
Seneca Hill Water Storage Tank Project

Special Use Permit

ACTIVITY #: PP2014-017

HEARING DATES: Planning Commission (PC) 06/05/14 at 6:00 pm
Board of County Commissioners (BCC) 06/24/14 at 01:30 pm

PETITIONER: Routt County
PETITION: Seneca Hill Water Storage Tank Project

ZONE DISTRICT: Agricultural Forestry (AF)

LOCATION: 38080 Routt County Road 51, Hayden

AREA: 9.91 acre parcel located on the south east side of Yampa Valley Regional Airport, east of C.R. 51

STAFF CONTACT: Kristy Winser

ATTACHMENTS:

- Application 1041 Review Application
- Application Site Plan Drawings
- Application Site Location Map
- NWCC Geotechnical Investigation

History:

This is a joint project of Routt County and the Town of Hayden. Routt County currently owns the water tank site. Routt County and the Town are sharing in the costs of the project which will serve the needs of Yampa Valley Regional Airport and the Town. When the water tank and related structures are completed, Routt County will convey the water tank site and its interest in the related structures to the Town and the water tank and related structures will become a part of the municipal water system.

The Project was developed after other alternatives to providing increased water pressure to YVRA were determined to not be feasible. CDC, the engineer for the project then studied four sites for the new water tank. The proposed site was selected as the most desirable from the point of view of cost and functionality.

The County and the Town want to construct the Project in 2014. This will permit the Town to take the Hospital Hill water tank off line for needed maintenance work. The estimated life of the Project is a minimum of 40 years. With appropriate maintenance of the Project components, the useful life of the Project will be significantly more than 40 years.

Site Description:

The subject parcel is a recently subdivided 9.91 acre site to the south east of Yampa Valley Regional Airport ("YVRA") and just east of Routt County Road 51, Hayden. The site is currently vacant farmland with similar land uses of mostly hayfield surrounding the site to the north, east, south, west, and YVRA to the northwest of the site.

feet to comply with FAA regulations concerning the height of structures near airports prior to construction of the water tank

As well as staff reviewing the project under Designated Areas and Activities of State Interest, the County is applying for a special use permit for the project concurrently with this 1041 review. The County or Town will also apply for a grading and excavation permit, road access permit, a right of way permit to allow placement of waterlines in the road right of way and possibly a State Stormwater Construction Permit in accordance with the Special Use Permit.

Designated Areas and Activities of State Interest:

The project plan has been identified as an Activity of State Interest as a major extension of an existing domestic water and sewage treatment system and as such, is subject to these regulations also known as the Routt County 1041 Regulations. After review of the information submitted by the applicant describing the impacts of the proposed project as it relates to the applicability of the 1041 Permit Requirements, on April 28, 2014, the Planning Director determined that a Finding of No Significant Impact (FONSI) IS APPROPRIATE in this instance for the following reason:

- The Project is consistent with Routt County zoning regulations so long as a Special Use Permit is obtained and is not inconsistent with the County master plan for the area.
- That review of the pre-submittal submittals and the information obtained at the pre-submittal meeting, determined that no significant impacts are likely to occur from the proposed project.
- The construction or operation of the proposed project, without additional mitigation, in its proposed location is unlikely to have any significant adverse impact to the County in consideration of all of the Approval Criteria in Section VI of the Routt County 1041 regulations.

Staff Comments:

The applicant is proposing a water tank structure located on a hill on the east side of C.R. 51. The structure as proposed will actually be sunk down approximately 15 feet into the side of the hillside with mostly the south west portion of the structure exposed facing Yampa Valley Regional Airport. As proposed, the development will require a grading and excavation permit prior to construction activities on site. Due to the rolling terrain surrounding the site, visually the tank structure will most likely only be seen approaching the site from the north and from the airport. The structure can be painted a color to mitigate visual concerns. As a consideration, staff has included a Condition of Approval to address this potential concern. Due to the proximity to the airport, air hazard warning lights may be required on the tank site and probably on the security fencing around the structure for safety.

Traffic concerns do not appear to be an issue with most traffic occurring during the construction phase as discussed in the comments provided by CDC (attached). Routt County Road and Bridge has reviewed this information with the application submittals and had no comments or concerns that need to be addressed apart from suggested conditions of approval which staff has included in the Conditions of Approval for your consideration.

Staff also sent referrals to all involved interested agencies for comment. Routt County Road and Bridge, the Weed Department, Environmental Division and the Building Department all

commented that there were no concerns but provided suggested Conditions of Approval that staff has included into the conditions below as Specific Conditions.

*****Issues for Discussion*****

Staff's only concern for the proposed development had to do with the structure's potential for off-site visual impacts but after a recent site inspection it was apparent that the project proposal took the surrounding terrain into consideration with the design of the structure. However, for your consideration, staff included Specific Condition No. 25 which states: *"To reduce visual impacts, the water tank structure will be mitigated to the extent practicable and technically feasible by painting the structure with a color to reduce visual concerns approved by the Planning Director"* should you find it necessary. In general, colors are usually tan, sage, green or gray to try and blend into the environment which can be approved by the Planning Director. Also, due to the proximity to the airport, the FAA may require air hazard warning lights may be required on the tank site and probably on the security fencing around the structure for safety. This requirement is in conflict with a standard condition which normally states: *"All exterior lighting shall be downcast and opaquely shielded"*. Instead of this standard condition, staff would suggest the following Specific Condition of Approval which would address both. It states: *"All exterior lighting shall be downcast and opaquely shielded with the exception of FAA navigation lights, if required"*. In addition to this suggested condition and for your consideration, standard Condition of Approval No. 9 addresses these concerns as well stating *"This approval is contingent upon any required federal, state and local permits being obtained and complied with; the operation shall comply with all federal, state and local laws. Copies of permits or letters of approval shall be submitted to the Routt County Planning Department prior to operations"*.

Compliance with the Routt County Master Plan, Sub Area Plans and Zoning Resolution

The Routt County Master Plan, Sub Area plans and Zoning Resolution contain dozens of policies and regulations regarding land use. Section 5 of the regulations are designed to limit or eliminate conditions that could negatively impact the environment and/or use of surrounding properties, and shall apply in all Zone Districts and to all land uses unless otherwise noted. Section 6 Regulations apply to all Minor, Administrative, Conditional or Special uses allowed by permit only, PUD plans, Site plans, and Subdivisions. Section 9 Regulations apply to all mining operations and uses.

The following checklist was developed by Planning Staff to highlight the policies and regulations most directly applicable to this petition. The checklist is divided into seven (7) major categories:

1. Health, Safety and Nuisances
2. Regulations and Standards
3. Major Facilities of a Public Utility
4. Community Character and Visual Issues
5. Roads, Transportation and Site Design
6. Natural Environment
7. Mitigation

Interested parties are encouraged to review the Master Plan, Sub Area plans and Zoning Resolution to determine if there are other policies and regulations that may be applicable to the review of this petition.

Staff Comments are included at the end of each section, highlighting items where the public, referral agencies, or planning staff have expressed questions and/or comments regarding the proposal. **Staff comments regarding compliance with regulations and policies are noted in bold below.**

Public Health, Safety and Nuisances

Applicable Regulations – Routt County Zoning Resolution

- 5.1.1 Every use shall be operated so that it does not pose a danger to public health, safety or welfare.
- 5.1.2 Every use shall be operated in conformance with all applicable federal, state and local regulations and standards. Failure to comply with any and all applicable federal, state and local regulations and standards may be cause for review and/or revocation of any Land Use Approval granted pursuant to these regulations.
- 6.1.2 The proposal shall be consistent with applicable Master Plans and sub-area plans.
- 6.1.7.C Natural Hazards
- 6.1.7.H Wildland Fire
- 6.1.7.I Noise
- 6.1.7.L Odors
- 6.1.7.M Vibration

***Is the application in compliance with the Policies and Regulation outlined above? Yes or No*

Staff comments:

This petition appears to be in compliance with the Policies and Regulation outlined above. The project is intended to improve local governmental service of water service by increasing water pressure and "looping" of the main water distribution line in the area. The subject site was chosen as the best site to meet the needs for the project as per engineering studies and analysis by engineers working for Town of Hayden and Routt County. The proposed development appears to be in compliance with the Routt County Master Plan and there are no known concerns with respect to Natural Hazards, Fire, Noise, Odors or Vibration from the proposal. In addition, Staff included a standard condition that addresses the development to be in compliance with all applicable Federal, State and local permits that may be required.

Regulations and Standards

Applicable Regulations – Routt County Zoning Resolution

- 5.2 Dimensional Standards:

5.4 Parking Standards:

6.1.5 The proposal shall meet or exceed accepted industry standards and Best Management Practices (BMP's).

Applicable Policies – Routt County Master Plan

5.3.A The County encourages the use of "green" building techniques that lead to the conservation of energy and overall reduction of pollution in our environment.

5.3.D Require Best Management Practices and grading plans and strongly discourage overlot grading.

Applicable Policies – Sub-Area Plan

Compliance with Yampa Basin Watershed Plan (Regional 208 Plan)

8.1.1 Policy 1: Water Quality

Policy 1 Statement: The surface water and groundwater of the region will be protected to maintain the present uses of those waters. The physical, chemical, and biological conditions will be maintained for the benefit of the environment and present and future generation of residents and visitors to the region. Waters of the region not currently supporting classified uses will be restored as soon as is financially and technically practicable.

8.1.2 Policy 2: Water Use and Development

Policy 2 Statement: The use and development of the waters of the region will maintain the quality necessary to protect present uses.

8.1.3 Policy 3: Land Use and Disturbance

Policy 3 Statement: The surface and groundwater of the region will be protected from land uses and management practices which could cause significant degradation of water quality or impairment of the natural protection and/or treatment process provided by wetlands, floodplains, shorelines, and riparian areas.

8.1.4 Policy 4: Domestic, Municipal and Industrial Waste Treatment

Policy 4 Statement: Decisions to locate water supplies and wastewater treatment systems, and to extend utilities will be made in a manner that protects water quality. Decisions regarding facility location will also recognize the protection of floodplains, geologic hazard areas, wildlife habitats, wetlands, shorelines, and agricultural land. Plans for facilities that divert water or discharge wastes, will be consolidated wherever appropriate, with existing facilities to protect water quality.

8.1.5 Policy 5: Chemical Management

Policy 5 Statement: The surface and groundwater of the region will be protected from the use of pesticides, fertilizers, algaecides, road deicing and friction materials, and other chemicals which would temporarily or permanently cause a significant degradation of water quality condition or impair present uses.

Staff comments:

*** is the application in compliance with the Policies and Regulation outlined above? Yes or No*

The application appears to be compliance with the Policies and Regulation outlined above. The subject property and surrounding area is zoned AF and meets the requirements of

Section 5 General Performance Standards. The development will require a Grading and Excavation permit and will include erosion control best management practice requirements. Staff has incorporated suggested Conditions of Approval that address best management practices that state: "Erosion and sediment from land disturbance activities associated with this project shall be controlled to the greatest practical extent through the use of appropriate Best Management Practices (BMP'S)". Also, a condition was added for the applicant to set up a preliminary design meeting with the Building Department to clarify specific design requirements to ensure the work to be performed shall comply with all applicable codes and standards as adopted by Routt County. There are no surface water features, such as streams or ponds near the water tank site. Any water quality concerns will be localized and dealt with through the use of erosion control best management practices and surface water will be protected by the use of best management practices as required by the County's Grading and excavation permit requirements and storm water management plan.

Major Facilities of a Public Utility Regulations and Standards

Applicable Regulations – Routt County Zoning Resolution

- 8.8.1. A Such uses shall serve a documented public need.
- 8.8.1. B A minimum of 200 feet shall separate such uses from abutting properties that might otherwise be damaged due to the operation of the proposed use.
- 8.8.1.C Such use shall minimize the use of intensive cropland, including irrigated meadows and pasture land, cropland used for dry land agriculture, lands along valley floors that intermingle with but not dedicated to cropland, and farm and ranch headquarters.
- 8.8.1.D Such uses shall minimize conflicts with existing and planned uses.
- 8.8.1.E Such use shall reflect site selection to minimize adverse impacts on subsequent development of mineral resource areas, approved or planned reservoir sites, and deposits of construction aggregates.
- 8.8.1 .F All proposed above-ground appurtenances of such shall:
 - 8.8.1.F.1. Avoid "tunnel effect" of clearing that is or that may be visible from a population concentration or major transportation route.
 - 8.8.1.F.2 Use existing utility and transportation corridors wherever possible.
 - 8.8.1.F.3 Follow property, section and fence lines to minimize surface disturbance.
 - 8.8.1.F.4 Protect and maintain flows in affected irrigation ditches.
 - 8.8.1.F.5 Avoid clear-stripping of right-of-way or easement. Any required clearing shall be designed to create a natural appearance that blends with surrounding vegetation by using variations in clearing width.
 - 8.8.1.F.6 Avoid creation of access scars.
 - 8.8.1.F.7 Avoid visually important scenic vistas.
 - 8.8.1.F.8 Preserve as much as possible the natural landscape.
 - 8.8.1.F.9 Minimize alteration of the slope or aspect of any hillside.

- 8.8.1.G Before any Special Use Permit may be issued for a major facility of a public utility, the applicant shall furnish evidence of a bank letter of credit in favor of Routt County, a bond or certified check in an amount calculated by the Board of County Commissioners, to secure the site restoration in a workmanlike manner and in accordance with specifications and construction schedule established or approved by the appropriate engineer and the Board of County Commissioners. Such letter of credit, bond or check shall be payable to or drawable by, and held by the Board of County Commissioners of Routt County.

Applicable Policies – Routt County Master Plan

- 5.3.B. While respecting private property rights, the County will not approve development applications or special use permits that would lead to the degradation of the environment without proper mitigation that would bring the proposal into compliance with the Master Plan, appropriate Sub-Area Plans, Zoning Regulation, and Subdivision Regulations.

Staff comments:

***Is the application in compliance with the Policies and Regulation outlined above? Yes or No*

This petition appears to be in compliance with the Policies and Regulation outlined above. The project is intended to improve local governmental service of water service by increasing water pressure and "looping" of the main water distribution line in the area. The subject site was chosen as the best site to meet the needs for the project as per engineering studies and analysis by engineers working for Town of Hayden and Routt County. The surrounding land uses are mostly farmland to the north, east, south and west and YVRA to the North west. Best management practices will be utilized to minimize any off site impacts to the surrounding properties and environment. The proposed development is in compliance with the Routt County Master Plan and there are no known concerns with respect to Natural Hazards, Fire, Noise, Odors or Vibration from the proposal.

Community Character and Visual Concerns

Applicable Regulations – Routt County Zoning Resolution

- 5.1.4 Outdoor storage of materials which might cause fumes, odors, dust, fire hazard, or health hazards is prohibited unless such storage is within enclosed containers or unless a determination is made that such use will not have a detrimental impact on the environment
- 5.9 Sign Standards
- 6.1.6 Outdoor Lighting: The proposal shall comply with the Outdoor Lighting Standards in Section 6.3 of these Regulations.
- 6.1.7.G Visual Amenities and Scenic Qualities.
- 6.1.7.K Land Use Compatibility.
- 6.1.7.O Historical Significance.

Applicable Policies – Routt County Master Plan

- 5.3.E Routt County requires that all new developments do not contribute to light pollution.
- 5.3.F Routt County will continue to consider the impacts of development and uses on view corridors, water, wetland, and air.

