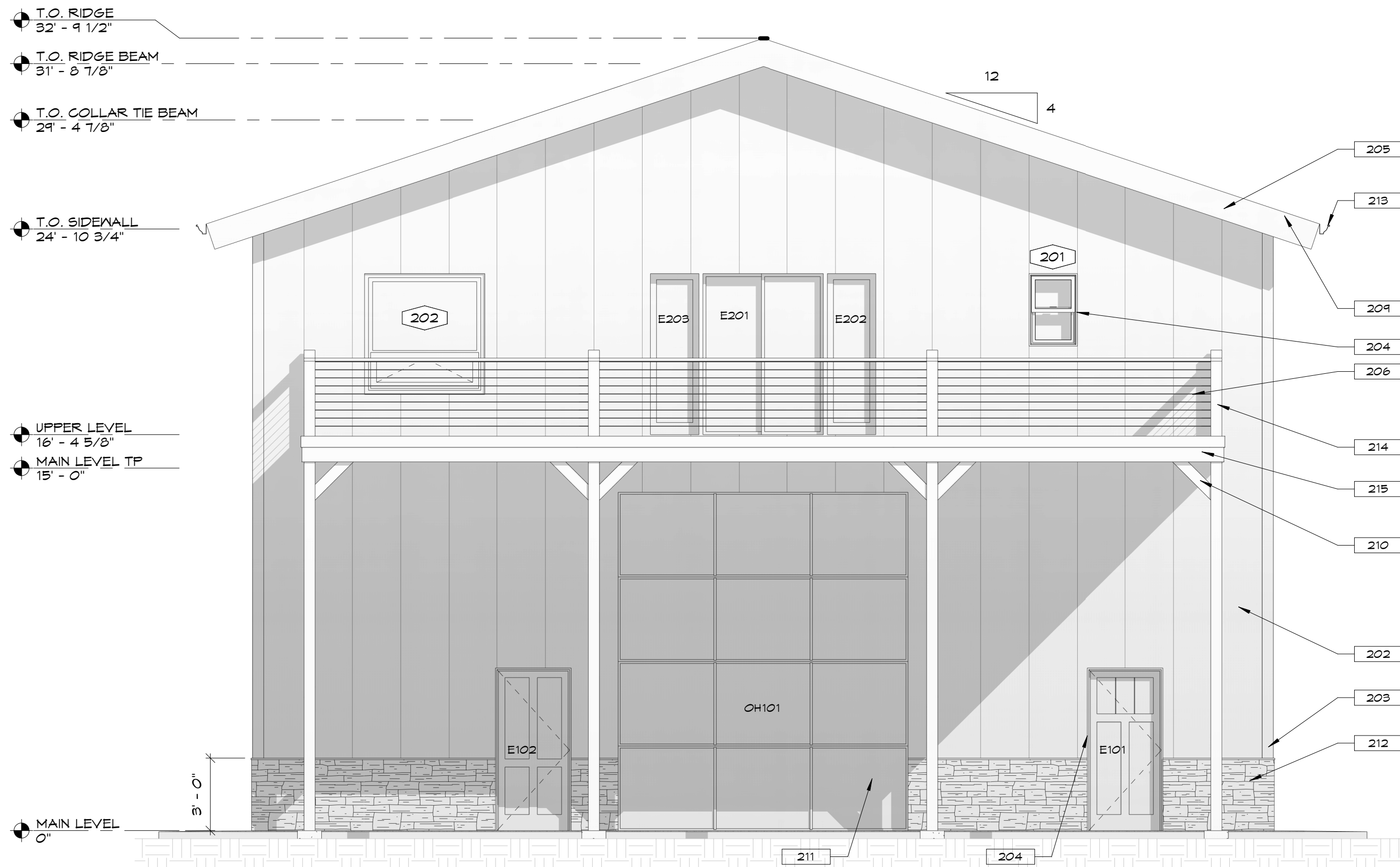
Room Schedule							
NOTE: ROOM AREA MEASURED FROM INTERIOR OF STUD WALL OR USEABLE SPACE.							
Number	Name	Area	Floor Finish	Wall Finish	Celling Material	Height	Comments
MAIN LEVEL							
101	GARAGE	1441 SF	CONCRETE, FBO	FBO	5/8" TYPE 'X' G&B, FBO	15' - 0"	
102	ENTRY	171 SF	CONCRETE, FBO	FBO	G&B, FBO	VARIES	
103	MECH.	45 SF	CONCRETE, FBO	FBO	5/8" TYPE 'X' G&B, FBO	15' - 0"	
UPPER LEVEL							
202	DECK	529 SF	TREX, FBO	-	-	-	
201	STAIR LANDING	25 SF	FBO	FBO	G&B, FBO	-	
202	LIVING	453 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
203	BED 1	96 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
204	BATH	41 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
205	BED 2	130 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
206	LAUNDRY	27 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
207	PRIMARY BEDROOM	111 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
205	K/LC	63 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
208	PRIMARY BATH	82 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
210	DINING	184 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
211	KITCHEN	182 SF	GYP-CRETE, FBO	FBO	G&B, FBO	VARIES	
		3852 SF					

Window Schedule											
NOTE: REFERENCE MANUFACTURER SPECS FOR WINDOW INSTALLATION. DIMENSIONS ARE APPROXIMATE, VERIFY MANUFACTURER SPECIFICATIONS FOR EXACT SIZE.											
Mark	Type	Rough Opening Width	Head Height (BTM of HDR)	Sill Height (TOP of HDR)	Operation	Finish Color		U Factor	Provided By	Comments	
		Width	Height			Interior	Exterior				
MAIN LEVEL											
101	D	5' - 0"	1' - 6"	14' - 0"	12' - 6"	FIXED	BLACK	BLACK	0.3	FBO	TEMPERED
102	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
103	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
104	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
105	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
106	A	5' - 0"	5' - 0"	10' - 0"	5' - 0"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
UPPER LEVEL											
201	C	2' - 0"	3' - 0"	6' - 8"	3' - 8"	SINGLE HUNG	BLACK	WHITE	0.3	FBO	
202	A	5' - 0"	5' - 0"	6' - 8"	1' - 8"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
203	A	5' - 0"	5' - 0"	6' - 8"	1' - 8"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	TEMPERED
204	B	5' - 0"	5' - 0"	6' - 8"	1' - 8"	SINGLE HUNG	BLACK	BLACK	0.3	FBO	EGRESS
205	B	5' - 0"	5' - 0"	6' - 8"	1' - 8"	SINGLE HUNG	BLACK	BLACK	0.3	FBO	EGRESS
206	A	4' - 0"	4' - 0"	6' - 8"	2' - 8"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	
207	A	4' - 0"	4' - 0"	6' - 8"	2' - 8"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	
208	B	5' - 0"	5' - 0"	6' - 8"	1' - 8"	SINGLE HUNG	BLACK	BLACK	0.3	FBO	EGRESS
208	A	5' - 0"	5' - 0"	6' - 8"	1' - 8"	FIXED ABOVE w/ 18" TALL ANNINS BELOW	BLACK	BLACK	0.3	FBO	
210	E	5' - 0"	3' - 0"	6' - 8"	3' - 8"	GLIDING	BLACK	BLACK	0.3	FBO	
Grand total: 16											

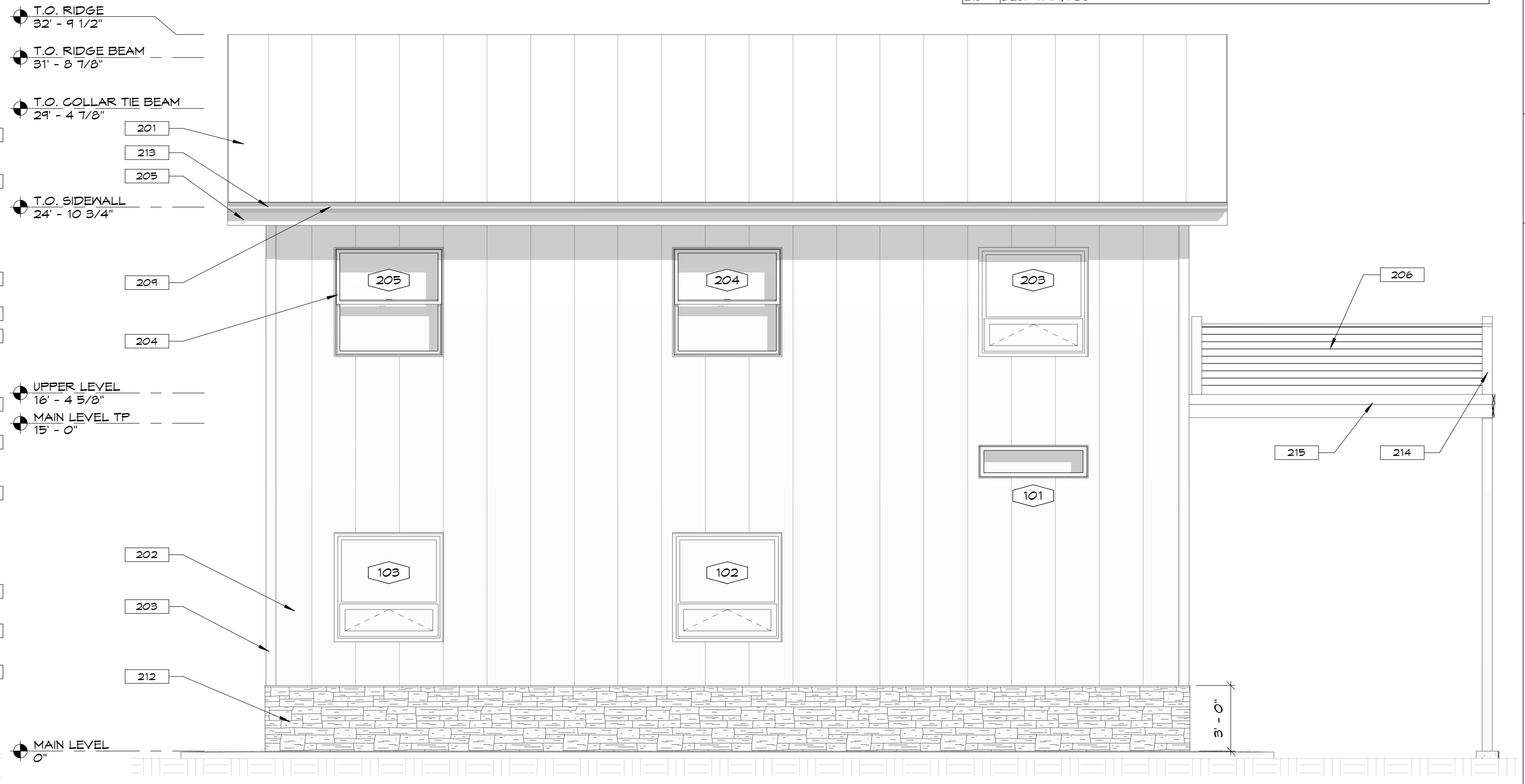
Door Schedule									
NOTE: REFERENCE MANUFACTURER SPECS FOR WINDOW INSTALLATION. DIMENSIONS ARE APPROXIMATE, VERIFY MANUFACTURER SPECIFICATIONS FOR EXACT SIZE.									
Mark	Type	Width	Height	Operation	Door Swing	Finish	Grade	Provided By	Comments
MAIN LEVEL									
EXTERIOR									
E101	F	3' - 0"	6' - 8"	HALF-LITE	RHS	GLASS	EXTERIOR	FBO	
E102	F	3' - 0"	6' - 8"	HALF-LITE	RHS	GLASS	EXTERIOR	FBO	
OH101	J	12' - 0"	14' - 0"	OVERHEAD - GLASS	-	GLASS	EXTERIOR	FBO	FROSTED GLASS
OH102	J	10' - 0"	12' - 0"	OVERHEAD - GLASS	-	GLASS	EXTERIOR	FBO	FROSTED GLASS
OH103	J	12' - 0"	14' - 0"	OVERHEAD - GLASS	-	GLASS	EXTERIOR	FBO	FROSTED GLASS
INTERIOR									
102	A	3' - 0"	6' - 8"	SWING	RHS	-	INTERIOR	FBO	20 MIN. FIRE RATED
103	A	3' - 0"	6' - 8"	SWING	RHS	-	INTERIOR	FBO	20 MIN. FIRE RATED
UPPER LEVEL									
EXTERIOR									
E201	G	5' - 0"	6' - 8"	SLIDING - DOUBLE	-	GLASS	EXTERIOR	FBO	
E202	H	2' - 0"	6' - 8"	FIXED - SIDELIGHT	-	GLASS	EXTERIOR	FBO	
E203	H	2' - 0"	6' - 8"	FIXED - SIDELIGHT	-	GLASS	EXTERIOR	FBO	
INTERIOR									
202	E	3' - 0"	6' - 8"	CASED OPENING	-	-	INTERIOR	FBO	
203	A	3' - 0"	6' - 8"	SWING	LHS	-	INTERIOR	FBO	
203A	B	4' - 0"	6' - 8"	SLIDING - CLOSET	-	-	INTERIOR	FBO	
204	A	2' - 6"	6' - 8"	SWING	RHS	-	INTERIOR	FBO	
205	A	3' - 0"	6' - 8"	SWING	LHS	-	INTERIOR	FBO	
205A	B	5' - 0"	6' - 8"	SLIDING - CLOSET	-	-	INTERIOR	FBO	
206	D	6' - 0"	8' - 0"	SWING - DOUBLE	-	-	INTERIOR	FBO	
207	A	3' - 0"	6' - 8"	SWING	RHS	-	INTERIOR	FBO	
208	C	3' - 0"	6' - 8"	BARN SLIDER	RHS	-	INTERIOR	FBO	
208	A	2' - 6"	6' - 8"	SWING	LHS	-	INTERIOR	FBO	
Grand total: 20									