Staff comments:

***Is the application in compliance with the Policies and Regulation outlined above? Yes or No*

The application appears to be in compliance with the Policies and Regulation outlined above. The subject property and surrounding area is zoned AF and the surrounding land uses are mostly farmland to the north, east, south and west and YVRA to the North west. Best management practices will be utilized to minimize any off site impacts to the surrounding properties and environment. The proposed development appears to be in compliance with the Routt County Master Plan and there are no known concerns or impacts with respect to view corridors, water, wetland, and air. To reduce visual impacts, the water tank structure will be mitigated to the extent practicable and technically feasible by painting the structure with a color to reduce visual concerns. Also, due to the proximity to the airport, the FAA may require air hazard warning lights on the tank site and probably on the security fencing around the structure for safety. This requirement is in conflict with a standard condition which normally states: "All exterior lighting shall be downcast and opaquely shielded". Instead of this standard condition, staff would suggest the following Specific Condition of Approval which would address both. It states: "All exterior lighting shall be downcast and opaquely shielded with the exception of FAA navigation lights, if required".

Roads, Transportation and Site Design

Applicable Regulations – Routt County Zoning Resolution

- 5.7 Right of Way Access Standards: A Right of Way Access Permit is required prior to construction of any new access point onto a County Road or other Local Public Road or Right of Way.
- 5.8 Road Construction Standards
- 6.1.7.A Public Roads, Services and Infrastructure
- 6.1.7.B Road Capacity, traffic, and traffic safety
- 6.2.3.B Projects shall mitigate their impacts to public roads such that all public roads used for access to a project or development will remain in as good as or better than existing condition.
- 6.2.3.E Requirements for repairs, upgrades, development, and maintenance of public roads may be included as a condition of any Land Use Approval. Such roadwork will be at the proponent's expense, unless otherwise determined by the Board of County Commissioners.
- 6.2.3.I Acceleration/deceleration lanes shall be developed as required by the Colorado Department of Transportation (CDOT) and/or the Routt County Road and Bridge Department. A review of the CDOT or County Access Permit will be requested by the County based upon complaints, hazardous conditions, accident records, pertinent new information, or any other concerns or changes in the area or use that may affect traffic to and from the project.

- 6.2.3.L Permittee shall undertake dust control resulting from project related traffic as may be required by the Routt County Road and Bridge Department and/or the Routt County Environmental Health Department.
- 6.2.3.P Projects may be required to limit hours of operation to minimize the effect of poor visibility, fog, or other environmental or road condition.

Applicable Policies – Routt County Master Plan

- 11.3.P Discourage new use permits and zone changes that increase density that will exceed acceptable traffic levels.
- 11.3W. Routt County shall strongly discourage proposals which include driveways and road-cuts that have visual impacts and erosion issues that cannot be mitigated.

Staff comments:

***Is the application in compliance with the Policies and Regulation outlined above? Yes or No*

The application appears to be in compliance with the Policies and Regulation outlined above. Traffic concerns do not appear to be an issue with most traffic occurring during the construction phase as discussed in the comments provided by CDC (attached). Routt County Road and Bridge has reviewed this information with the application submittals and had no comments or concerns that need to be addressed apart from suggested Conditions of Approval which staff has included in the Conditions of Approval as No. 13-23. Specifically, No. 22 states: "Permittee shall maintain county roads affected by this SUP during the life of the Operations. Maintenance shall be determined by the Routt County Road and Bridge Department in its sole discretion and at Permittee's expense. Maintenance may include grading and graveling roadways, sweeping or cleaning access points, and application of a dust palliative as approved by the Routt County Road and Bridge Director and RCDEH".

Natural Environment

Applicable Regulations – Routt County Zoning Resolution

- 5.11 Waterbody Setback Standards
- 6.1.7.D Wildlife and Wildlife Habitat.
- 6.1.7.E Water Quality and Quantity.
- 6.1.7.F Air Quality.
- 6.1.7.J Wetlands.
- 6.1.7.P Reclamation and Restoration.
- 6.1.7.Q Noxious Weeds.

Applicable Policies – Routt County Master Plan

- 5.3.B While respecting private property rights, the County will not approve development applications or special use permits that would lead to the degradation of the environment without proper mitigation that would bring the proposal into compliance with the Master Plan, appropriate sub-area plans, Zoning Resolution, and Subdivision Regulations.
- 9.3.E Review the impacts on wildlife caused by recreational use, residential developments and other developments and permits, then adjust, amend, terminate, or revokeas maybe deemed beneficial to wildlife.
- 10.3G. Noxious weeds should be controlled at the expense of the landowner.

Staff comments:

***Is the application in compliance with the Policies and Regulation outlined above? Yes or No*

The application appears to be in compliance with the Policies and Regulation outlined above. The subject property and surrounding area is zoned AF and the project site has been farmed. There are no surface water features such as streams and ponds and surface water will be protected by the use of best management by the grading and excavation permit as required. Best management practices will be utilized to minimize any off site impacts to the surrounding properties and environment. The proposed development appears to be in compliance with the Routt County Master Plan and there are no known concerns or impacts with respect to view corridors, water, wetland, and air. To reduce visual impacts, the water tank structure will be mitigated to the extent economically practicable and technically feasible by painting the structure with a color to reduce visual concerns approved by the Planning Director. Noxious weeds will be monitored as a Condition of Approval and no known wildlife concerns have been noted.

Mitigation Techniques

Applicable Regulations – Routt County Zoning Resolution

Mitigation Techniques for Development Within a Natural Hazard Area –

6.5

Mitigation Techniques for Development Within Critical Wildlife Areas:

6.6

Mitigation Techniques to Reduce Water Quality and Quantity Impacts:

6.7

Mitigation Techniques to Reduce Air Quality Impacts:

6.8

Mitigation Techniques to Reduce Impacts to Scenic Quality:

6.9

Mitigation Techniques to Reduce Noise Impacts:

6.10

Mitigation Techniques to Reduce Wetland Impacts:

6.11

Mitigation Techniques to Reduce Impacts to Scenic Quality:

6.12

Staff comments:

Mitigation Techniques to Reduce Impacts to Residential and Recreational Uses:

6.13

Staff comments:

***Is the application in compliance with the Policies and Regulation outlined above? Yes or No*

The application appears to be in compliance with the Policies and Regulation outlined above. As noted above, the subject property and surrounding area is zoned AF and the project site has been farmed. There are no surface water features such as streams and ponds and surface water will be protected by the use of best management by the grading and excavation permit as required. Best management practices will be utilized to minimize any off site impacts to the surrounding properties and environment. The proposed development is in compliance with the Routt County Master Plan and there are no known concerns or impacts with respect to view corridors, water, wetland, and air. To reduce visual impacts, the water tank structure will be mitigated to the extent economically practicable and technically feasible by painting the structure with a color to reduce visual concerns approved by the Planning Director.

Planning Commission and Board of County Commissioners Options

PC / BCC Options for Approval / Denial / Tabling:

1. **Approve the Special Use Permit request without conditions** if it is determined that the petition will not adversely affect the public health, safety, and welfare and the proposed use is compatible with the immediately adjacent and nearby neighborhood properties and uses and the proposal is in compliance with the Routt County Zoning Regulations and complies with the guidelines of the Routt County Master Plan and sub area plans.
2. **Deny the Special Use Permit request** if it is determined that the petition will adversely affect the public health, safety, and welfare and/or the proposed use is not compatible with the immediately adjacent and nearby neighborhood properties and uses and/or the proposed use is not in compliance with the Routt County Zoning Regulations and/or the Routt County Master Plan and sub area plans. Make specific findings of fact; cite specific regulations or policies by number from the Routt County Master Plan and the Routt County Zoning Regulations.
3. **Table the Special Use Permit request** if additional information is required to fully evaluate the petition. Give specific direction to the petitioner and staff.
4. **Approve the Special Use Permit request with conditions and/or performance standards** if it is determined that certain conditions and/or performance standards are necessary to ensure public, health, safety, and welfare and/or make the use compatible with immediately

adjacent and neighborhood properties and uses and/or bring the proposal into compliance with the Routt County Zoning Regulations and Routt County Master Plan and sub area plans.

Findings of Fact

Findings of Fact that may be appropriate if the Special Use Permit is **approved**:

1. The proposal with the following conditions meets the applicable guidelines of the Routt County Master Plan and is in compliance with Sections 4, 5, 6 and 9 of the Routt County Zoning Regulations.
2. The Special Use Permit with the following conditions will not adversely affect the public health, safety, and welfare.
3. The proposal with the following conditions is compatible with the immediately adjacent properties.

Conditions

General Conditions:

CONDITIONS that may be appropriate may include the following:

General Conditions:

1. The Special Use Permit (SUP) is valid for the life of the use provided it is acted upon within one year of approval. The SUP shall be deemed to have automatically lapsed if the uses permitted herein are discontinued for a period of one (1) year.
2. The SUP is contingent upon compliance with the applicable provisions of the Routt County Zoning Regulations including but not limited to Sections 5, 6, and 8.
3. The SUP is limited to uses and facilities presented in the approved project plan. Any additional uses or facilities must be applied for in a new or amended application. Accessory structures/uses associated with this permit can be administratively approved by the Planning Director.
4. Any complaints or concerns which may arise from this operation may be cause for review of the SUP, at any time, and amendment or addition of conditions, or revocation of the permit if necessary.
5. In the event that Routt County commences an action to enforce or interpret this SUP, the substantially prevailing party shall be entitled to recover its costs in such action including, without limitation, attorney fees.
6. No junk, trash, or inoperative vehicles shall be stored on the property.
7. This approval is contingent upon any required federal, state and local permits being obtained and complied with; the operation shall comply with all federal, state and local laws. Copies of permits or letters of approval shall be submitted to the Routt County Planning Department prior to operations.
8. Fuel, flammable materials, or hazardous materials shall be kept in a safe area and shall be stored in accordance with state and local environmental requirements.
9. Prior to the issuance of the permit, the permittee shall provide evidence of liability insurance in the amount of no less than \$1,000,000 per occurrence with either unlimited aggregate or a policy endorsement requiring notice to Routt County of all claims made.

Routt County shall be named as an additional insured on the policy. Certificate of liability insurance shall include all permit numbers associated with the activity.

10. The permits/approval shall not be issued until all fees have been paid in full. Failure to pay fees may result in revocation of this permit. Permits/Approvals that require an ongoing review will be assessed an Annual Fee. Additional fees for mitigation monitoring will be charged on an hourly basis for staff time required to review and/or implement conditions of approval.
11. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.
12. The applicant is responsible for identifying when during a pre-disturbance noxious weed inspection if any of the weed species on either the 13 Noxious Weeds of Routt County list, or the Noxious Weeds of Colorado List A, B or C are present on the site. If the answer is yes, the applicant must submit a plan for controlling the weeds to the Routt County Weed Program or contact the Routt County weed Program for assistance in developing a weed management plan.

Specific Conditions:

13. Overweight and over length permits for vehicles shall be obtained from the Routt County Road and Bridge Director prior to the use of such vehicles.
14. Access permits shall be obtained to all access roads to be built or improved which intersect Routt County roads.
15. Permittee shall obtain a grading and excavation permit for the onsite construction activities.
16. Routt County has the authority to close any county road at its sole discretion if damage to the road may occur by its use. To the extent that a road closure may affect Permittee's operations, Routt County will cooperate with Permittee to allow operations to be continued in a safe and practicable stopping point.
17. Routt County roads shall not be completely blocked at any time. If traffic regulation is deemed necessary, the Permittee shall notify the Routt County Road and Bridge Director, or designee thereof, in advance (if possible), who may then require:
 - a. The Permittee or Permittee's contractor/sub-contractor to place traffic control signage along haul routes and at intersections as specified by the Routt County Road and Bridge Director and at Permittee's expense; and
 - b. Flaggers to be placed at the intersections of affected county roads as specified by the Routt County Road and Bridge Director and at Permittee's expense; and
 - c. The Permittee or Permittee's contractor/sub-contractor to supplement regular dust control efforts by application of dust palliative, as approved by the Routt County Road and Bridge Director and RCDEH and at Permittee's expense.
18. Permittee shall comply with the following recommendations concerning road improvements and maintenance:

- a. Permittee shall limit Routt County road traffic to County Road 51.
19. All trucks and equipment accessing from CR 51 shall be able to exit and be located on private property and off of County road right of way before encountering a fence, gate or cattleguard. At a minimum, the distance from the County road right of way to any gate, fence or cattleguard shall be 1.5 times of the length of the longest vehicle
 20. Permittee shall provide and post advance warning signs of truck traffic turning from and entering upon County Road 51 during the importation and exportation of construction equipment to the Site. Types and placement of signs shall be in conformance with the Model Traffic Code and shall be coordinated with CDOT.
 21. Routt County roads affected by this SUP will be inspected by the Routt County Road and Bridge Department at intervals determined by same. Any road damage shall be repaired by a third-party contractor as selected by the Routt County Road and Bridge Department and on a schedule determined by same. Permittee shall solely bear the costs of repairs.
 22. Permittee shall maintain county roads affected by this SUP during the life of the Operations. Maintenance shall be determined by the Routt County Road and Bridge Department in its sole discretion and at Permittee's expense. Maintenance may include grading and graveling roadways, sweeping or cleaning access points, and application of a dust palliative as approved by the Routt County Road and Bridge Director and RCDEH.
 23. The Permittee shall be assessed Routt County costs directly associated with the project. Payment of the assessment shall be due and owing upon receipt of invoice from County.
 24. All exterior lighting shall be downcast and opaquely shielded with the exception of FAA navigation lights, if required.
 25. To reduce visual impacts, the water tank structure will be mitigated to the extent practicable and technically feasible by painting the structure with a color to reduce visual concerns approved by the Planning Director.
 26. Erosion and sediment from land disturbance activities associated with this project shall be controlled to the greatest practical extent through the use of appropriate Best Management Practices (BMP'S).
 27. Plans and specifications for the water tank and related facilities shall be submitted to and approved the drinking water section of the Colorado Department of Public Health and Environment prior to construction.
 28. Plans and specifications, and the work to be performed shall comply with all applicable codes and standards as adopted by Routt County.
 29. The architect and/or developer schedule a preliminary design review meeting with the building department to clarify submittal requirements for building permits and specific design requirements.

October 2013

[illegible]

VICINITY MAP
Scale: 1" = 2000'

C-001	GENERAL NOTES AND LEGEND
C-101	SITE PLAN
C-102	TANK SITE PLAN
C-103	HOSPITAL HILL SITE PLAN
C-104	AFT WATERLINE PLAN
C-201	TANK ACCESS ROAD PLAN AND PROFILE
C-202	WATERLINE PLAN AND PROFILE
C-204	WATERLINE PLAN AND PROFILE
C-205	AFT WATERLINE PLAN AND PROFILE
C-206	AFT WATERLINE PLAN AND PROFILE
C-207	AFT WATERLINE PLAN AND PROFILE
C-208	AFT WATERLINE PLAN AND PROFILE
C-401	BUILDING ELEVATIONS
C-501	TANK DETAILS AND DESIGN CRITERIA
C-502	HOSPITAL HILL PUMP STATION INTERDEPENDENTS
C-503	HOSPITAL HILL PUMP STATION INTERDEPENDENTS
C-504	WATERLINE STANDARD DETAILS
C-505	WATERLINE STANDARD DETAILS
C-506	WATERLINE STANDARD DETAILS
C-507	DETAILS
S-001	STRUCTURAL DETAILS
E-1	LEGEND
E-2	SENDECA HILL TANK ONE-LINE
E-3	SENDECA HILL TANK ONE-LINE
E-4	SENDECA HILL TANK PLAN VIEW
E-5	SENDECA HILL TANK SITE PLAN
E-6	HOSPITAL HILL BOOSTER STATION ONE-LINE
E-7	HOSPITAL HILL BOOSTER STATION PLAN VIEW
E-8	WTP HIGH SERVICE PUMP STATION ONE-LINE
E-9	WTP HIGH SERVICE PUMP STATION PLAN VIEW

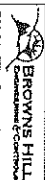
THIS IS THE DRAWING SET FOR THIS PROJECT. SPECIFICATIONS HAVE ALSO BEEN ISSUED AND MUST BE USED IN CONJUNCTION WITH THESE DRAWINGS FOR CONSTRUCTION.