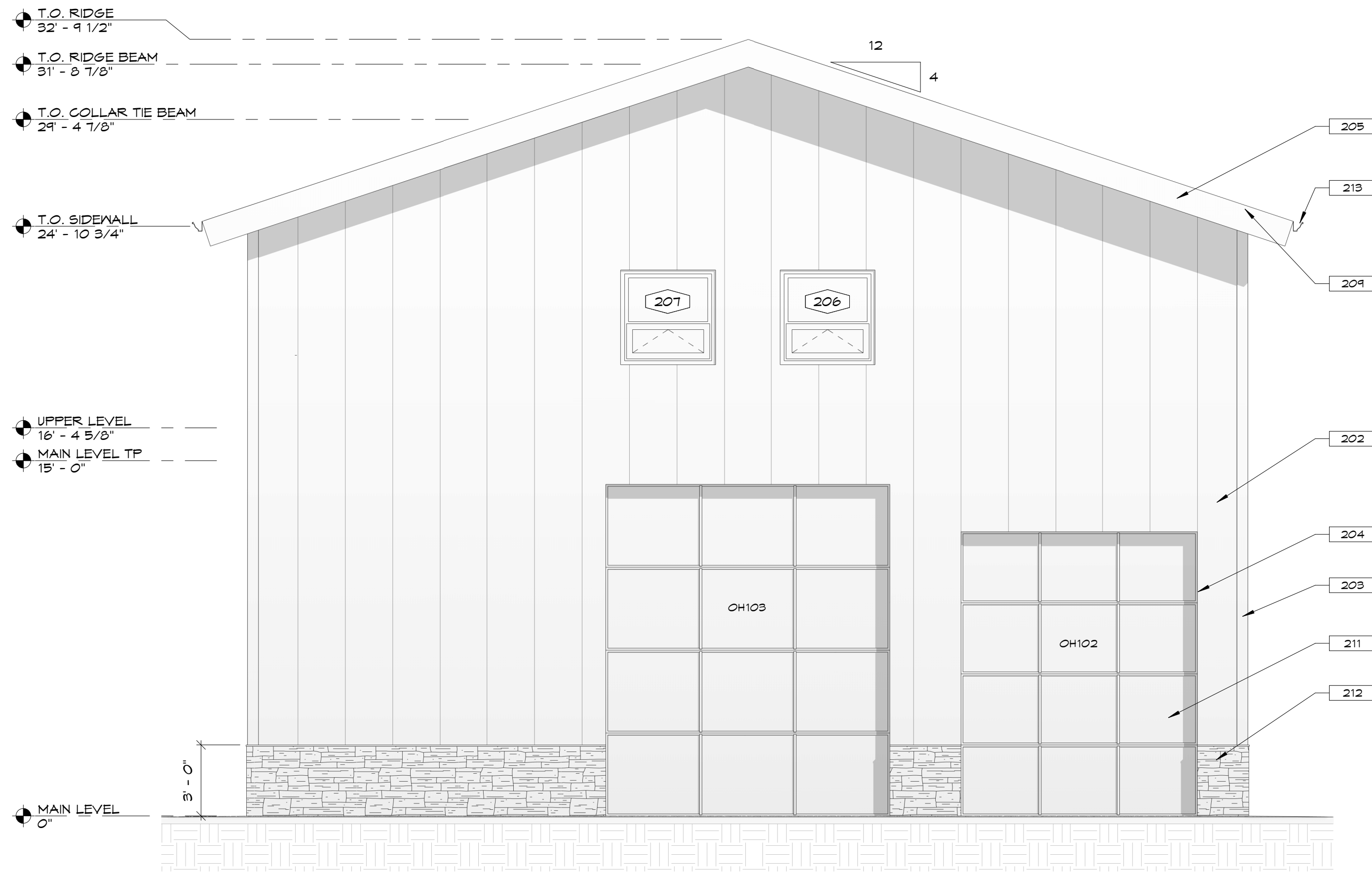
8/20/2024 12:11:43 PM



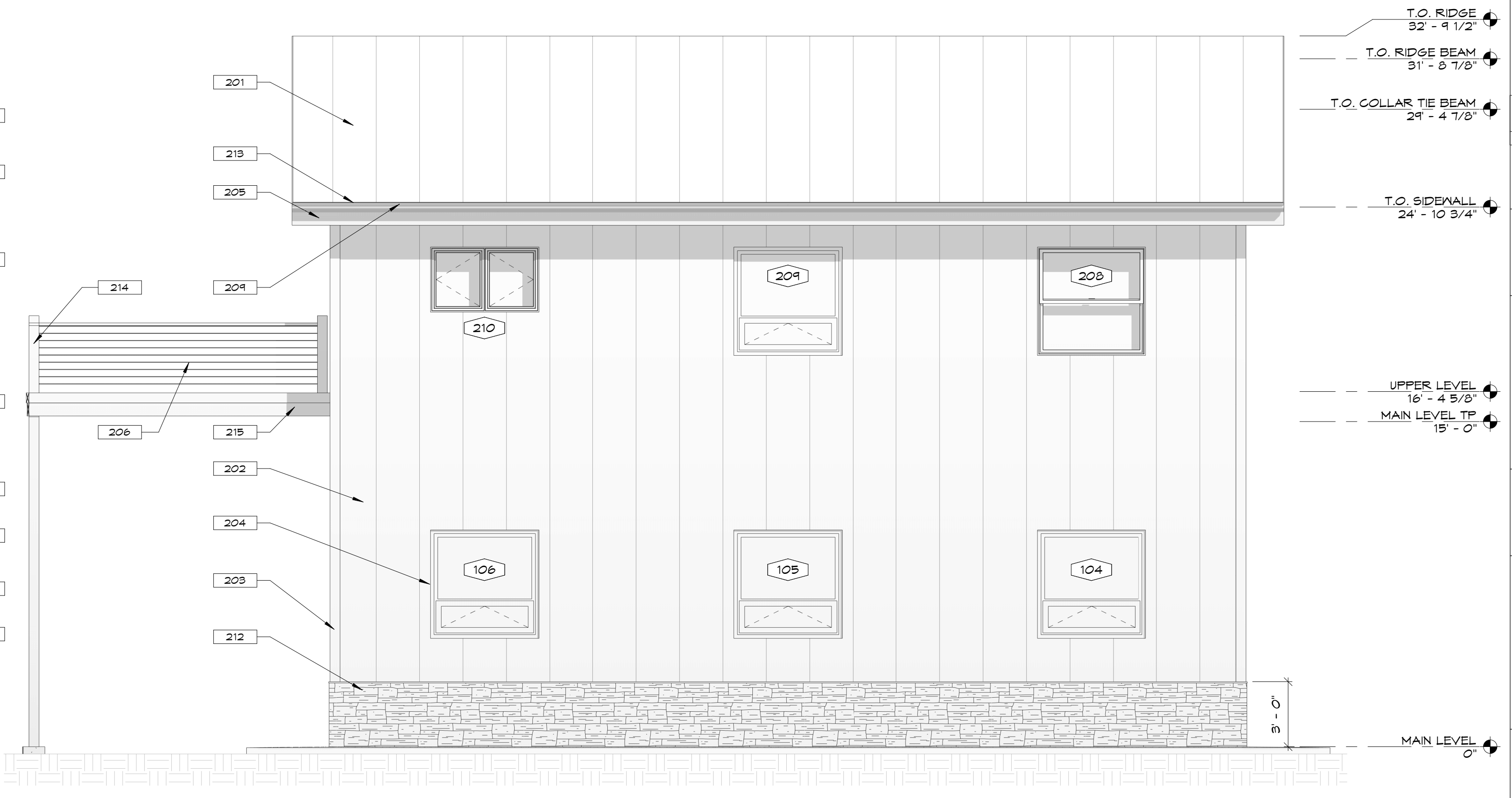
1 FRONT (W)
1/4" = 1'-0"