REVIEW SET
NOT FOR CONSTRUCTION

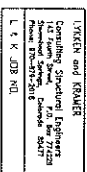


P.O. Box 775226
Steamboat Springs, CO 80477
(970) 879-7888

SURVEYOR:
Dowling Land Surveyors
300 W. Jefferson Ave.
Hayden, CO 81639
(970) 276-3613



8119 Shaffer Parkway, Unit C
Littleton, CO 80127



OWNER:
Town of Hayden
P.O. Box 190, 178 W. Jefferson Ave
Hayden, CO 81639
(970) 276-3741

Civil Design Consultants, Inc.
Engineers and Planners
2145 Resort Drive, Suite 100
Steamboat Springs, CO 80487
Tel: (970) 870-3012 • Fax: (970) 870-3028

PROJECT: SENIOR ADV BOARD
CING AREA NO. 0251.1035
OWNER: Town of Mojave
DESIGNED: 8/25/13 Anthony Sa
ISSUED: 10/25/13 Revision Set

WATER, SEWER, & DRY UTILITY NOTES

- THESE DRAWINGS DO NOT INCLUDE PROVISIONS FOR JOBSITE SAFETY.
3. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR;
ALL TRAFFIC CONTROL DEVICES SHALL BE PER "MANUAL OF UNIFORM
4. TRAFFIC CONTROL DEVICES" LATEST EDITION.

5. EXISTING DRY UTILITY LOCATIONS HAVE BEEN PLOTTED FROM AVAILABLE INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

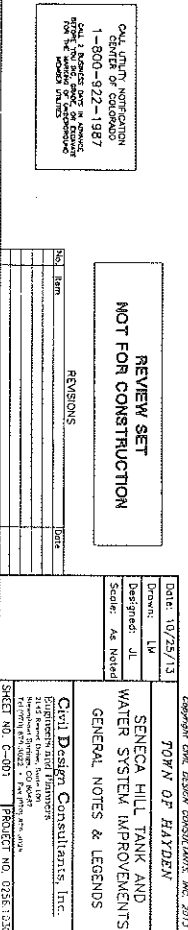
6. COMPLETE SUBGRADE CONSTRUCTION PRIOR TO WATER, SEWER, AND DRY UTILITY INSTALLATION.
7. MANHOLE AND RAIN GUT ELEVATIONS ARE APPROXIMATE AND REPRESENT APPROXIMATE FINISH ELEVATIONS. CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND INSTALLING COMPONENTS SUCH THAT THE SPECIFICATIONS OF THE COVERING WATER AND SEWER DISTRICT ARE MET, INCLUDING ADJUSTMENTS FROM INDICATED ELEVATIONS, IF REQUIRED.
8. MAINTAIN 12 FT. CLEAR SPACE BETWEEN FIRE HYDRANTS AND CURB BOXES, SEWER CLEANSOUTS AND ALL ABOVE GROUND DRY UTILITY FIXTURES.
9. PROPOSED ELECTRIC, TELEPHONE, CABLE TV, AND GAS LINE LOCATIONS AND ABOVE GROUND FACILITIES SHOWN ARE PRELIMINARY AND MAY VARY WHEN DESIGN IS COMPLETED BY THE UTILITY COMPANIES. MAINTAIN 5' MINIMUM SEPARATION BETWEEN DRY UTILITIES AND PARALLEL WATER/SEWER LINES.

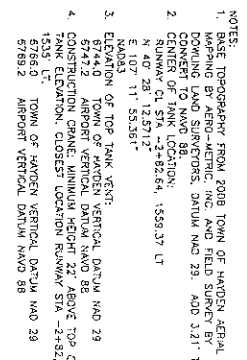
LEGEND

1. THE REQUIRED, UNIFORM, GENERAL, STANDARDIZED, PRACTICES, AGE, SPOUNED, AND NOTED ON THE DRAWINGS, TO THE DESIGN, INSTRUCTIONS MAY ALSO BE SHOWN. THE CONTRACTOR SHALL MODIFY AND SUPPLEMENT PRACTICES SHOWN AS NECESSARY TO SAFELY STOREMAYER PLAY AND SWIMMING RECREATIONS, COMPLY WITH THE BROOKLYN, HESKOLD, AND SEYMOUR, CONTROL, POLICE, COMMISSIONER, 1000T DUNN, COLORADO.
2. CONTRACTOR SHALL OBTAIN A STORMWATER DISEASES, THE DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENTAL AFFAIRS, THE CONTRACTOR MAY SUPPLEMENT THE INFORMATION PROVIDED ON THESE DRAWINGS AND SPECIFICATIONS AS NECESSARY FOR PREPARATION OF A STORMWATER SHALL HAVE NO DUTY OR RESPONSIBILITY WITH RESPECT TO PREPARATION OF THIS PLAN.

2:1
SITE

- [illegible]



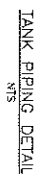
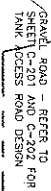


Mr. [redacted]	State
[redacted]	
[redacted]	
[redacted]	
Date: 10/25/13	
Drawn: LM	
Designed: RM	
Scale: As Noted	

TOWN OF HAYDEN
 SENECA HILL TANK AND
 WATER SYSTEM IMPROVEMENTS
 SITE PLAN

Civil Design Consultants, Inc.
 Engineers and Planners
 2142 West 12th Street, Suite 100
 Fort Collins, CO 80521
 Telephone: 970-225-7700 Fax: 970-225-7701

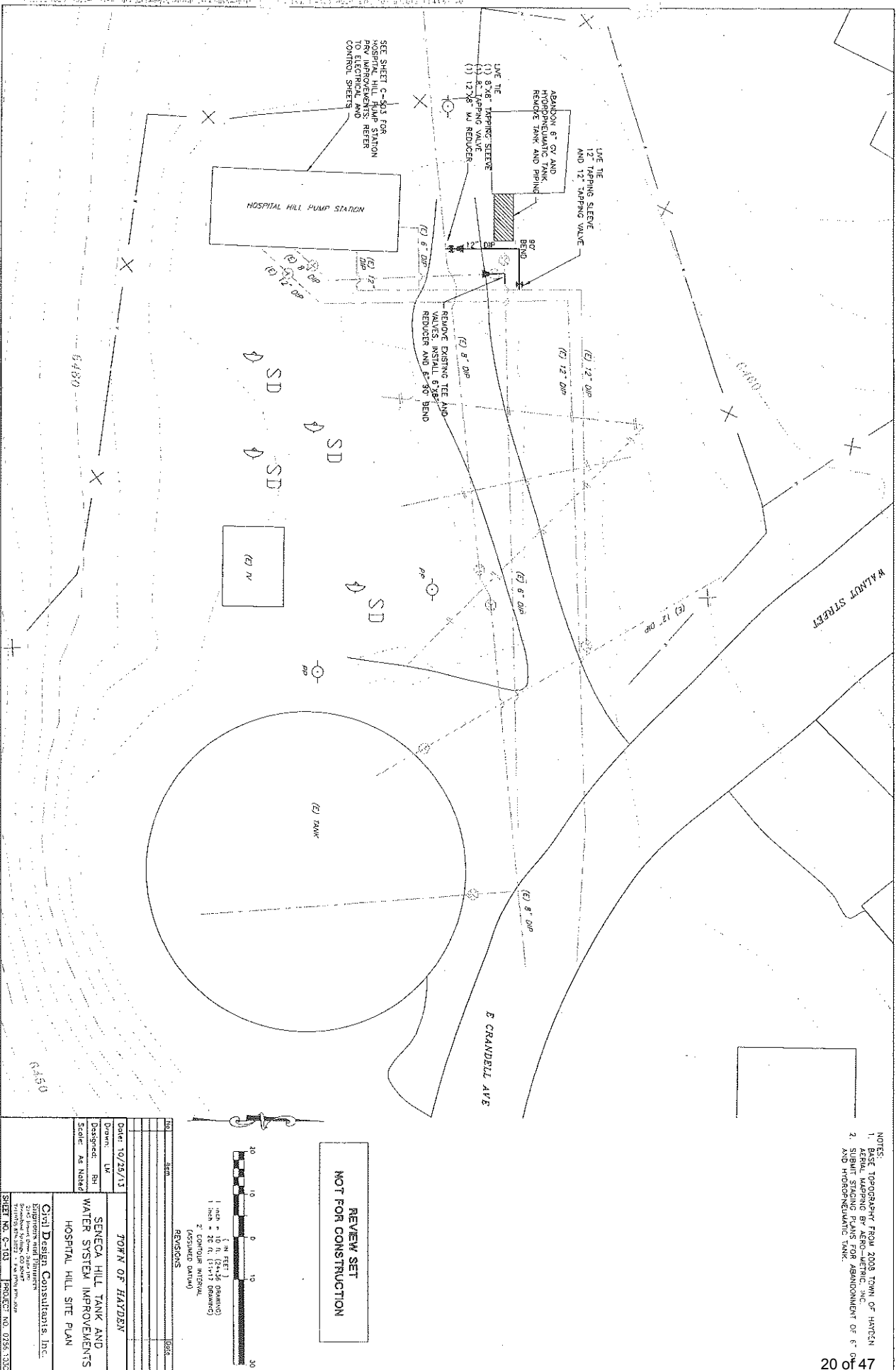
SHEET NO. C-101 PROJECT NO. 0256-1036-0100

1' CONTOUR INTERVAL
(ASSUMED DATUM)

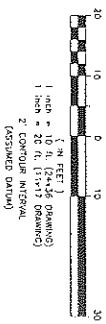
T-1002 870-1022 - FOR 10201 870-1122
SHEET NO. C-102 PROJECT

19 of 47

- NOTES:
1. BASE TOPOGRAPHY FROM 2003 TOWN OF HAYDEN
 2. REPAIR TAPPING BY AEROS-TECH, INC.
 3. ABANDON 6" CV AND HYDRO-PNEUMATIC TANK
 4. AND HYDRO-PNEUMATIC TANK



REVIEW SET
NOT FOR CONSTRUCTION



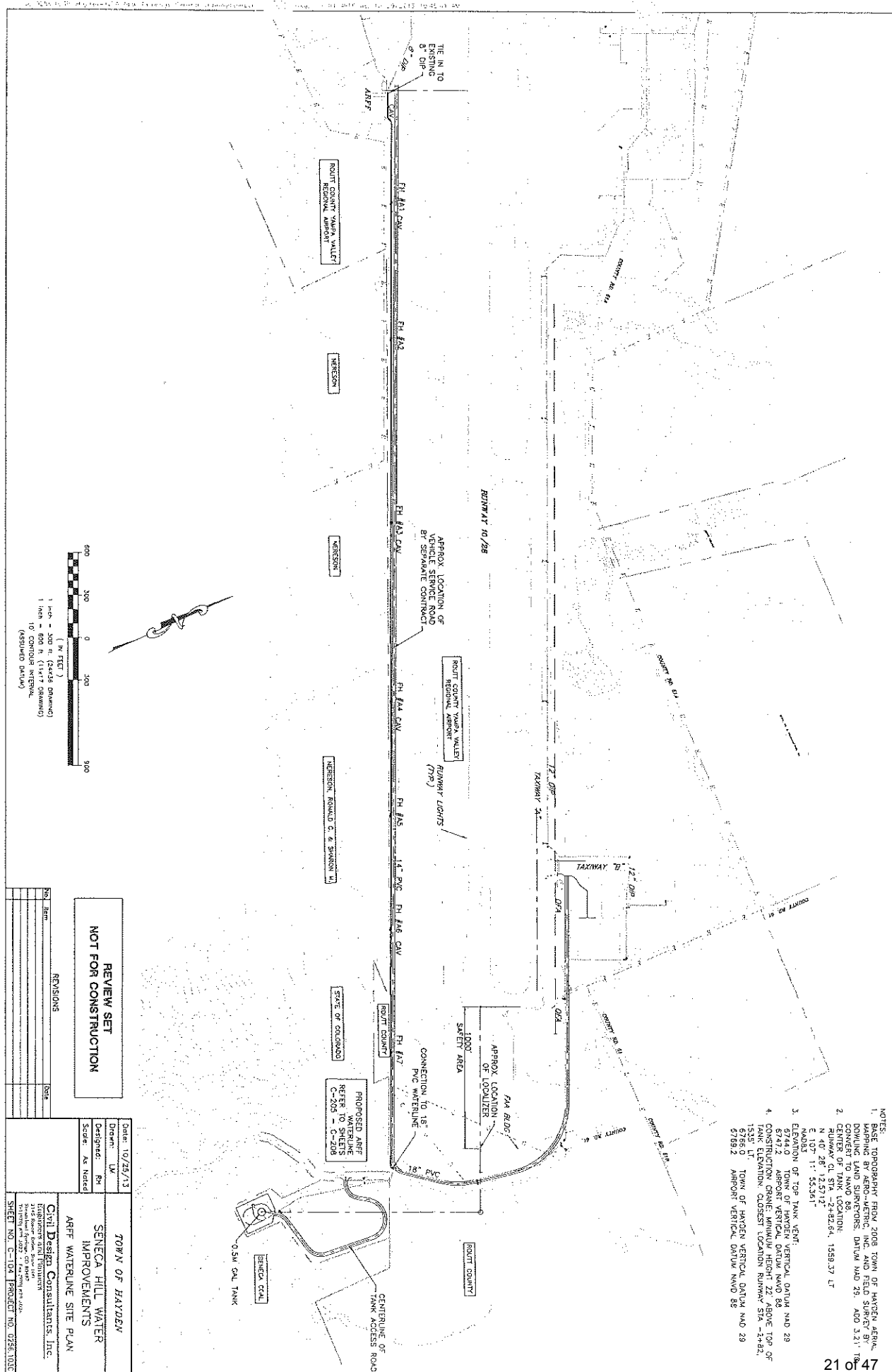
REVISIONS

NO.	DATE	BY	DESCRIPTION
1	10/25/13	LM	Drawn
2		PH	Designed
3		KE	Scale

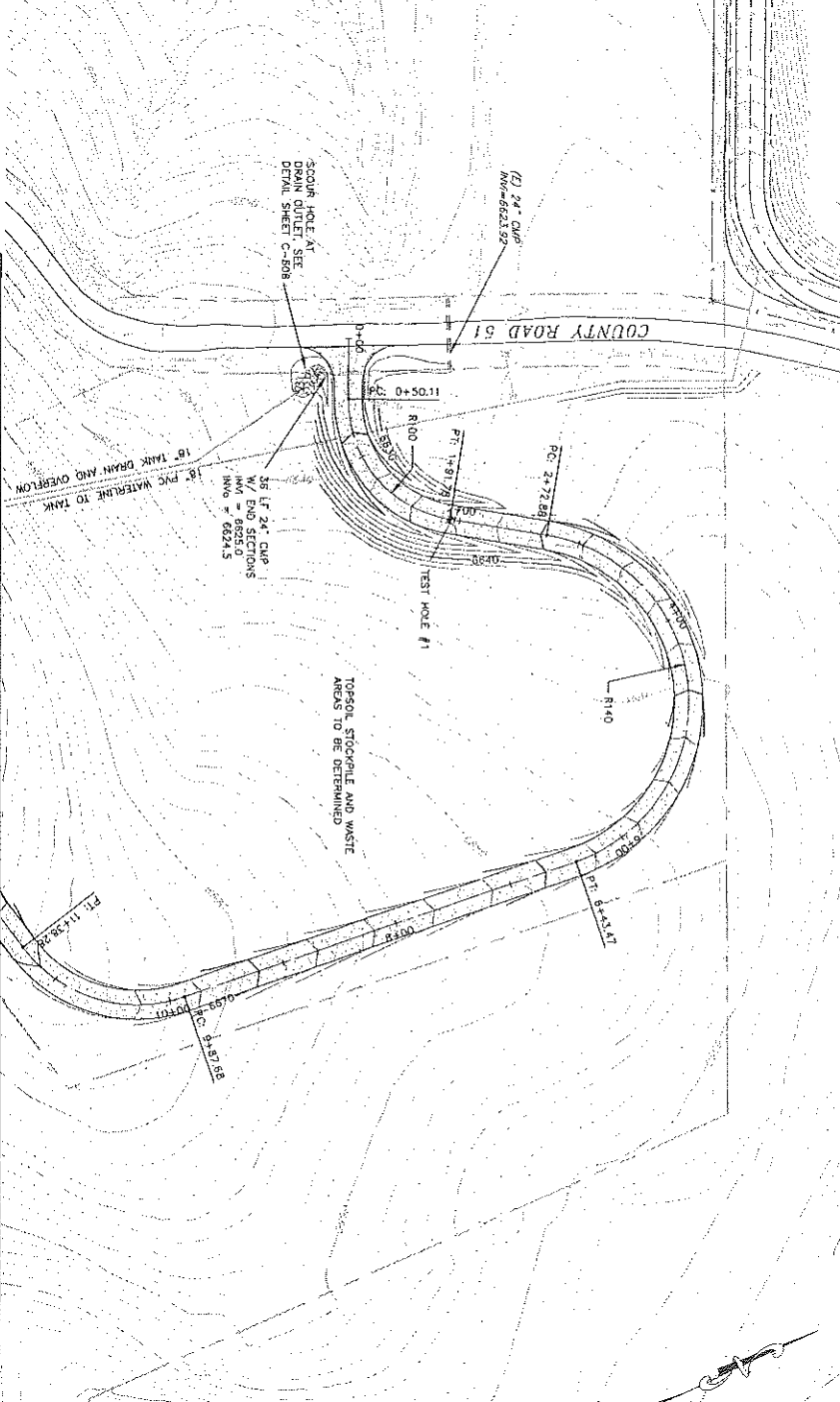
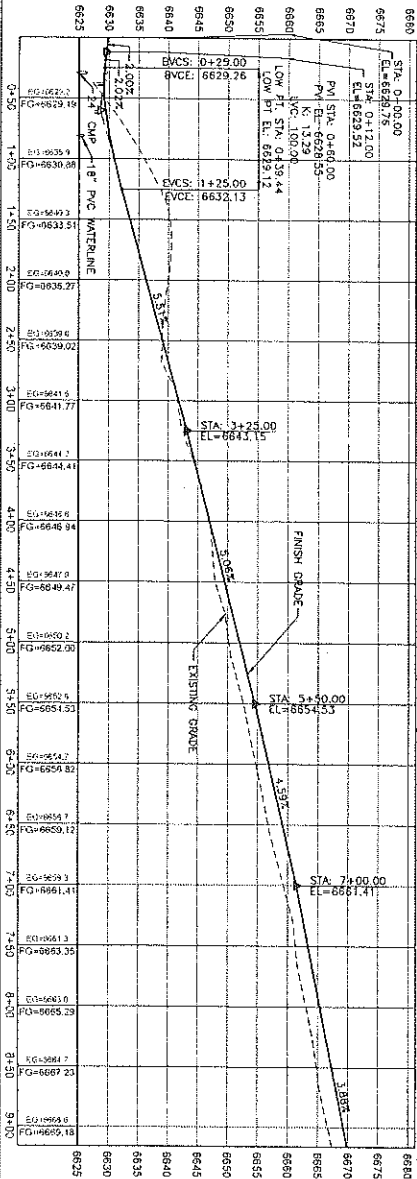
TOWN OF HAYDEN
SENECA HILL TANK AND
WATER SYSTEM IMPROVEMENTS
HOSPITAL HILL SITE PLAN

Civil Design Consultants, Inc.
1000 Main Street
Seneca Falls, NY 13150
Tel: 315.566.1111
Fax: 315.566.1112
Email: info@cdci.net

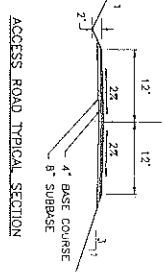
SHEET NO. C-101 PROJECT NO. 0256.102



SCALE: 1" = 50' HORIZ
1" = 10' VERT
(24"x36" SHEET)



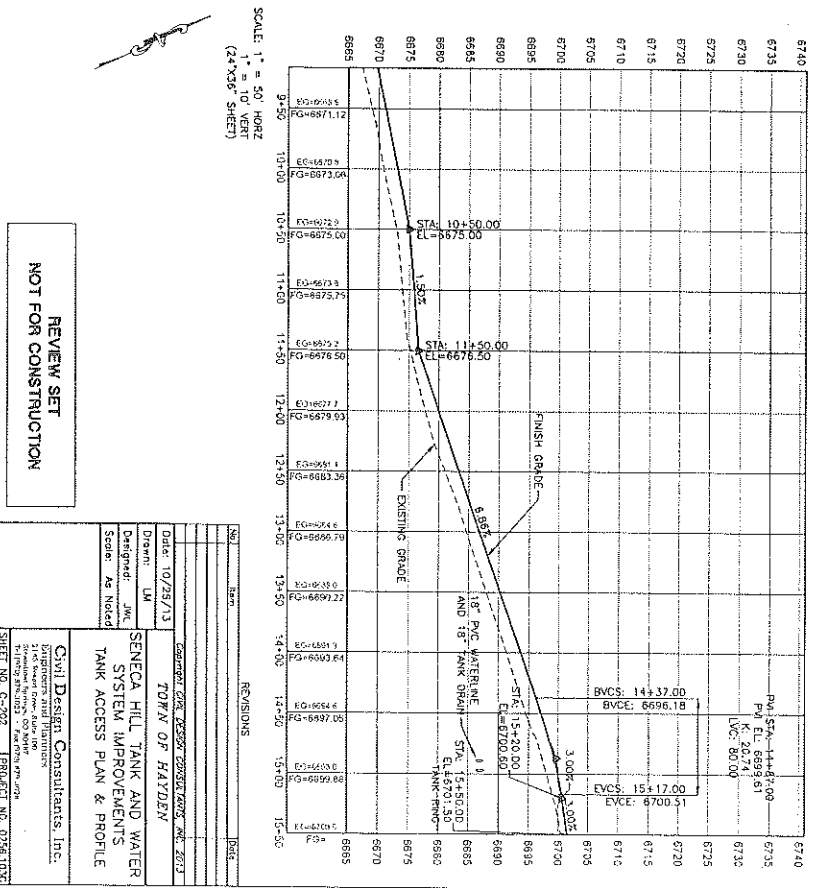
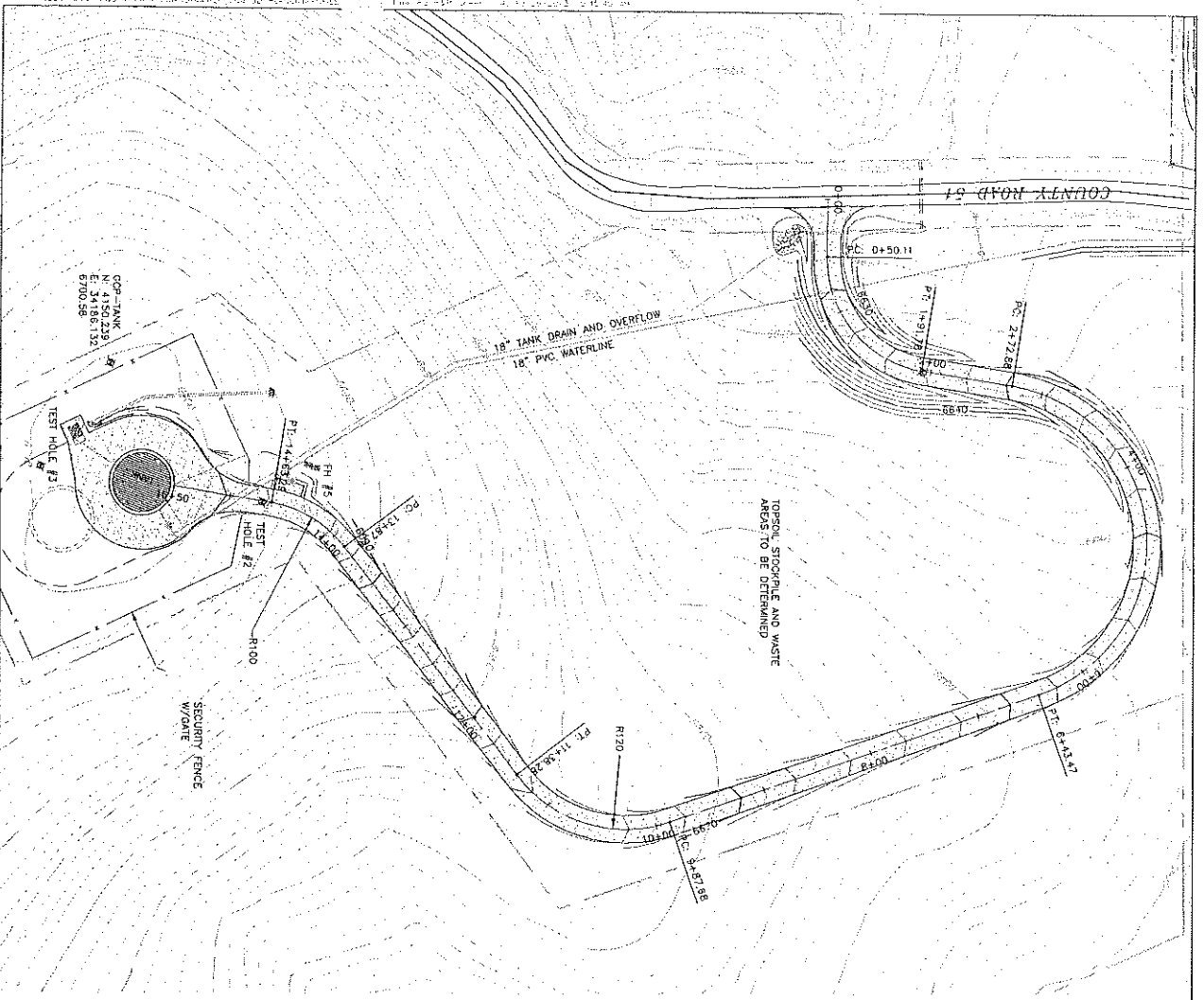
NOTES:
1. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
2. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
3. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
4. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
5. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
6. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
7. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
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PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
9. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.
10. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN AERIAL
PHOTOGRAPH. ALL ELEVATIONS ARE IN FEET ABOVE SEA LEVEL.



REVIEW SET
NOT FOR CONSTRUCTION

REV	DATE	DESCRIPTION
1	10/25/13	DESIGN DEVELOPMENT
2	10/25/13	DESIGN DEVELOPMENT
3	10/25/13	DESIGN DEVELOPMENT
4	10/25/13	DESIGN DEVELOPMENT
5	10/25/13	DESIGN DEVELOPMENT
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10	10/25/13	DESIGN DEVELOPMENT

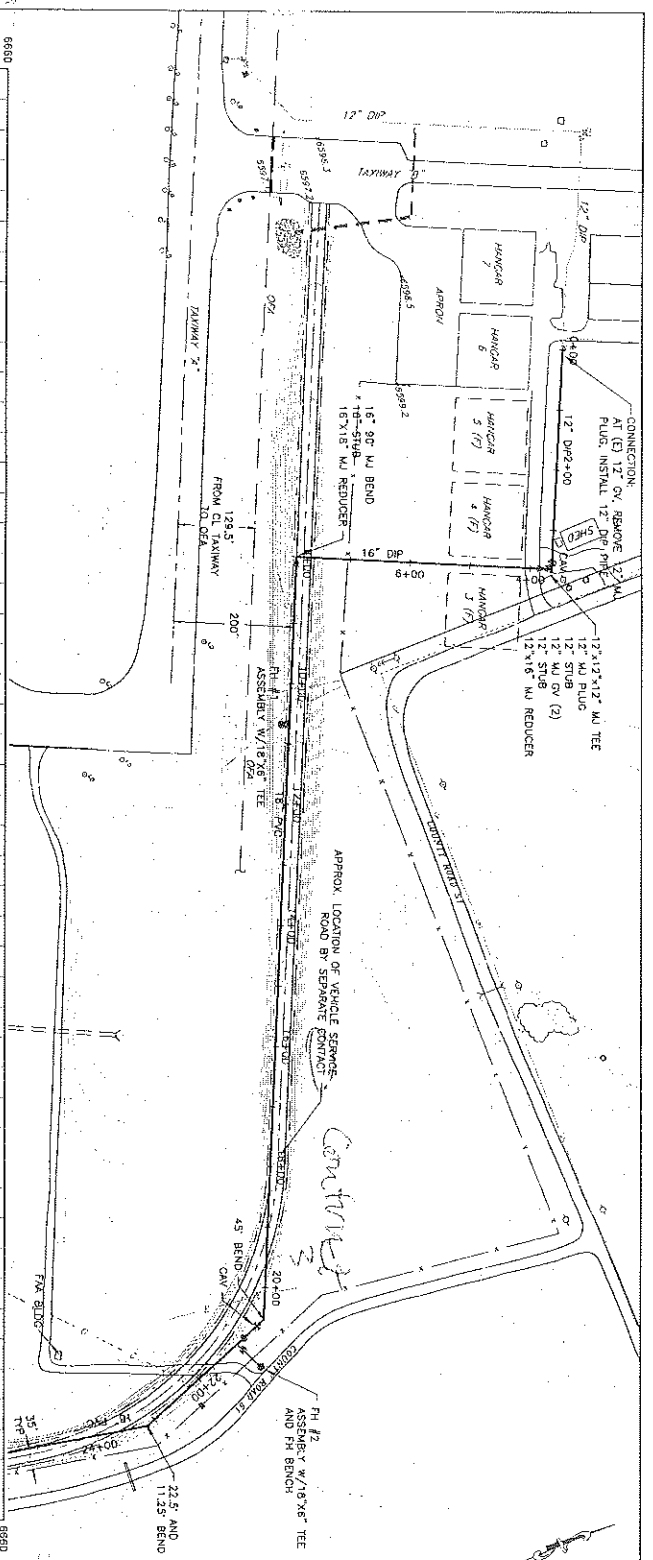
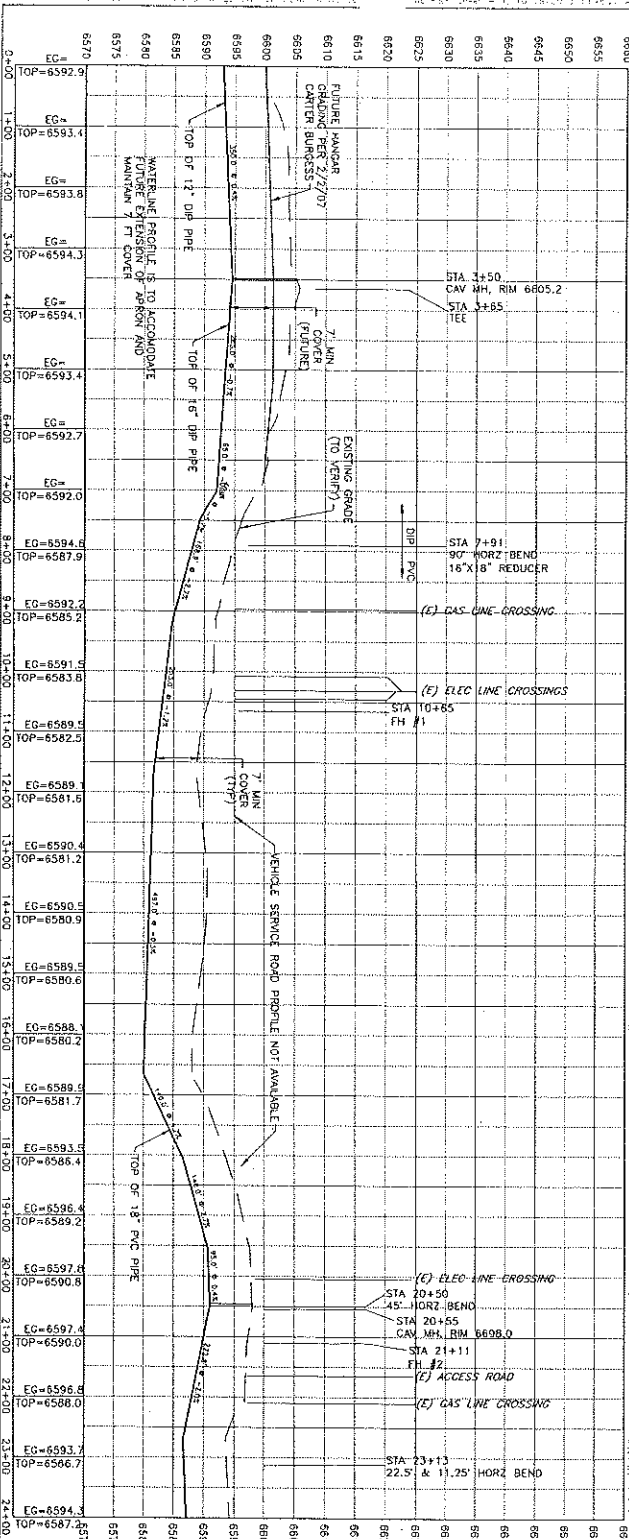
Civil Design Consultants, Inc.
10000 Highway 100
Suite 100
Hayden, CO 80141
PROJECT NO. 055-105
SHEET NO. C-201