2 LEFT (N)
1/4" = 1'-0"



3 REAR (E)
1/4" = 1'-0"



4 RIGHT (S)
1/4" = 1'-0"

KEYNOTES	
201	ROOFING MATERIAL - SUNSTYLE SOLAR PANELS o/ SYNTHETIC UNDERLAYMENT, FBO
202	SIDING - METAL STANDING SEAM o/ MFB, FBO
203	CORNER TRIM - METAL, FBO
204	WINDOW & DOOR TRIM - METAL, FBO
205	FASCIA - METAL, FBO
206	RAILING - CABLE, FBO, TOP CAP & BOTTOM RAIL, PB DCS
209	SOFFIT - 1x6 T&S INSTALLED BETWEEN RAFTER BAYS, PB DCS
210	POST KNEE BRACE - TIMBER FRAMED, PB DCS
211	FROSTED GLASS ON OVERHEAD DOORS
212	WAINSCOT - STONE WAINSCOT, METAL TRIM & FLASHING, FBO
213	GUTTERS, FBO
214	RAILING POSTS, PB DCS
215	DECK TRIM, FBO

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES AS INSTRUMENTS OF PROFESSIONAL SERVICE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index

No.	Date	Description
-----	------	-------------

LUKE & CARISSA
BERLET

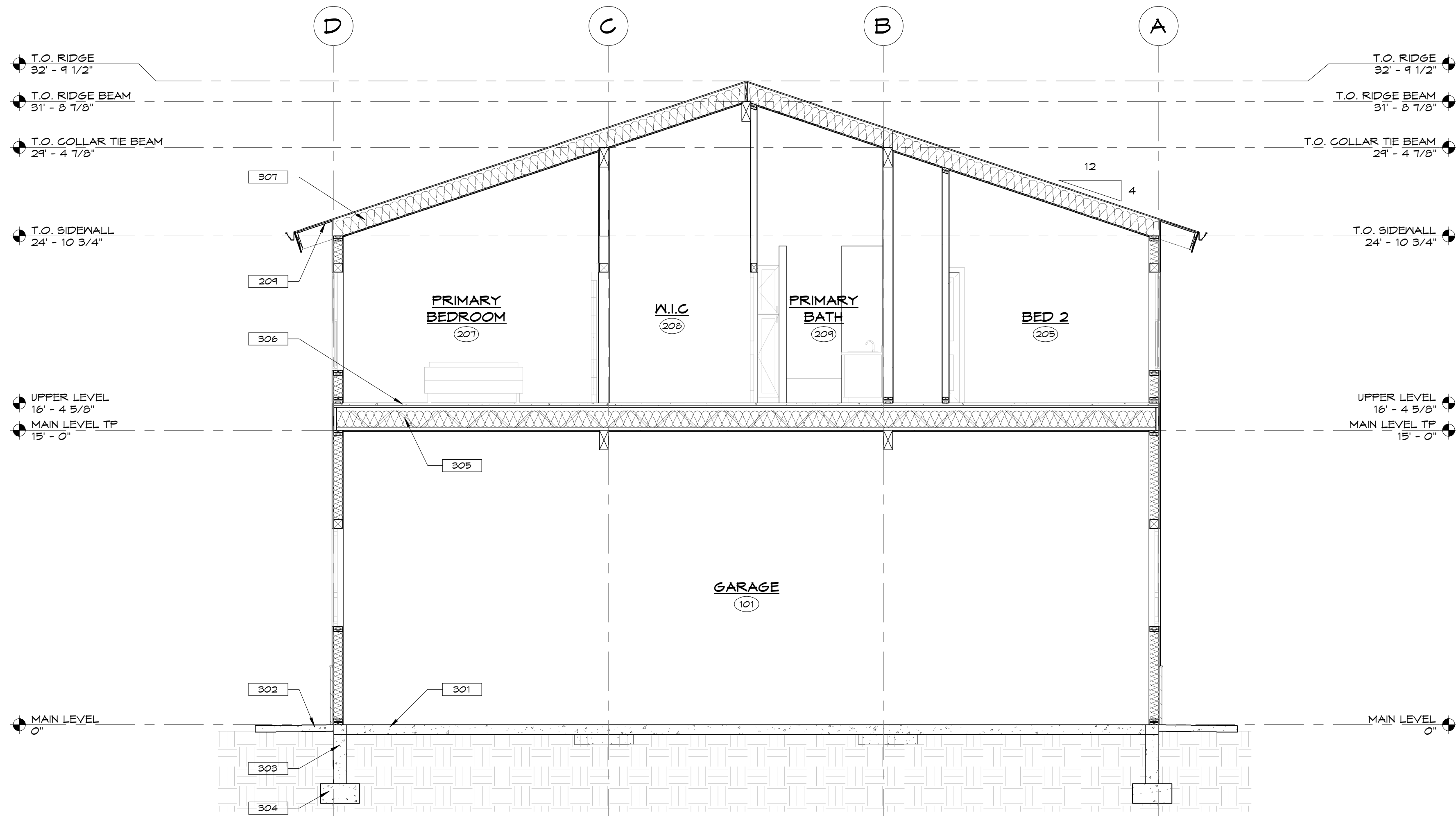
BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

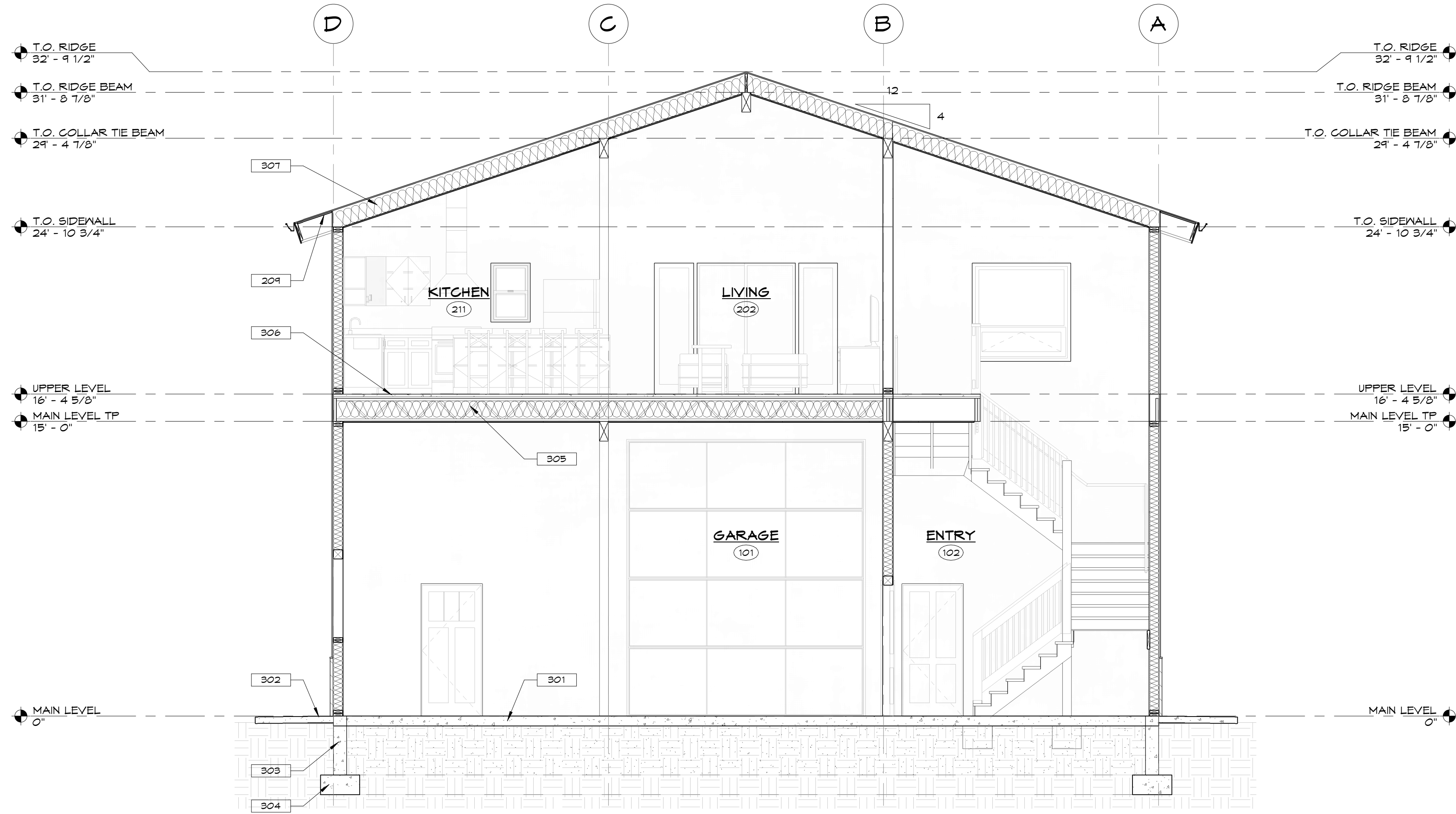
ELEVATIONS

A-201

DRAWN BY
KASH
8/20/2024 12:11:43 PM



1 BUILDING SECTION A
1/4" = 1'-0"



2 BUILDING SECTION B
1/4" = 1'-0"

KEYNOTES

209	SOFFIT - 1x6 T&G INSTALLED BETWEEN RAFTER BAYS, PB DCS
301	6" SLAB - CONCRETE W/ RADIANT TUBING PER STRUCTURAL, PBO
302	4" SLAB - CONCRETE, SLOPED 1/8"/1'-0" AWAY FROM STRUCTURE PER STRUCTURAL, PBO
303	STEM WALL - 8" WIDE STEM WALL PER STRUCTURAL, PBO
304	FOOTING - CONTINUOUS SPREAD FOOTING PER STRUCTURAL, PBO
305	JOIST - 14" TALL OPEN WEBBED FLOOR TRUSSES PER STRUCTURAL, PB DCS
306	FLOOR - 1 1/2" FT FLOOR SHEATHING, PB DCS; W/ 1 1/2" GYP-CRETE W/ RADIANT TUBING PER STRUCTURAL, PBO
307	RAFTER - 2x12 PER STRUCTURAL, PB DCS