REVIEW SET
NOT FOR CONSTRUCTION

No.	Rev.	Date	By	Check
1		10/25/13	JMK	LM
SENeca HILL TANK AND WATER SYSTEM IMPROVEMENTS TANK ACCESS PLAN & PROFILE				
Civil Design Consultants, Inc. 10000 Old Highway 100, Suite 100 Seneca, NY 13858 Phone: 518-735-1234 Fax: 518-735-1235 Email: info@cdcinc.com				
SHEET NO. C-202 PROJECT NO. 0355.002				

NOTES:
1. BASE MAPS FROM 2008 TOWN OF SENeca
2. ALL ELEVATIONS ARE IN FEET
3. SURVEY BY DOWLING LAND SURVEYORS, CALDWELL, NY
28. ADD 3.21' TO CONVERT TO MWD 88.

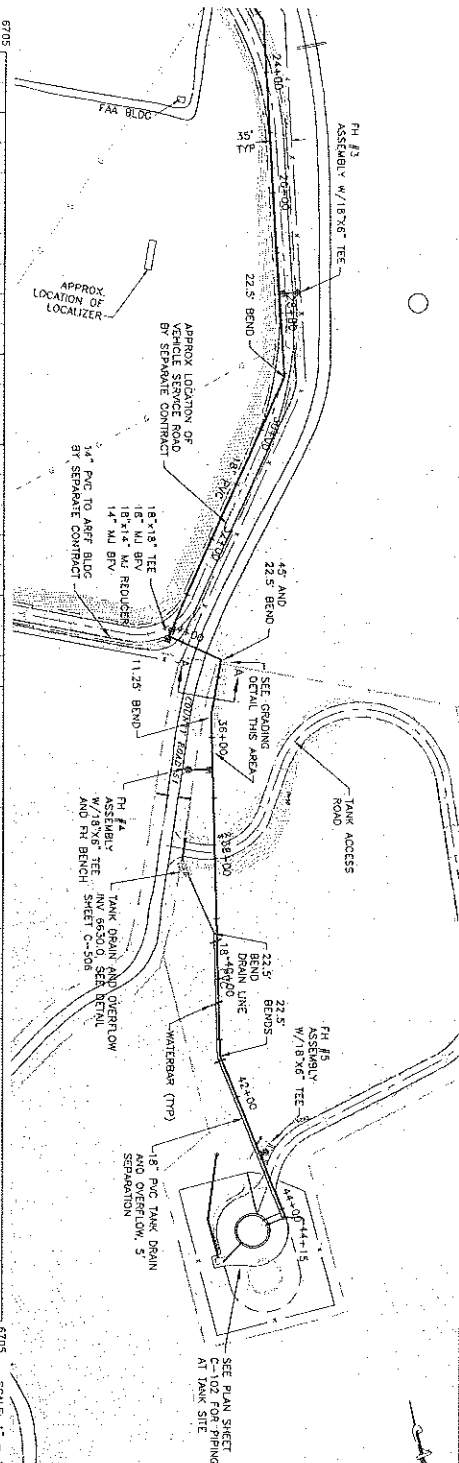
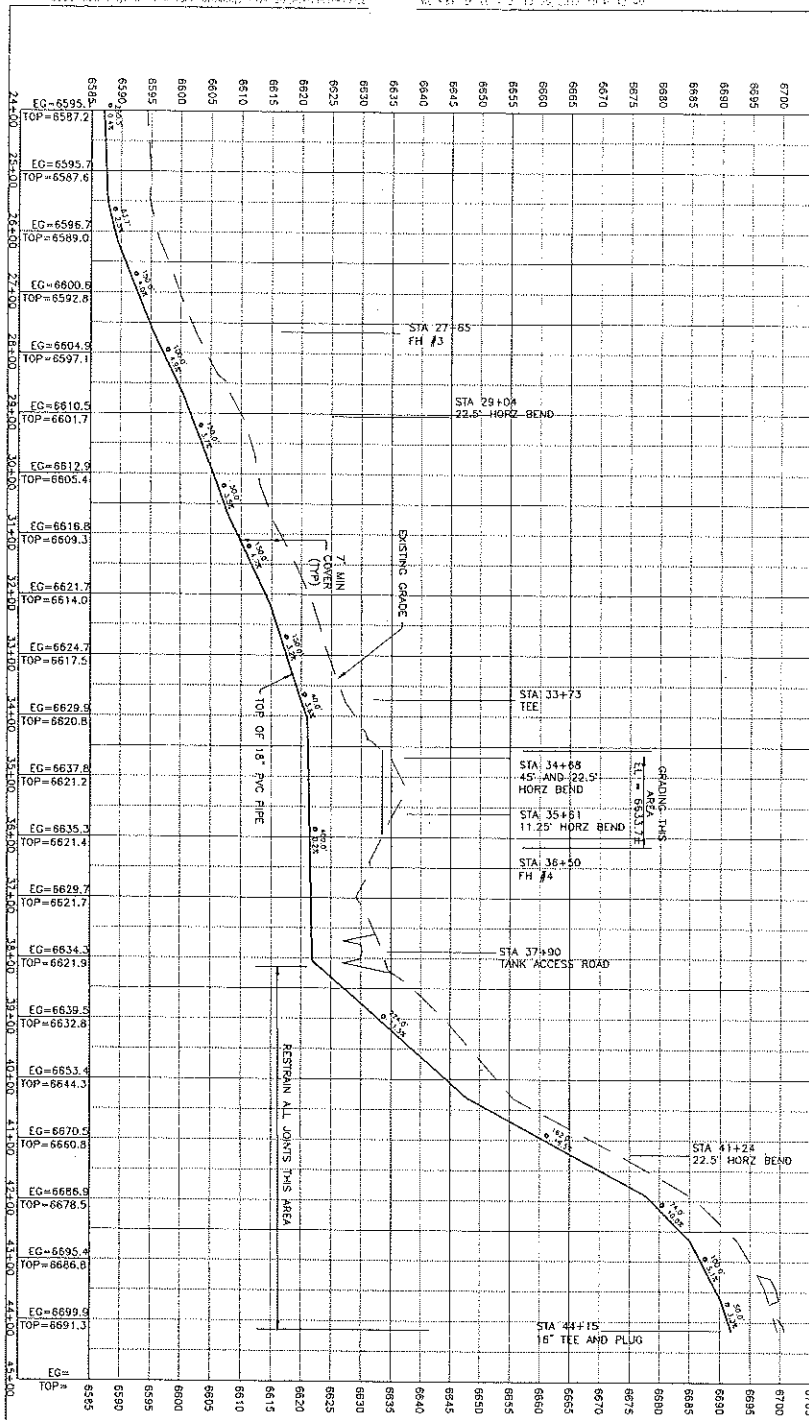


- NOTES:
1. BASE TOPOGRAPHY FROM 2008 TOWN OF HAVEN
 2. AERIAL MAPS BY AERO-LETRIC, INC. AND FIELD SURVEY BY DOWLING AND SUPERVISOR BRADY TANK
 3. ALL DIMENSIONS SHOWN ON THIS PLAN SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
 4. ALL FIRE HYDRANTS WITHIN AIRPORT FENCE SHALL HAVE AN ASPHALT PAVED BENCH. ALL FIRE HYDRANTS OUTSIDE AIRPORT FENCE SHALL HAVE A VEHICLE SERVICE ROAD CRODING SHOWN FOR REFERENCE ONLY.

REVIEW SET
NOT FOR CONSTRUCTION

NO.	REVISIONS	DATE
1	ISSUED FOR CONSTRUCTION	10/25/13
2	REVISED PER COMMENTS	11/15/13
3	REVISED PER COMMENTS	12/10/13
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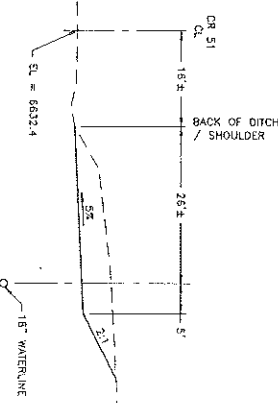
Civil Design Consultants, Inc.
Engineers and Planners
10000 Highway 100, Suite 100
Havertown, PA 19310
Project No. 0354.032



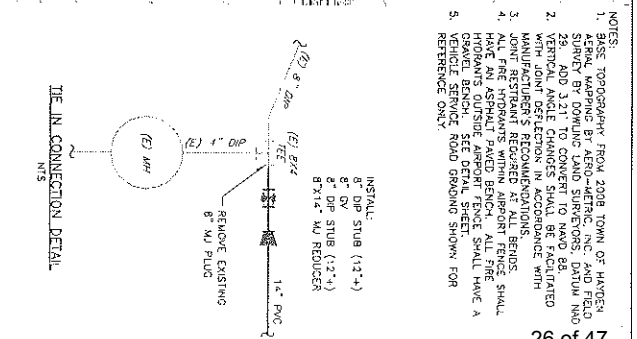
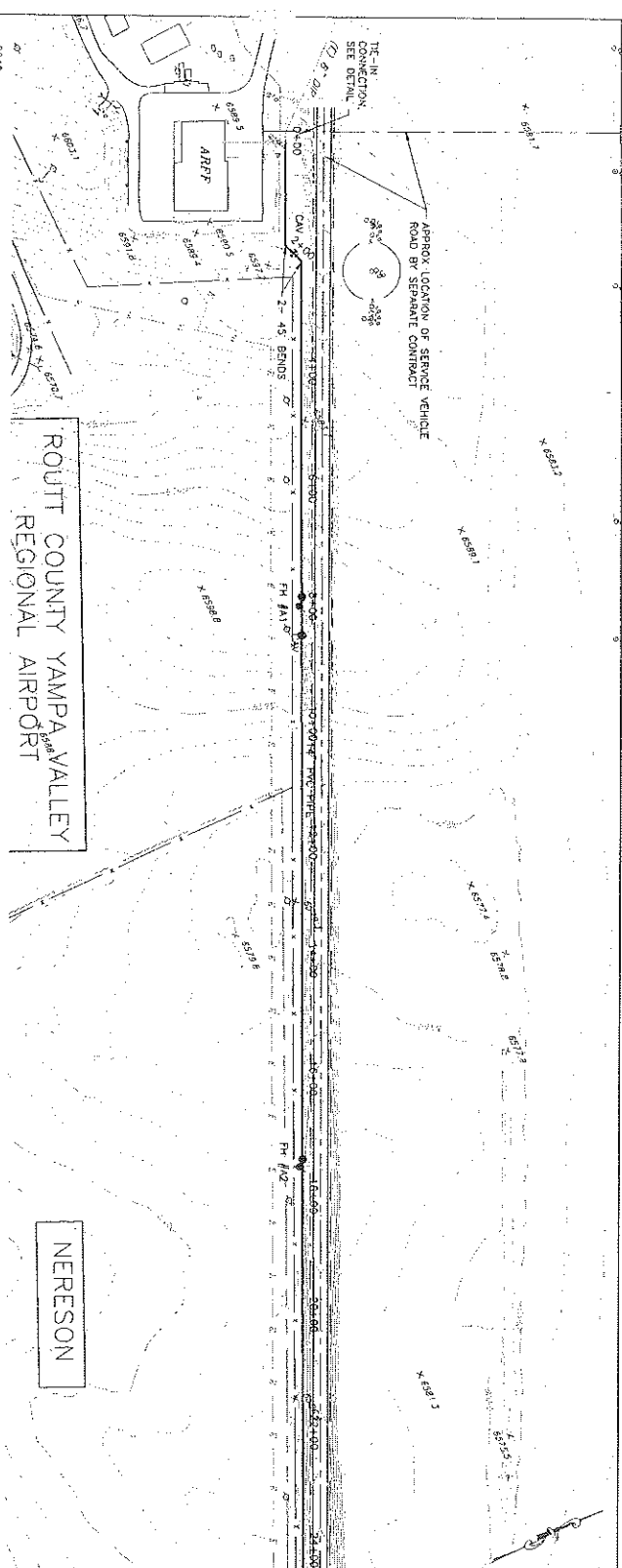
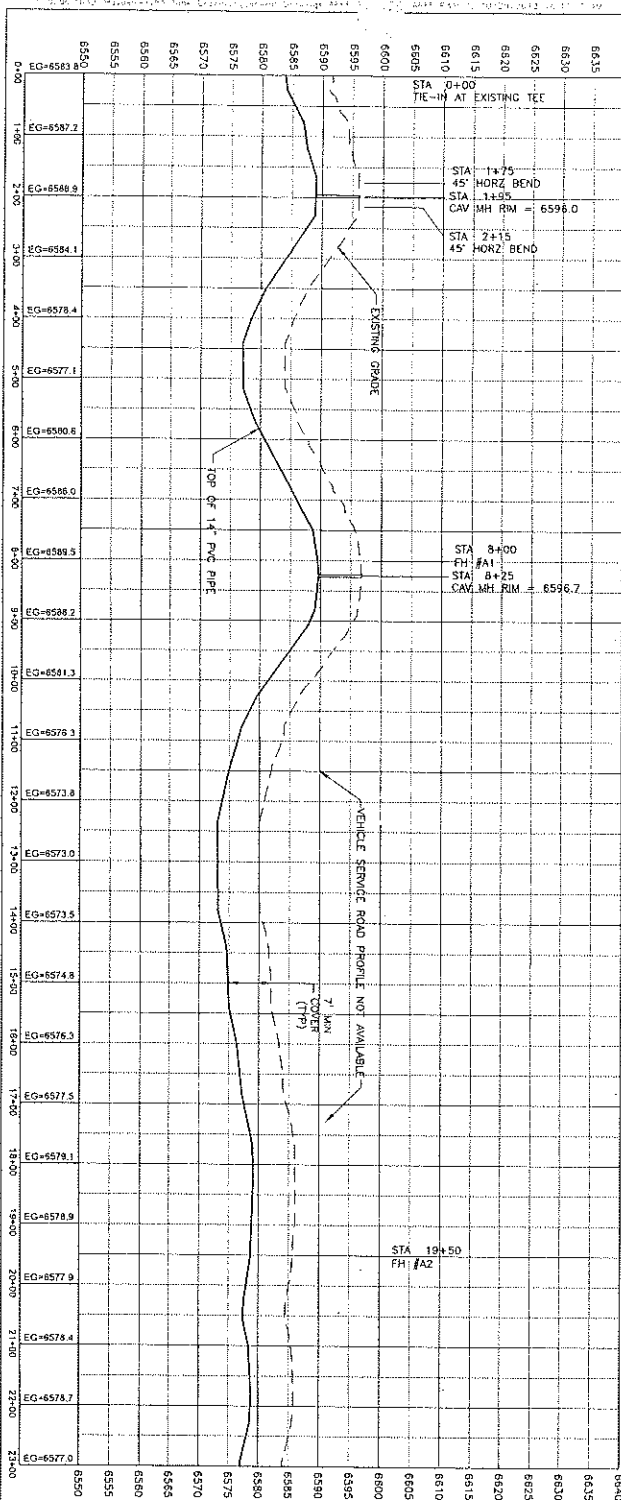
No.	Date	By	Check
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8	10/25/13	DR	DR
9	10/25/13	DR	DR
10	10/25/13	DR	DR