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS
OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE
DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE
WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index

No.	Date	Description
-----	------	-------------

LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

SECTIONS

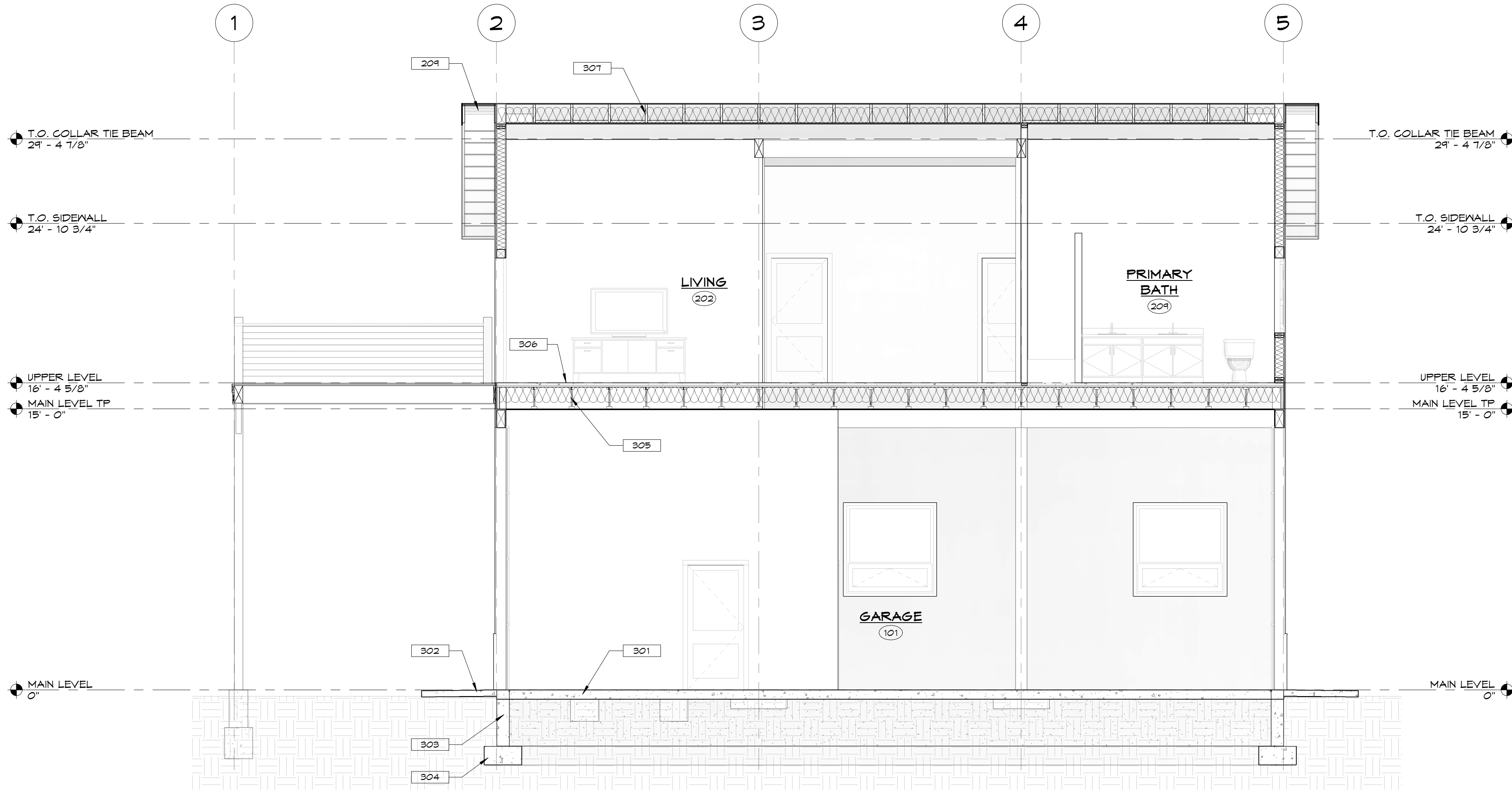
A-301

DRAWN BY
KASH
8/20/2024 12:11:47 PM

SECTION GENERAL NOTES

NOTES APPLY TO SHEETS A-301 AND A-302 ONLY.

- CLIMATE ZONE 7B:
 - WINDOWS:
 - FENESTRATION U-FACTOR: U-0.30 MIN.
 - SKYLIGHT U-FACTOR: U-0.55 MIN.
 - GLAZED FENESTRATION SHGC: NR
 - INSULATION:
 - CEILING R-VALUE: R-60 MIN.
 - WOOD FRAME WALL R-VALUE: R-30 OR 2045C1 OR 18410C1 OR 04220C1
 - 1" SPRAY FOAM FLASH, BATT INSULATION
 - FLOOR R-VALUE: R-39 MIN.
 - FOUNDATION:
 - SLAB R-VALUE AND DEPTH: 10C1, 4 FT



BUILDING SECTION C
1/4" = 1'-0"

KEYNOTES	
209	SOFFIT - 1x6 T&G INSTALLED BETWEEN RAFTER BAYS, PB DCS
301	6" SLAB - CONCRETE W/ RADIANT TUBING PER STRUCTURAL, PBO
302	4" SLAB - CONCRETE, SLOPED 1/8"/1'-0" AWAY FROM STRUCTURE PER STRUCTURAL, PBO
303	STEM WALL - 8" WIDE STEM WALL PER STRUCTURAL, PBO
304	FOOTING - CONTINUOUS SPREAD FOOTING PER STRUCTURAL, PBO
305	JOIST - 14" TALL OPEN WEBBED FLOOR TRUSSES PER STRUCTURAL, PB DCS
306	FLOOR - 1 1/2" FT FLOOR SHEATHING, PB DCS; W/ 1 1/2" GYP-CRETE W/ RADIANT TUBING PER STRUCTURAL, PBO
307	RAFTER - 2x12 PER STRUCTURAL, PB DCS

NOT FOR
CONSTRUCTION



11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES AS INSTRUMENTS
OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE
DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE
WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index		
No.	Date	Description