**REVIEW SET
NOT FOR CONSTRUCTION**

GRADING DETAIL
SECTION A-A
SCALE: 1" = 10'



- NOTES:
1. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN.
 2. ALL ELEVATIONS BY AERO-METRIC, INC. AND FIELD SURVEY BY TOWN OF HAYDEN. ELEVATIONS SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 3. ALL ELEVATIONS SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 4. ALL ELEVATIONS SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 5. ALL ELEVATIONS SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

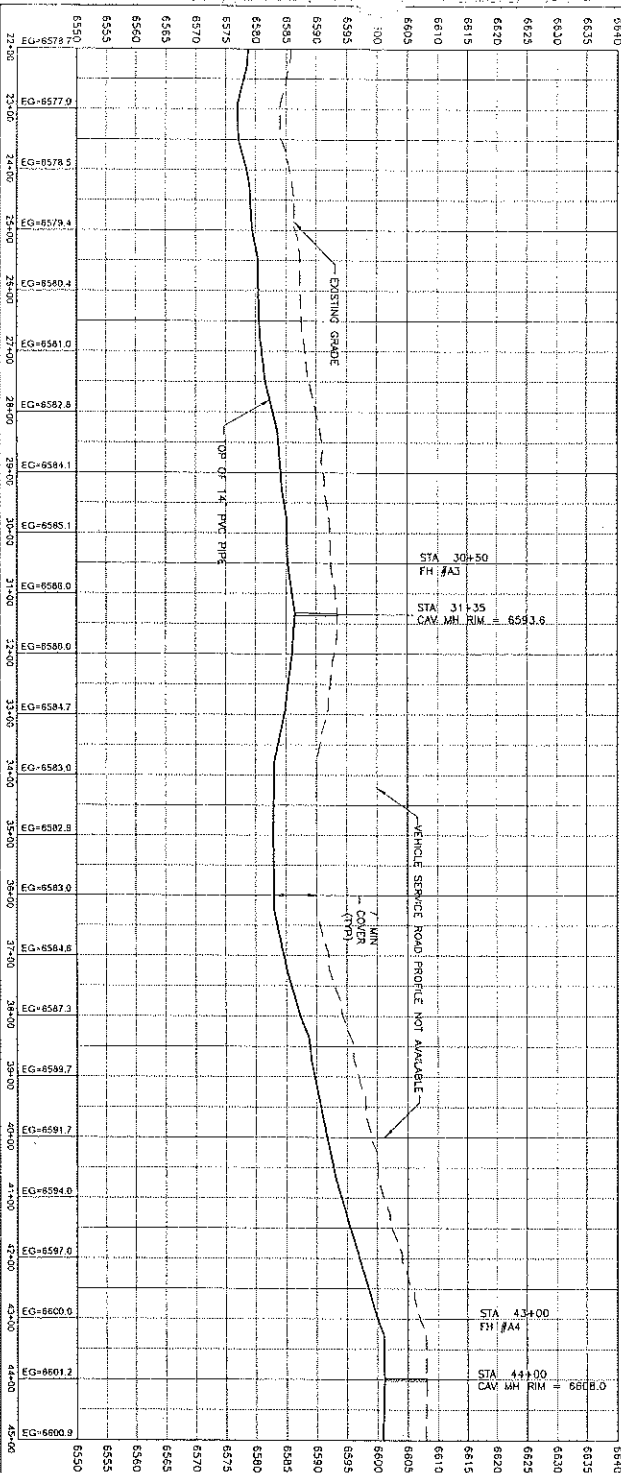


6540	EG=6563.8	0+00
6545	EG=6567.2	1+00
6550	EG=6568.9	2+00
6555	EG=6564.1	3+00
6560	EG=6578.4	4+00
6565	EG=6577.1	5+00
6570	EG=6580.6	6+00
6575	EG=6586.0	7+00
6580	EG=6589.5	8+00
6585	EG=6588.2	9+00
6590	EG=6581.3	10+00
6595	EG=6576.3	11+00
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6605	EG=6573.0	13+00
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6640	EG=6577.9	20+00
6645	EG=6578.4	21+00
6650	EG=6578.7	22+00
6655	EG=6577.0	23+00

ROUTE COUNTY YAMPA VALLEY REGIONAL AIRPORT

APPROX LOCATION OF SERVICE VEHICLE
ROAD BY SEPARATE CONTRACT

NERESON



SCALE: 1" = 100' HORIZ
1" = 10' VERT

- NOTES:
1. BASE TOPOGRAPHY FROM 2008, TOWN OF HAYDEN
 2. BASE ELEVATION OF ROAD AND ROAD RIGHT-OF-WAY (ROW) SHALL BE DETERMINED BY THE ENGINEER AND SUPERVISOR OF THE PROJECT
 3. VERTICAL ANGLE CHANGES SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH THE AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES AND STRUCTURES
 4. ALL FIRE HYDRANTS WITHIN AIRPORT FENCE SHALL HAVE AN ASPHALT PAVED DRIVE. ALL FIRE HYDRANTS OUTSIDE AIRPORT FENCE SHALL HAVE A DRIVE PAVED TO THE STREET
 5. VEHICLE SERVICE ROAD CRODING SHOWN FOR REFERENCE ONLY

REVIEW SET
NOT FOR CONSTRUCTION

No.	Item	Date
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SENNECA HILL TANK AND WATER
SYSTEM IMPROVEMENTS
ARFF WATERLINE
PLAN AND PROFILE

Civil Design Consultants, Inc.
1000 1st Avenue
Hayden, CO 80636
Phone: 970.234.1234
Fax: 970.234.1235
Email: info@cdci-inc.com
Website: www.cdci-inc.com

Sheet No. C-206 1901.00 NO. 0236.1035

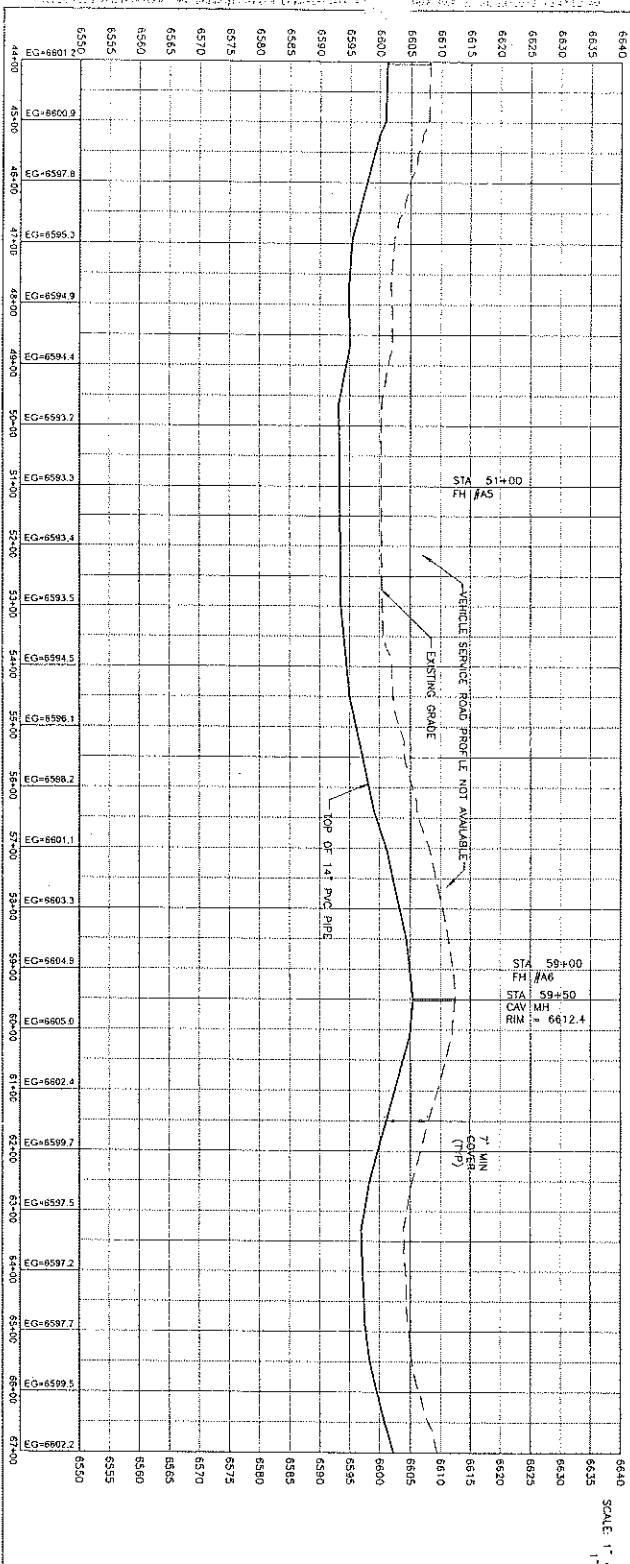
YAMPA VALLEY AIRPORT

APPROX LOCATION OF SERVICE VEHICLE
ROAD BY SEPARATE CONTRACT

ROUTE COUNTY

NERESON, RONALD G. & SHARON M.

STATE OF COLORADO



SCALE 1" = 100' HORIZ
1" = 10' VERT

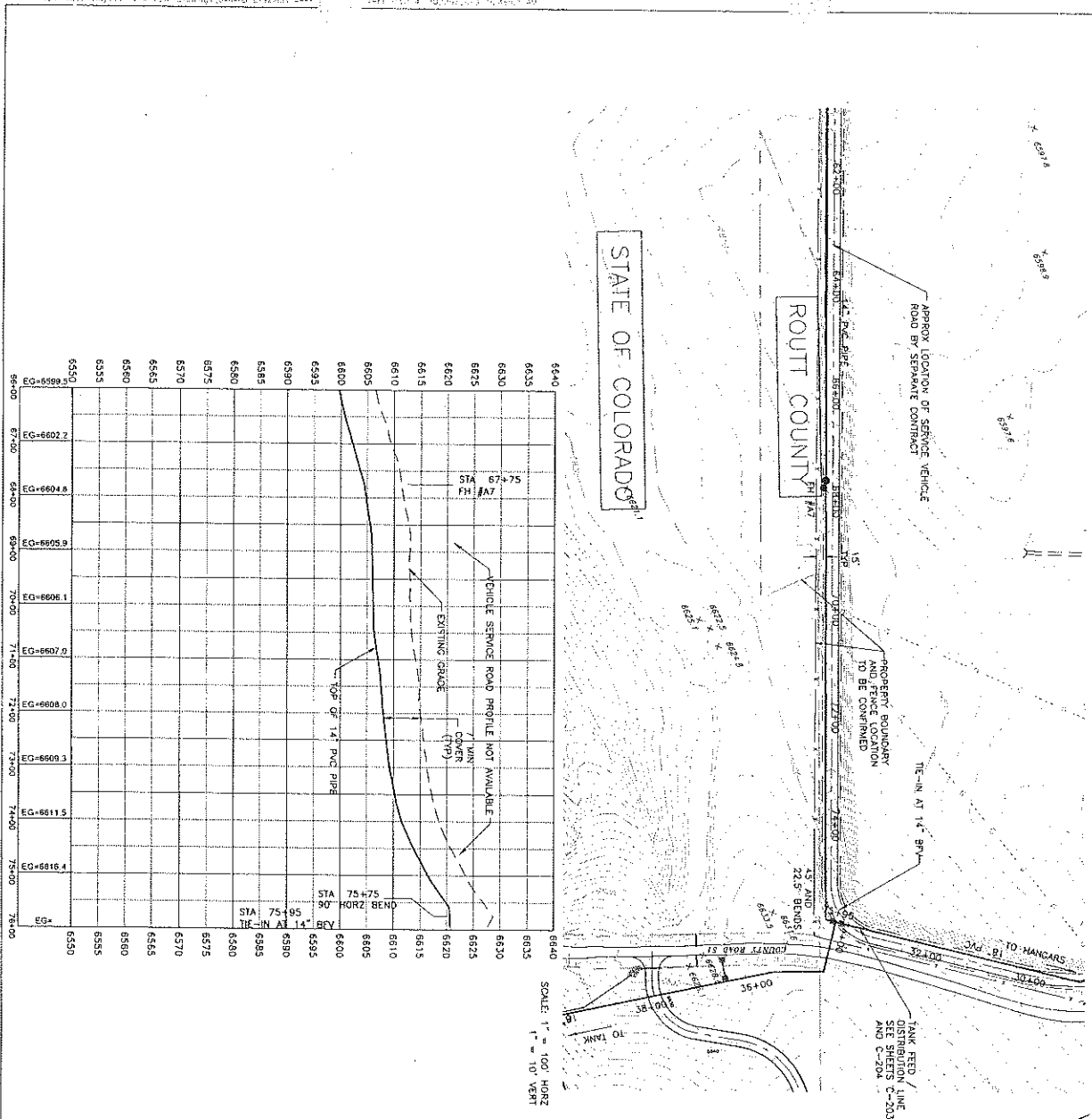
- NOTES:
1. BASE TOPOGRAPHY FROM 2008 TOWN OF HAYDEN
 2. SLOPE MARKING BY AERO-METRIC, INC. AND FIELD
 3. 23. ADD 1.21" TO CONVERT TO NAD 83
 4. VERTICAL ANGLE CHANGES SHALL BE FACILITATED WITH JOINT DEFLECTION IN ACCORDANCE WITH
 5. ALL PAVEMENTS WITHIN AIRPORT FENCE SHALL HAVE AN ASPHALT PAVED BENCH. ALL FIRE CRACKS AND JOINTS SHALL BE FULLY SEALED.
 6. GRADE SHALL BE MAINTAINED TO PREVENT A VEHICLE SERVICE ROAD GRADING SHOW FOR REFERENCE ONLY.