LUKE & CARISSA
BERLET

BERLET
'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

SECTIONS

A-302

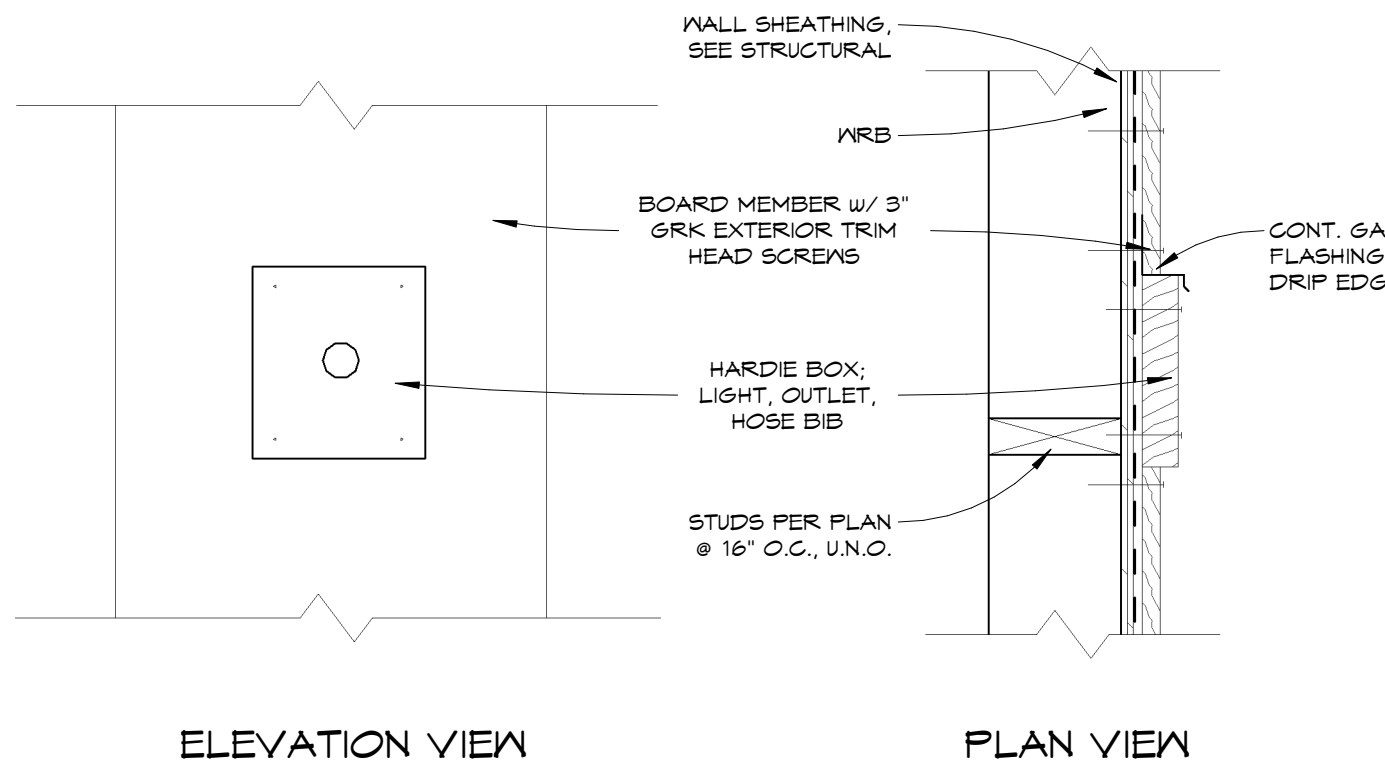
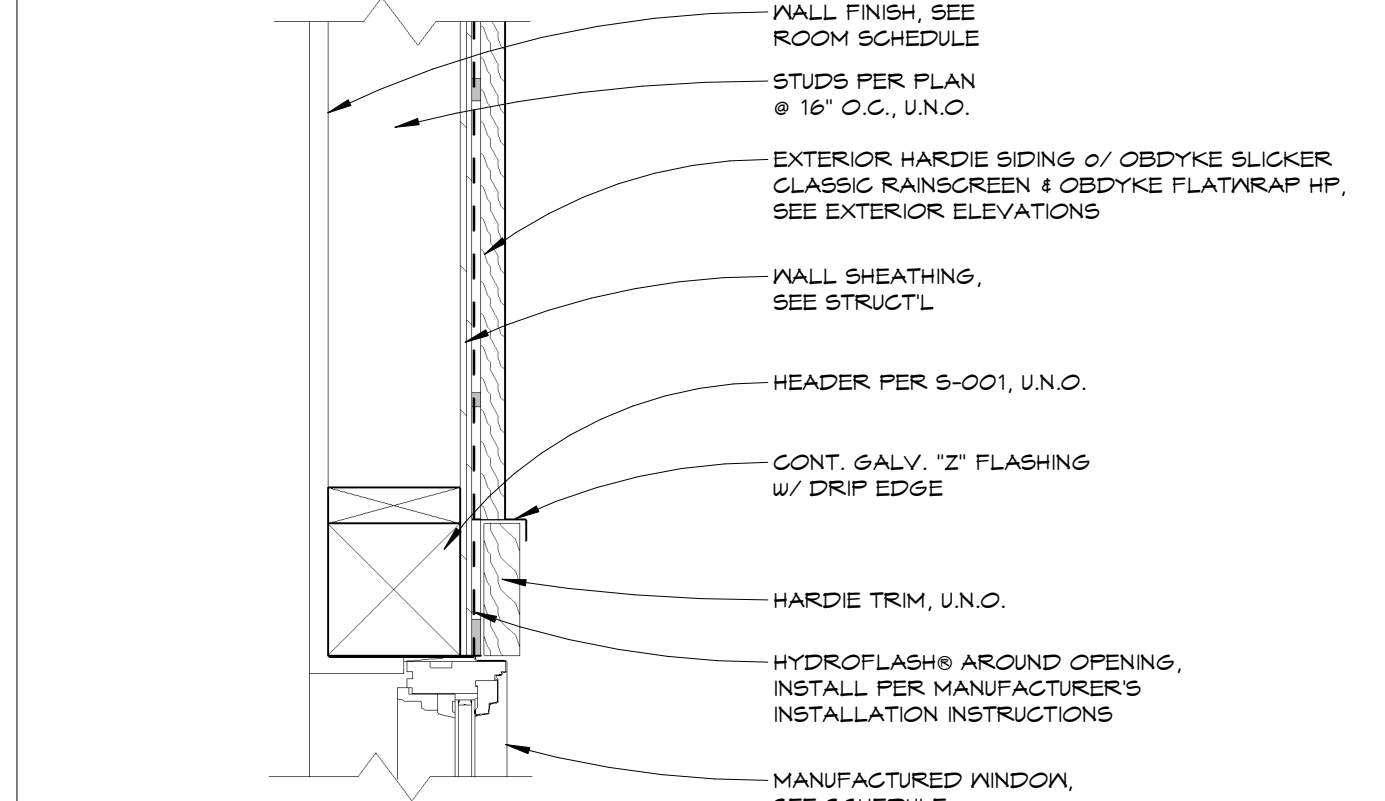
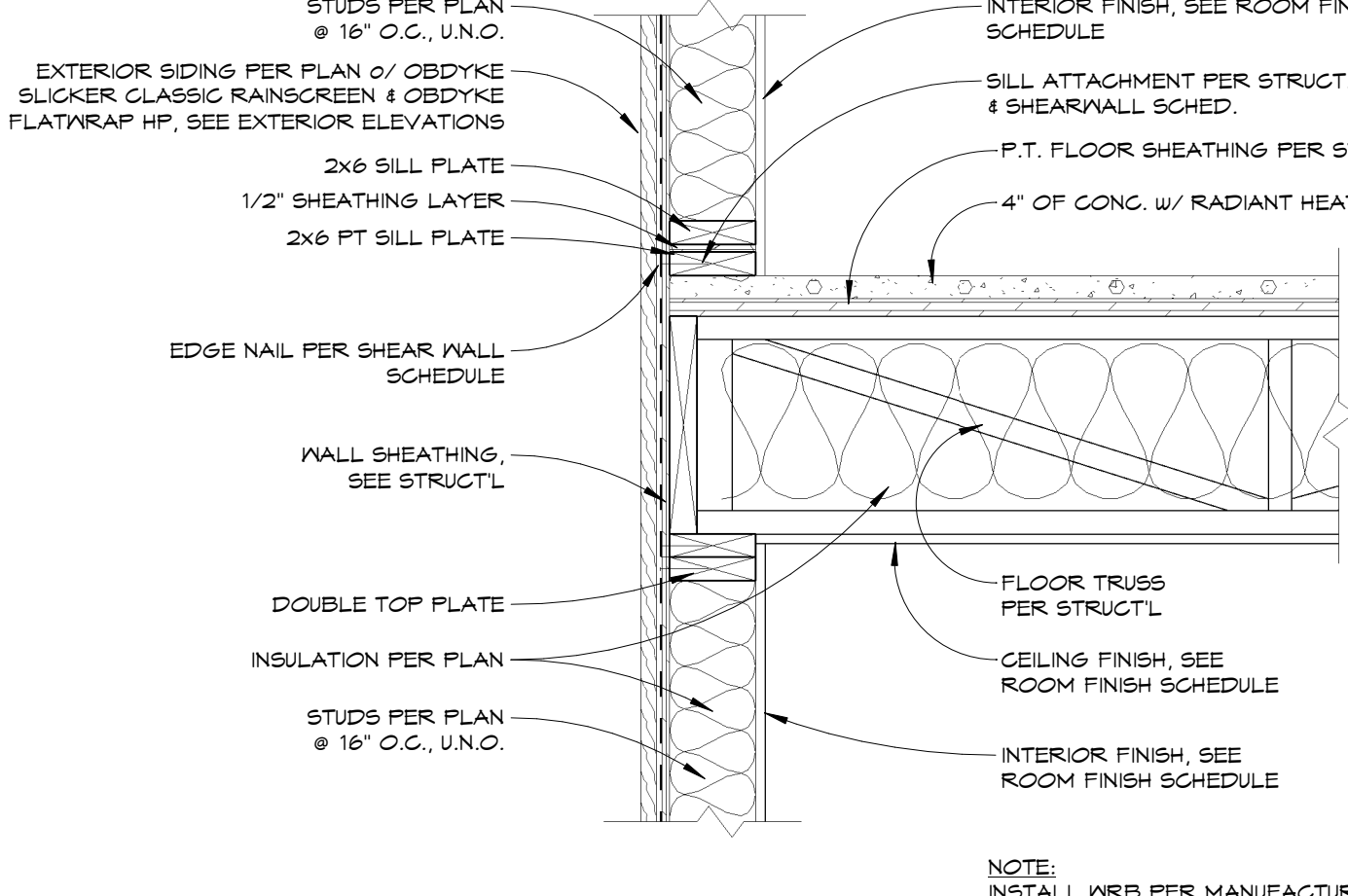