REVIEW SET
NOT FOR CONSTRUCTION

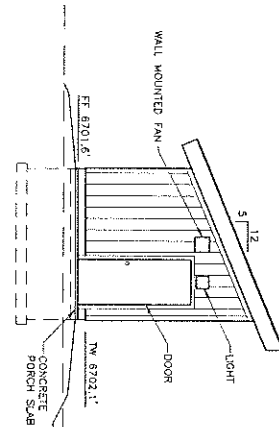
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3	12/15/13	DESIGN FOR TANK AND WATER SYSTEM IMPROVEMENTS
4	01/15/14	DESIGN FOR TANK AND WATER SYSTEM IMPROVEMENTS
5	02/15/14	DESIGN FOR TANK AND WATER SYSTEM IMPROVEMENTS
6	03/15/14	DESIGN FOR TANK AND WATER SYSTEM IMPROVEMENTS
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Civil Design Consultants, Inc.
1000 North 1st Avenue
Suite 100
Denver, CO 80202
Phone: 303.733.1000
Fax: 303.733.1001
Email: info@civil-design.com
Website: www.civil-design.com

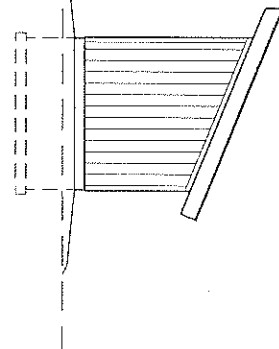
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SHEET NO. C-207



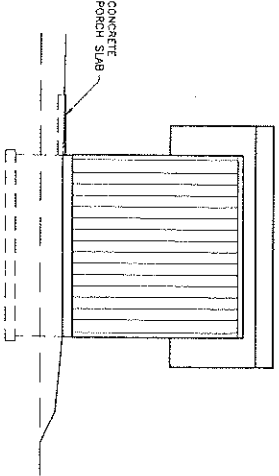
NOTES:	
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2.	AREAL MAPS BY AERO-METRIC, INC. AND FIELD
3.	2008 AERIAL PHOTOGRAPHY AND FIELD
4.	2008 AERIAL PHOTOGRAPHY AND FIELD
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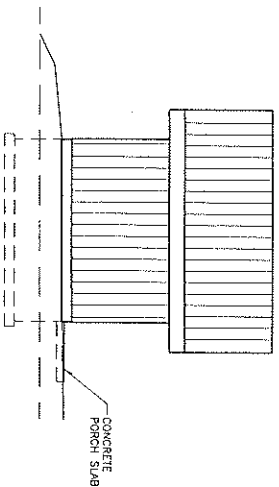
EAST ELEVATION
SCALE: 1" = 8' (11x17 SHEET)
1" = 4' (24x36 SHEET)



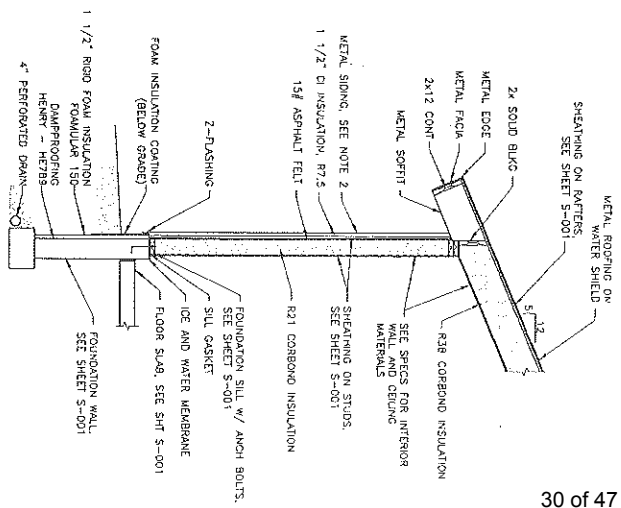
WEST ELEVATION
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1" = 4' (24x36 SHEET)



NORTH ELEVATION
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1" = 4' (24x36 SHEET)



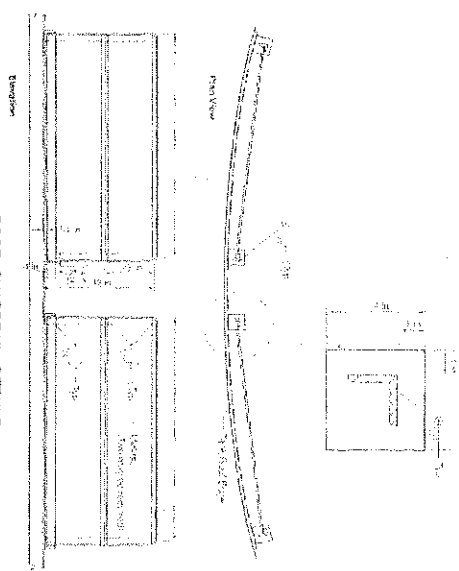
SOUTH ELEVATION
SCALE: 1" = 8' (11x17 SHEET)
1" = 4' (24x36 SHEET)



- NOTES:**
1. WALL MOUNTED FAN - BROWN MODEL 509 WITH FAIRFAX ELECTRONIC PUSH BUTTON TIMER (PFD 60 EX). PAINT HOUSING TO MATCH DOOR.
 2. METAL SIDING AND ROOFING - SEE SPECIFICATIONS.
 3. CONCRETE PORCH SLAB - 10"x4"x6" SAME REINFORCEMENT AS FLOOR.
 4. LARGER, INSTALL HARDWARE CLOTH 1/4" DIA OVER VENTS.

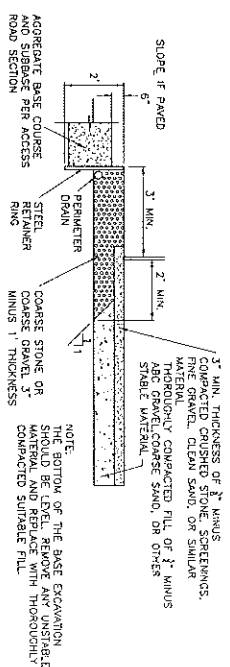
TYPICAL WALL SECTION
SCALE: 1" = 4' (11x17 SHEET)

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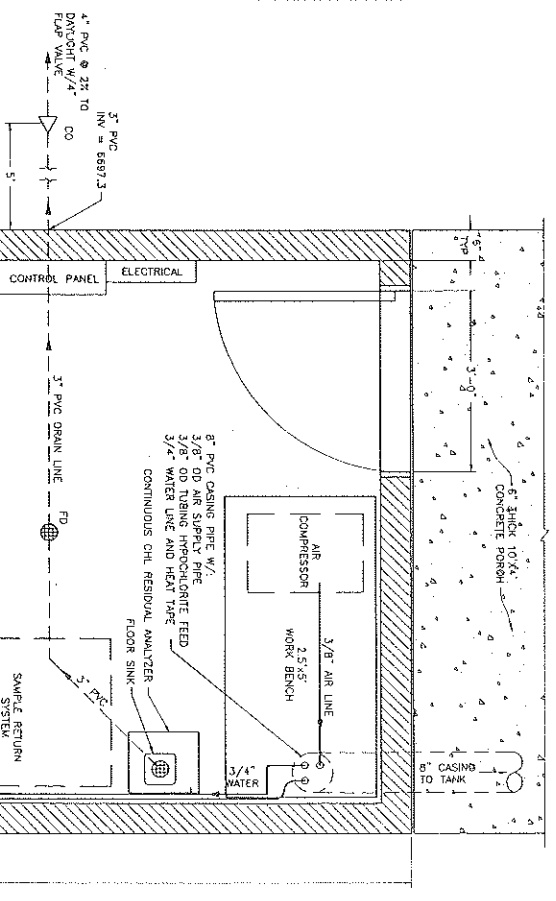
ROOF GUARDRAIL DETAILS

GRANULAR BERM TANK FOUNDATION DETAIL



Civil Design Consultants, Inc.
Proprietors and Partners
 2145 Jordan Drive, Suite 100
 Shoshone Springs, CO 80467
 Tel: (303) 876-1072 • Fax: (303) 876-4024

SHEET NO. C-501	PROJECT NO. 02556-103
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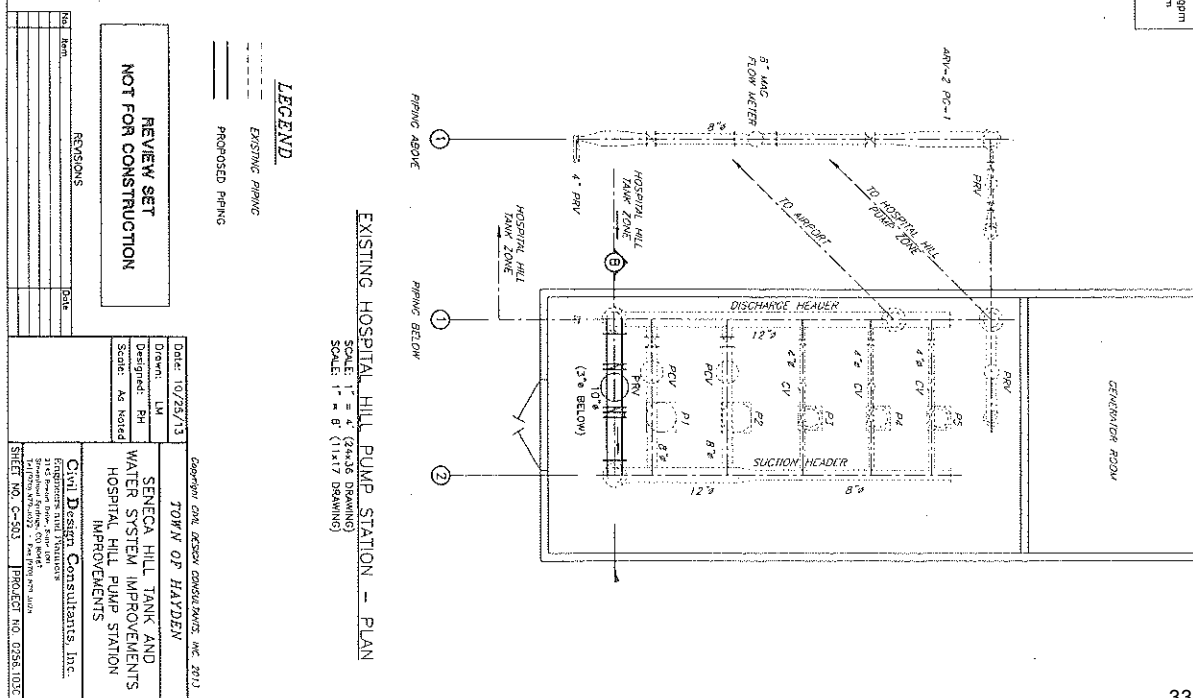


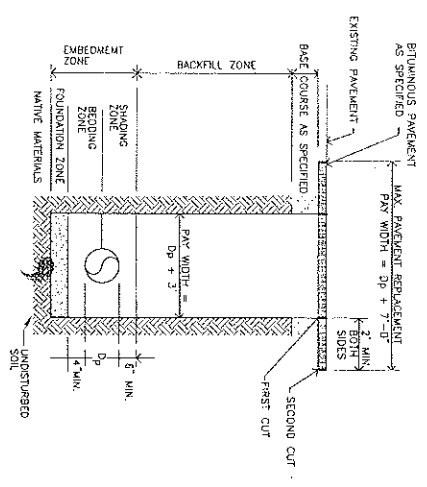
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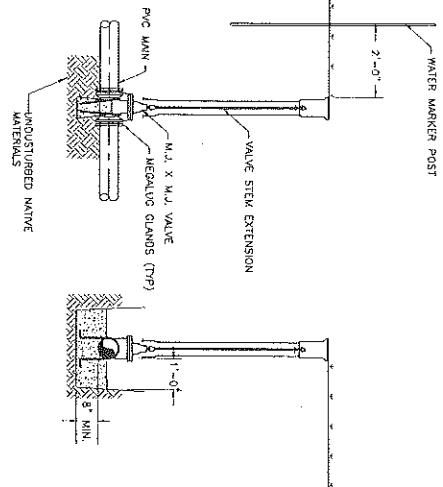
REVISIONS

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No.	Item	Date																		
<p>CHIL Design Consultants, Inc. Engineers and Planners 2145 Broad Street, Suite 104 Weymouth, MA 02190-2974 Tel: 781/941-1102 Fax: 781/941-1105 E: info@chilinc.com W: www.chilinc.com</p>		<p>TOWN OF HAYDEN SENECA HILL TANK AND WATER SYSTEM IMPROVEMENTS BOOSTER CHLORINATION DETAILS</p>																		
<p>SHEET NO. C-592</p>		<p>PROJECT NO. 0256-1326</p>																		



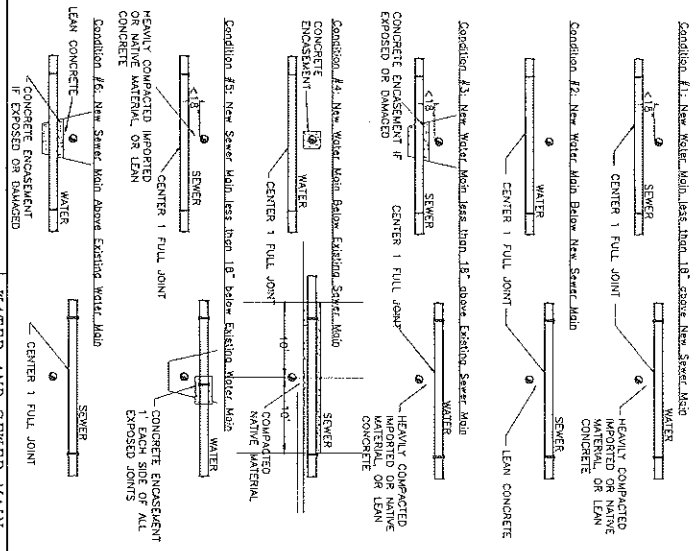


TOWN OF HAYDEN TRENCH CROSS SECTION AND PIPE EMBEDMENT

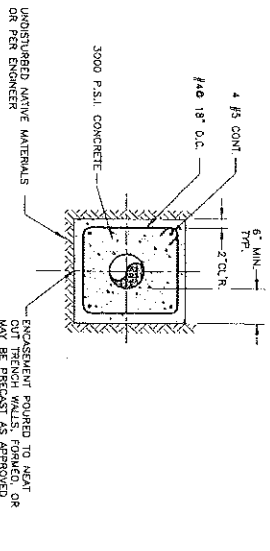


- NOTES
1. VALVE SHALL BE 1,000 PSI
 2. PLACE POLYETHYLENE GASKET BETWEEN PIPE AND CONCRETE.
 3. THRUST BLOCKS SHALL BEAR AGAINST FIRM UNDISTURBED EARTH.
 4. POLYWRAP VALVE. SEE SPECIFICATIONS.