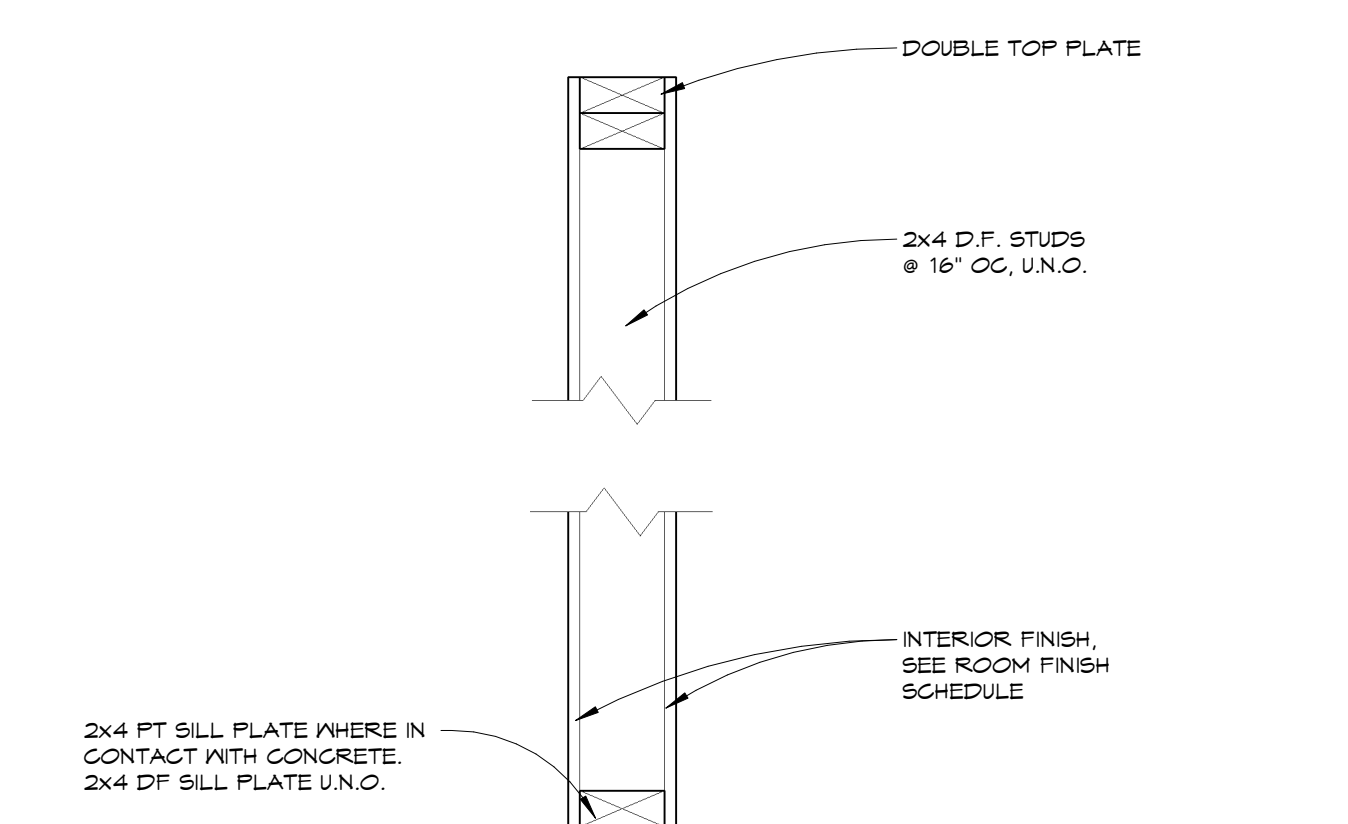
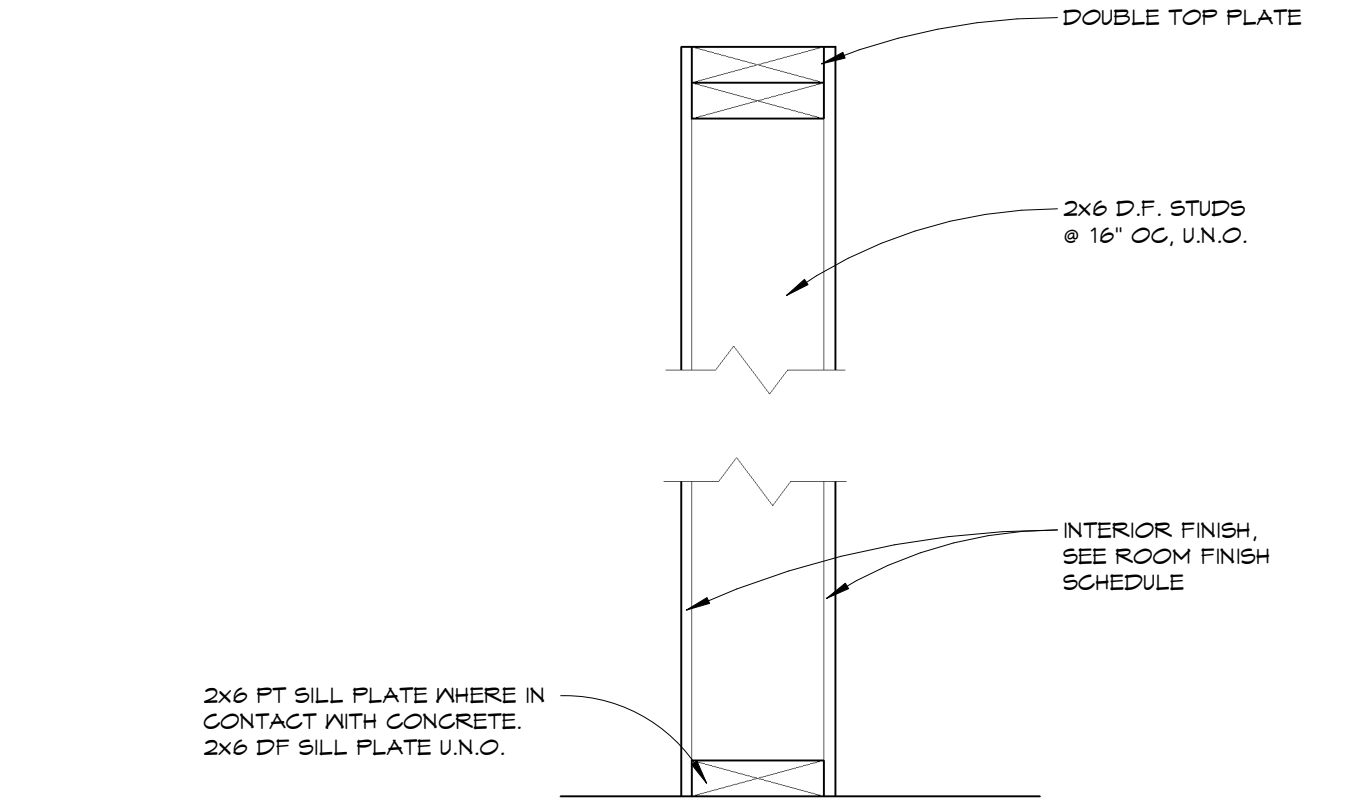
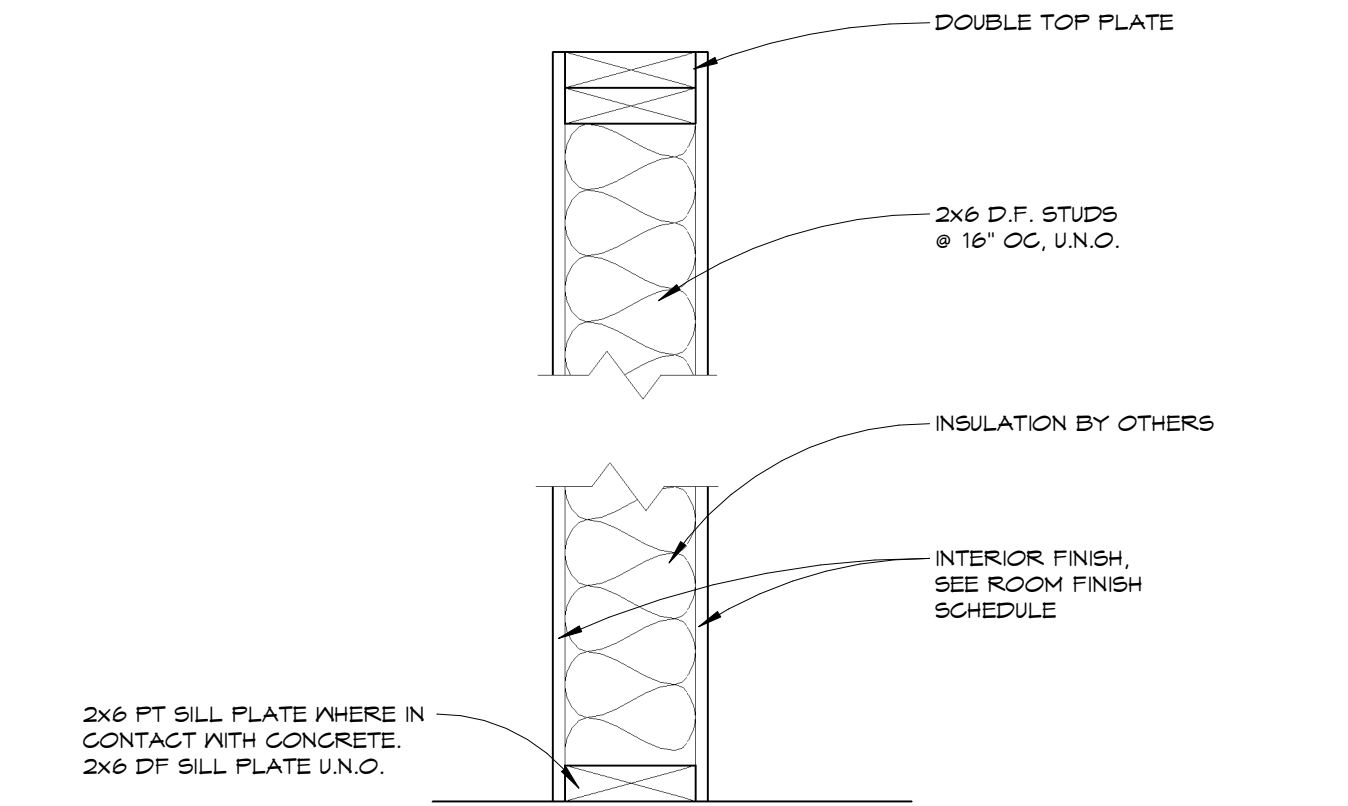
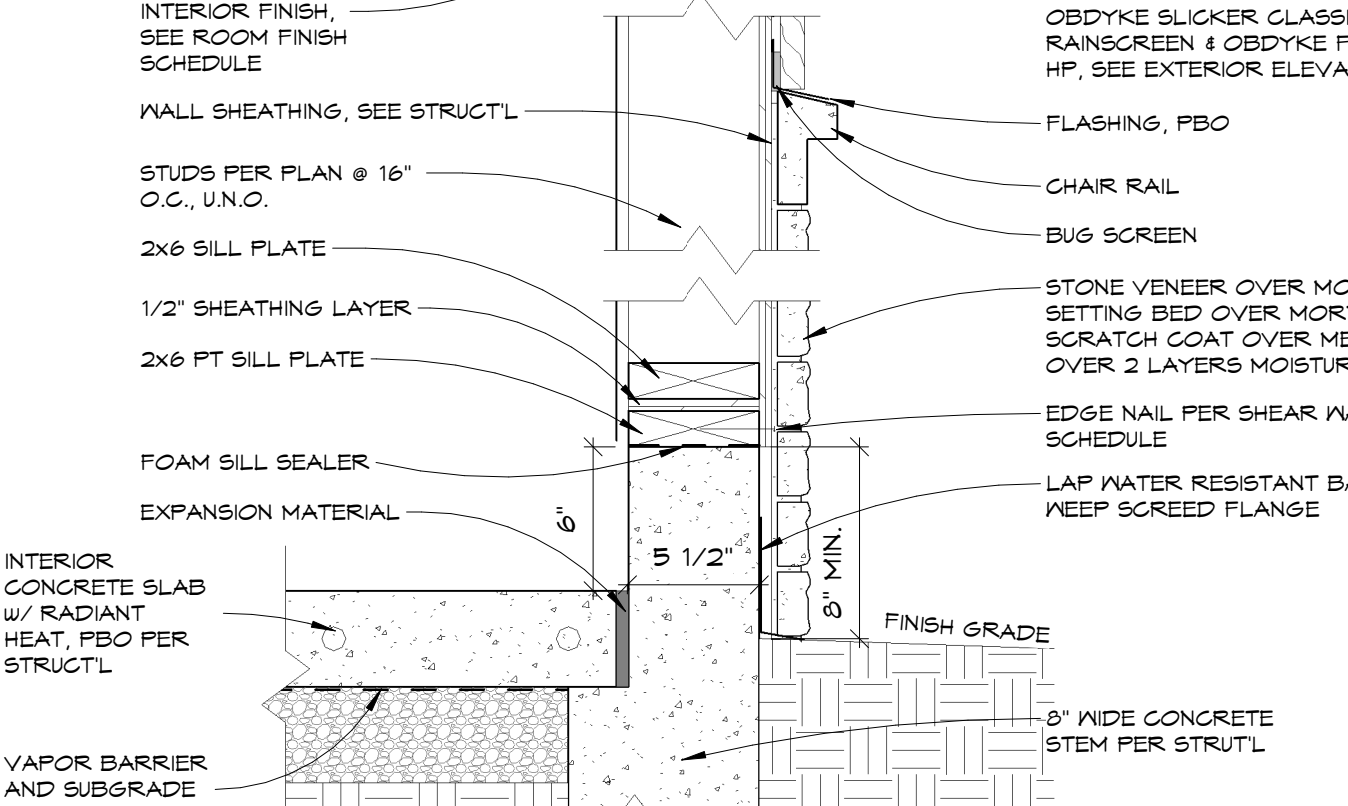
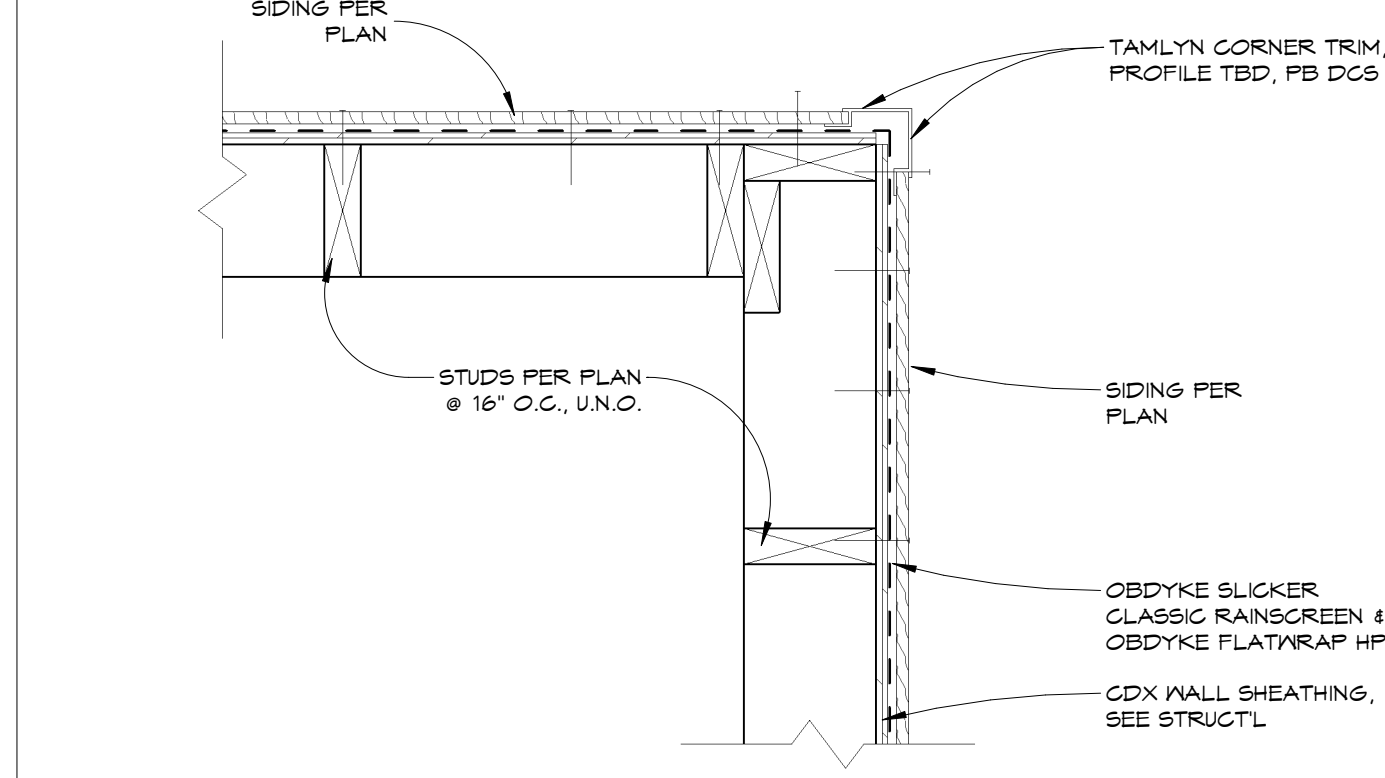
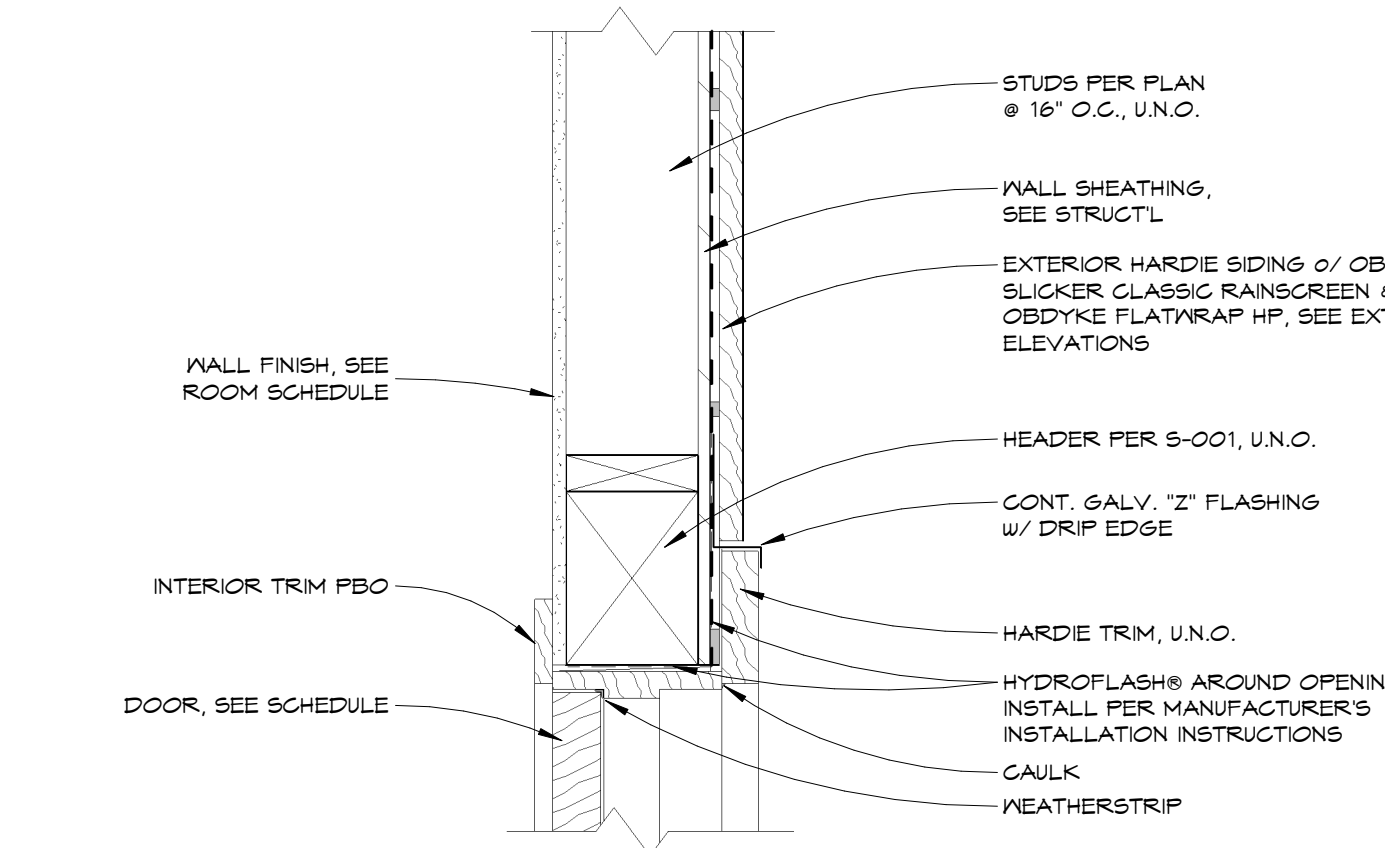
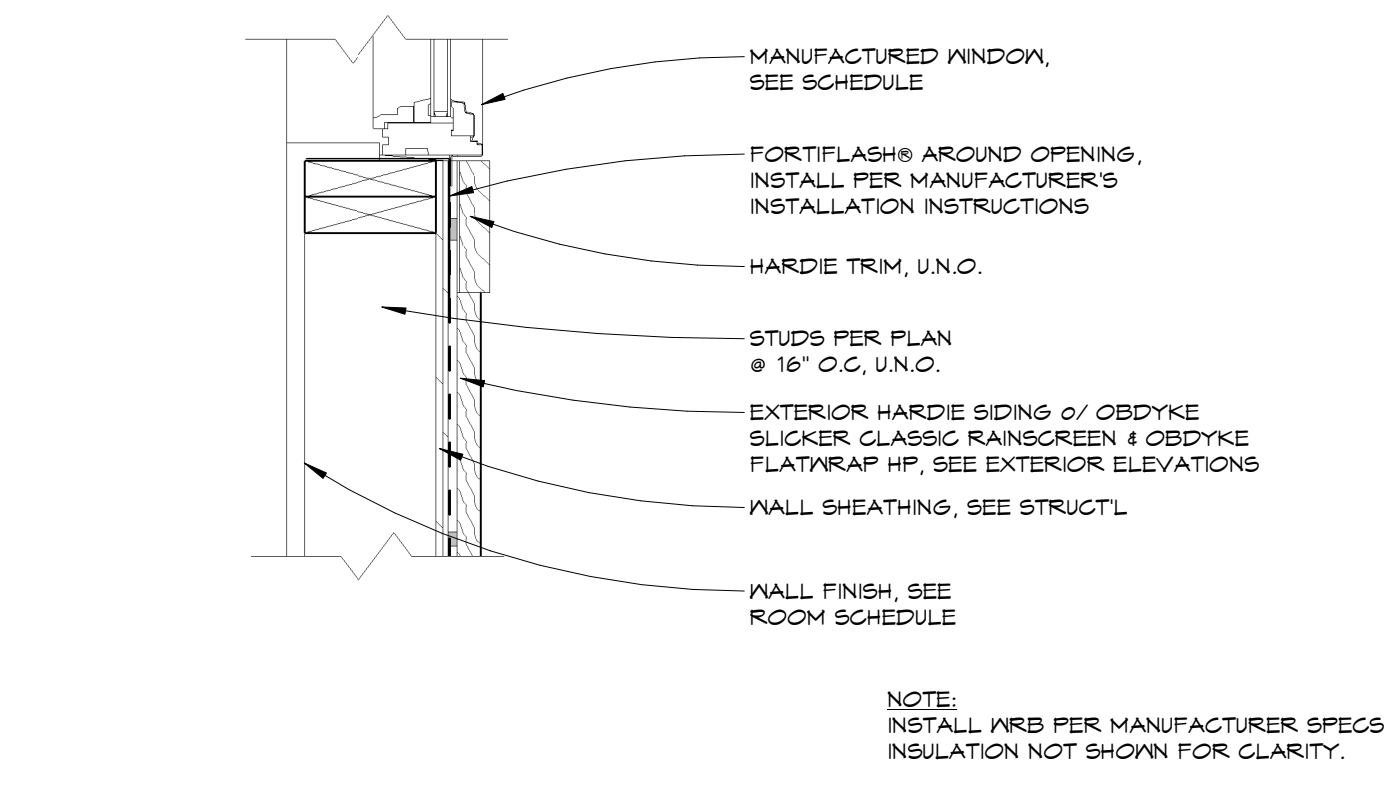
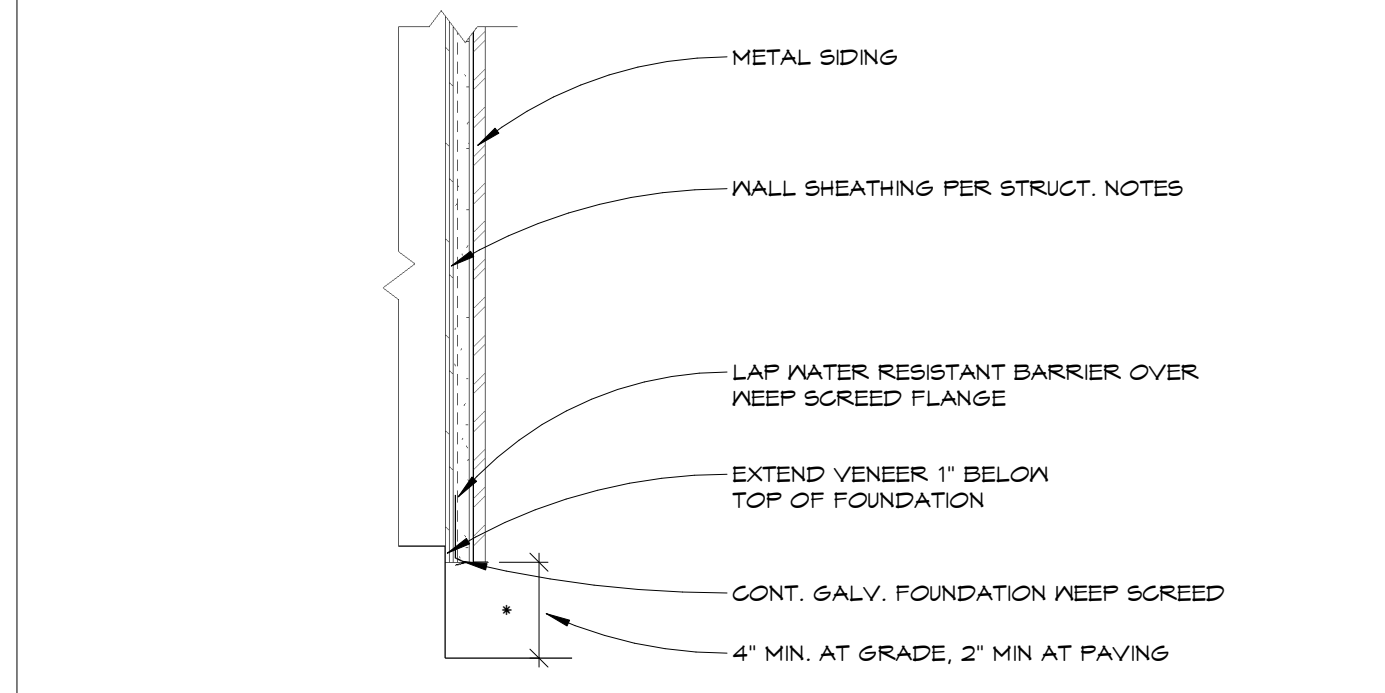
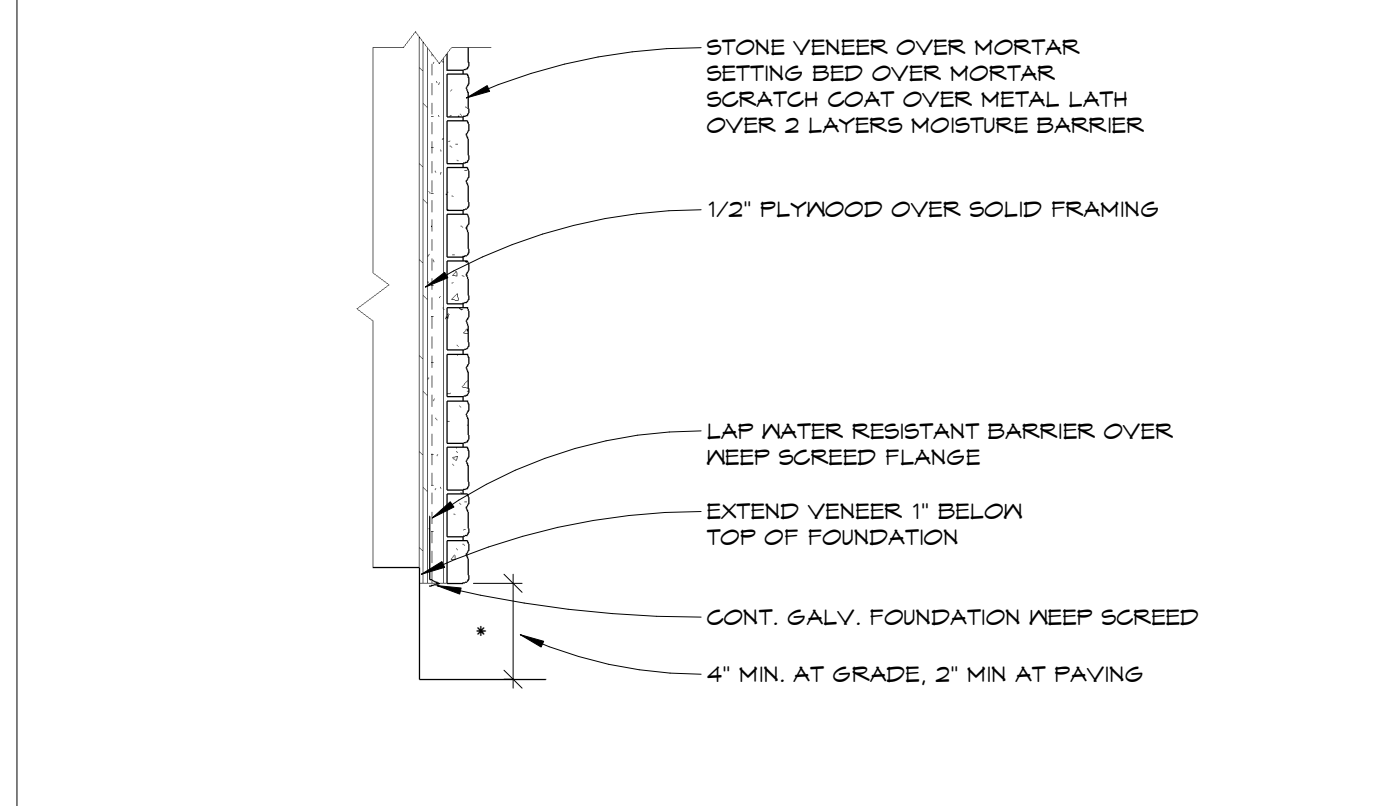
DRAWN BY
KASH
8/20/2024 12:11:50 PM

SECTION GENERAL NOTES

NOTES APPLY TO SHEETS A-301 AND A-302 ONLY.

- CLIMATE ZONE TB:
 - WINDOWS:
 - FENESTRATION U-FACTOR : U-0.30 MIN.
 - SKYLIGHT U-FACTOR: U-0.35 MIN.
 - GLAZED FENESTRATION SHGC: NR
 - INSULATION:
 - CEILING R-VALUE: R-60 MIN.
 - WOOD FRAME WALL R-VALUE: R-30 OR 2045C1 OR 18410C1 OR 04220C1
 - 1" SPRAY FOAM, FLASH, BATT INSULATION
 - FLOOR R-VALUE: R-39 MIN.
 - FOUNDATION:
 - SLAB R-VALUE AND DEPTH: 10C1, 4 FT

8/20/2024 12:11:52 PM

 <p>ELEVATION VIEW</p> <p>PLAN VIEW</p> <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		 <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		 <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS.</p>		 <p>2x4 PT SILL PLATE WHERE IN CONTACT WITH CONCRETE. 2x4 D.F. SILL PLATE U.N.O.</p>		 <p>2x6 PT SILL PLATE WHERE IN CONTACT WITH CONCRETE. 2x6 D.F. SILL PLATE U.N.O.</p>		 <p>2x6 PT SILL PLATE WHERE IN CONTACT WITH CONCRETE. 2x6 D.F. SILL PLATE U.N.O.</p>		 <p>2x6 PT SILL PLATE WHERE IN CONTACT WITH CONCRETE. 2x6 D.F. SILL PLATE U.N.O.</p>	
13 TYP. SIDING BOX 1 1/2" = 1'-0"		9 WINDOW HEADER 1 1/2" = 1'-0"		5 WALL TYPE - XE @ FLOOR 1" = 1'-0"		1 WALL TYPE - X4 1 1/2" = 1'-0"		2 WALL TYPE - X6 1 1/2" = 1'-0"		3 WALL TYPE - X6i 1 1/2" = 1'-0"		4 WALL TYPE - XE @ RAISED CURB 1 1/2" = 1'-0"	
 <p>NOTE: INSTALL RAINSCREEN & FLATWRAP PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		10 CORNER TRIM 1 1/2" = 1'-0"		 <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		6 DOOR JAMB 1 1/2" = 1'-0"		 <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		7 DOOR HEADER 1 1/2" = 1'-0"		8 WINDOW SILL, JAMB SIM. 1 1/2" = 1'-0"	
 <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		11 METAL SIDING 1" = 1'-0"		 <p>NOTE: INSTALL WRB PER MANUFACTURER SPECS. INSULATION NOT SHOWN FOR CLARITY.</p>		12 STONE VENEER 1" = 1'-0"							

NOT FOR CONSTRUCTION

dc

STRUCTURES

11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index

No.	Date	Description

NOT FOR CONSTRUCTION


11251 SE 232nd AVE
DAMASCUS, OR 97089

OWNERSHIP & USE OF DOCUMENTS:
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF DC STRUCTURES. AS INSTRUMENTS OF PROFESSIONAL SERVICE ARE AND SHALL REMAIN THE PROPERTY OF DC STRUCTURES. THESE DOCUMENTS ARE NOT TO BE USED IN WHOLE OR IN PART FOR ANY PROJECT OR PURPOSE WHATSOEVER, WITHOUT THE PRIOR SPECIFIC WRITTEN AUTHORIZATION OF DC STRUCTURES.

Drawing Index		
No.	Date	Description

LUKE & CARISSA BERLET

BERLET 'SHASTA'

38980 MAIN STREET
MILNER, CO 80477

WALL DETAILS

A-406

DRAWN BY
KASH
8/20/2024 12:11:52 PM

PL20240057 Site Photos



Looking southeast at the site



Looking south on Main St toward adjacent residential neighborhood



Adjacent commercial building across the street (vacant)



Remains of former building onsite



Looking east on US40 at bus stop. Property is to the right.



Looking southwest at site



Adjacent alley – not maintained by County, no legal access onto US40



Looking northeast at site from Main St