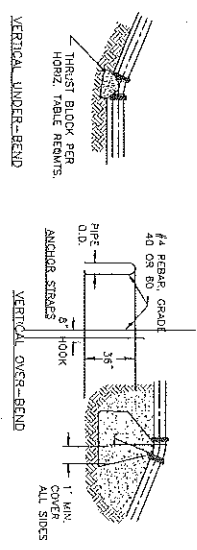
TOWN OF HAYDEN VALVE FOR PVC MAIN



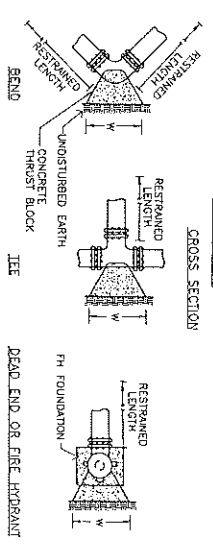
TOWN OF HAYDEN WATER AND SEWER MAIN CROSSING CONDITIONS



TOWN OF HAYDEN PIPE ENCASEMENT



- NOTES
1. FOUR (4) TOTAL ANCHOR STOPS REQUIRED. (2) EACH SIDE OF THE BEND.
 2. COAT EXPOSED STEEL WITH (2) COATS BITUMINOUS COATING.
 3. MINIMUM EMBEDMENT DEPTH = 1 FT.
 4. MINIMUM SINGLE DIMENSION ON ANY ONE SIDE = 3 FT.
 5. ANCHOR STOPS SHALL BE LOCATED 10' FROM THE BEND.
 6. ANCHOR STOPS SHALL BE BORED BETWEEN PIPE AND CONCRETE.
 7. THRUST BLOCKS SHALL BEAR AGAINST FIRM UNDISTURBED EARTH.
 8. TABLES BASED UPON MAIN PRESSURE PLUS WATERWEIGHT AND 2,000 PSF SOIL. SOIL AND PRESSURE SEE SPECIFICATIONS.
 9. THE BEARING AREA OF ALL THRUST BLOCKS WILL BE MEASURED PRIOR TO POURING.
 10. JOINT RESTRAINT IS REQUIRED IN ADDITION TO THRUST BLOCKS.



TOWN OF HAYDEN JOINT RESTRAINT AND THRUST BLOCKING

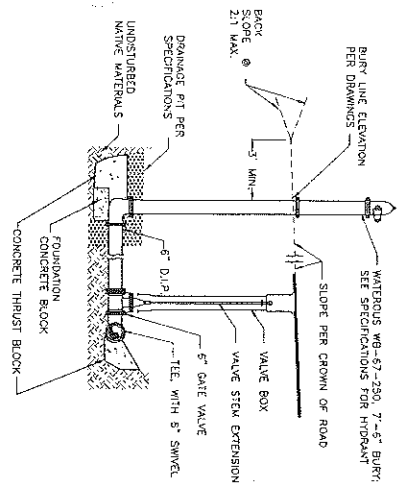
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100		10/25/13	DESIGN

SENeca HILL TANK AND
WATER SYSTEM IMPROVEMENTS
WATERLINE STANDARD DETAILS

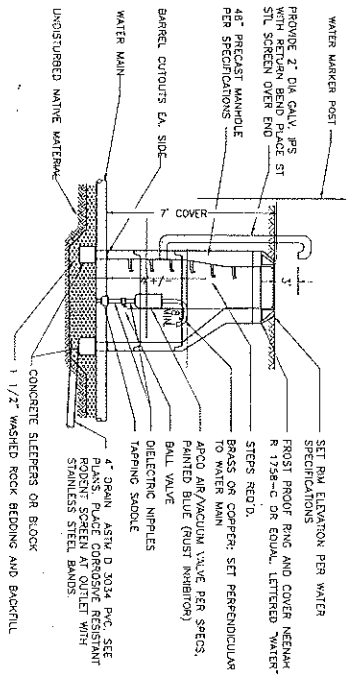
Civil Design Consultants, Inc.
10000 Highway 100, Suite 100
Baltimore, MD 21244
Phone: 410-580-1000
Fax: 410-580-1001
Email: info@civil-design.com
Website: www.civil-design.com

SHEET NO. C-584 PROJECT NO. 0255-100



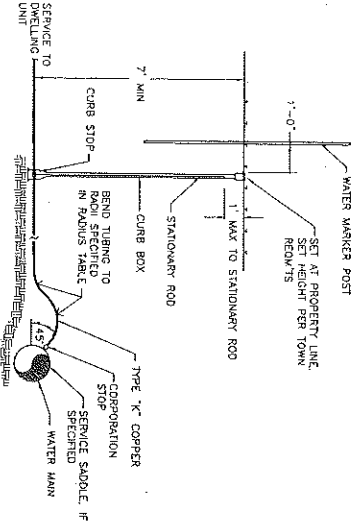
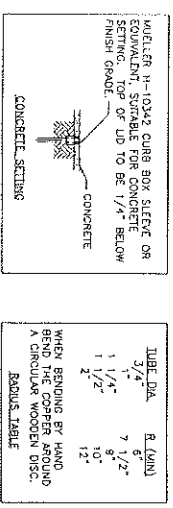
- NOTES
1. ALL HYDRANT LATERAL JOINTS REQUIRE AN APPROVED JOINT
 2. HYDRANT STEEL REQUIRE THRUST BLOCKS AND FOUNDATION BLOCK AS SHOWN
 3. POLY DUCTILE TEE, VALVE, HYDRANT AND PIPE, SEE SPECIFICATIONS.

TOWN OF HAYDEN FIRE HYDRANT



- NOTES
1. SOLID STEPS, RING AND COVER TO SET AT SITE REQUIREMENTS.
 2. SEE WATER SPECIFICATIONS FOR ADDITIONAL MATERIAL REQUIREMENTS.
 3. BOTTOM BARREL SECTION TO HAVE CUTOUTS W/2" MIN. CLR.
 4. SET BOTTOM BARREL SECTION ON TWO 12"x12"x8" REIN. PRECAST CONCRETE SLEEPERS, (12" CONCRETE BLOCKS SET RADIALLY ACCEPTABLE ALTERNATE). SPACE TO SPRING LINE INSIDE M.H.
 5. FOR AVE IN ROADWAY, ELIMINATE 2" VENT, 4" DRAIN TO DALLIGHT IS REQUIRED.
 6. SEE AIR/VACUUM VALVE FOR EACH APPLICATION.

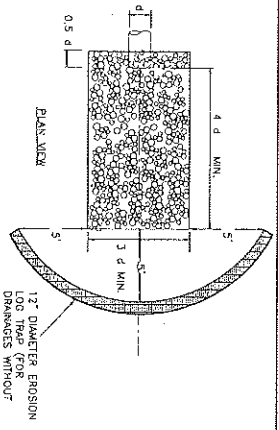
TOWN OF HAYDEN WATER MAIN AIR/VACUUM VALVE AND MANHOLE



TOWN OF HAYDEN WATER SERVICE LINE

REVIEW SET
NOT FOR CONSTRUCTION

NO.	REV.	DATE	DESCRIPTION
1		10/25/13	SENeca HILL TANK AND WATER SYSTEM IMPROVEMENTS WATERLINE STANDARD DETAILS
Civil Design Consultants, Inc.			
SHEET NO. C-565 PROJECT NO. 0256.1035			

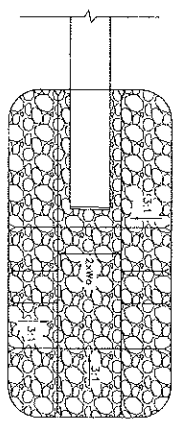


SECTION
RIPRAP SIDE SLOPE TO CHANNEL. DEPTH RIPRAPPED BOTTOM OF CHANNEL TO MATCH PIPE INVERT AND BLEND TO EXISTING CHANNEL OR EXISTING GROUND.
MIRAP 700 X FABRIC
1.5' X 0.50' MIN.

- NOTES:
1. RIPRAP $D_{50} = 6"$ (DRAINAGES WITH 18" OR SMALLER CULVERTS)
2. RIPRAP $D_{50} = 12"$ (DRAINAGES WITH CULVERTS LARGER THAN 18")

CULVERT DISCHARGE ROCK APRON

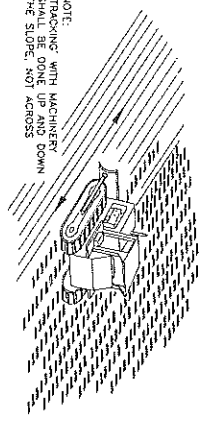
NOT TO SCALE



SECTION
18" x 24" DRAIN / OVERFLOW PIPE
18" WEA-FLANGE ADAPTER, RING FLANGE
24" MESH S.S. SCREEN AND FLAPPER
2.0' MIN.
3.0' MIN.
0.5' MIN.
1.5' X 0.50' MIN.

EMBANKMENT PROTECTOR / PREFORMED SCOUR HOLE

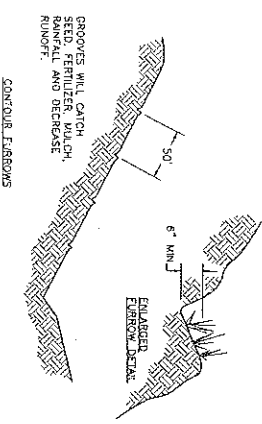
NOT TO SCALE



NOTE:
TRACKING WITH MACHINERY SHALL BE DONE UP AND DOWN THE SLOPE, NOT ACROSS

SLOPE TRACKING

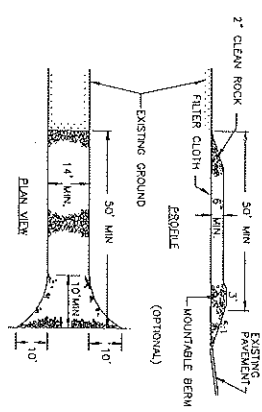
NOT TO SCALE



GROOVES WILL CATCH SEDIMENT, ROOTS, BRANCHES, AND DEBRIS.
CONTOUR EMBANKMENTS

SURFACE ROUGHENING

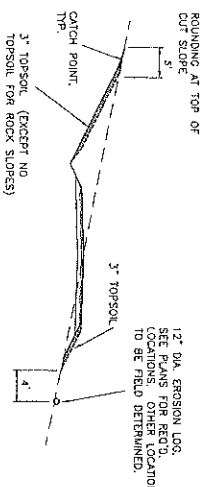
NOT TO SCALE



- NOTES:
1. PLACE FILTER CLOTH OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
2. ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTAINABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR TROWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR TROWING OF SEDIMENT ONTO THE PUBLIC RIGHT-OF-WAY. CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY WEASERS USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.

STABILIZED CONSTRUCTION ENTRANCE

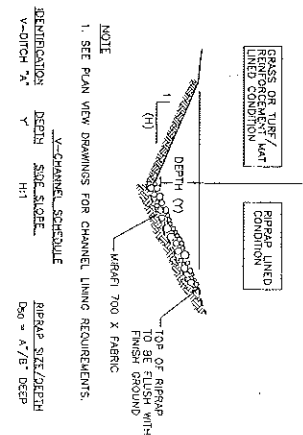
NOT TO SCALE



- NOTES:
1. SEE SPECIFICATIONS FOR REVEGETATION REQUIREMENTS AND TEMPORARY SLOPE STABILIZATION MEASURES.
2. CUT AND FILL SLOPES TO BE IN A ROUGHENED CONDITION PRIOR TO TOPSOILING AND REVEGETATION. TEMPORARY SLOPE STABILIZATION MAY BE REQUIRED AT ANY TIME PRIOR TO FINAL REVEGETATION ACCEPTANCE.

EROSION AND SEDIMENT CONTROL TREATMENT ON SLOPES

NOT TO SCALE



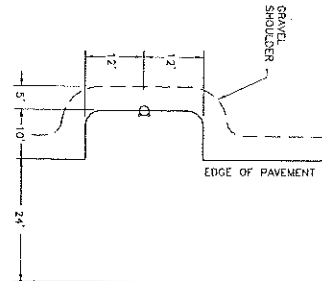
- NOTE:
1. SEE PLAN VIEW DRAWINGS FOR CHANNEL LINING REQUIREMENTS.
V-CHANNEL SCHEDULE
DEPTH (V)
SLOPE
H:1
RIPRAP SIZE/DEPTH
 $D_{50} = 4.75'$ DEEP
V-DITCH X

V-CHANNEL

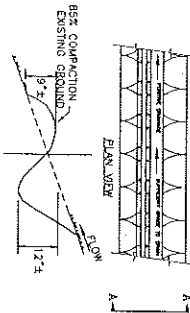
NOT TO SCALE

REVISIONS
DATE
NOT FOR CONSTRUCTION

REVISIONS	DATE
1. DESIGN	10/25/13
2. TOWN OF HAITDEN	10/25/13
3. WATER SYSTEM IMPROVEMENTS	10/25/13
4. DETAILS	10/25/13
5. SENECAL HILL TANK AND	10/25/13
6. WATER SYSTEM IMPROVEMENTS	10/25/13
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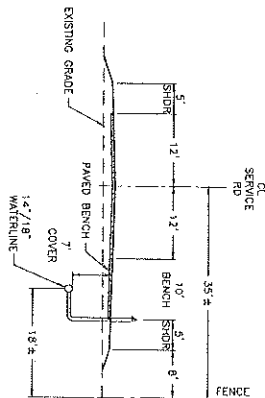
VEHICLE SERVICE ROAD
FIRE HYDRANT BENCH
NOT TO SCALE



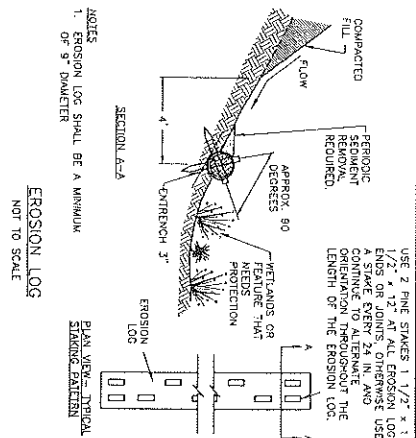
WATER BAR
NOT TO SCALE

- NOTES:
1. WATER BARS SHALL HAVE UNINTERRUPTED POSITIVE GRADE (APPROX. 5-10%) TO THE DOWNSTREAM END OF THE BENCH.
 2. REVEGETATION OF THE AREA DISTURBED BY THE BENCH SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS FOR SEED AND MULCH. DO NOT MULCH INVERT OF SWALE.

CROSS SECTION A-A



SERVICE ROAD AND WATERLINE
SECTION
NOT TO SCALE

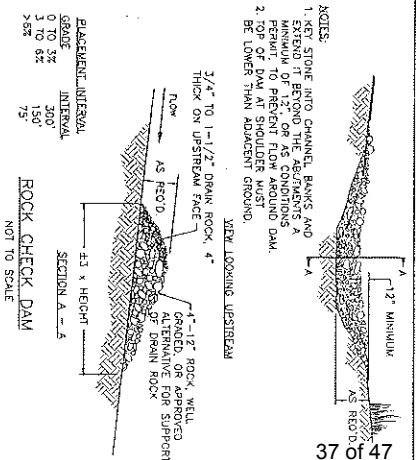


EROSION LOG
NOT TO SCALE



HANGAR ROAD SECTION
NOT TO SCALE

REF. LANDMARK CONSULTANTS,
1878.ADD1, 6/21/06



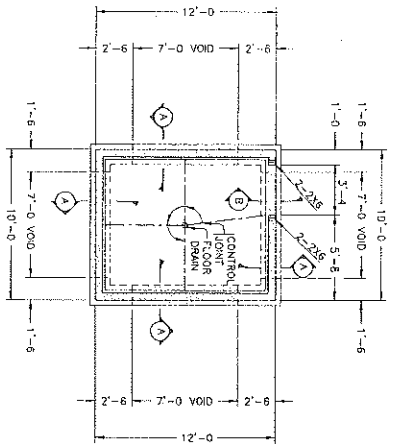
ROCK CHECK DAM
NOT TO SCALE

PRELIMINARY PLANS
NOT FOR CONSTRUCTION
PROGRESS SET

REVISIONS	DATE
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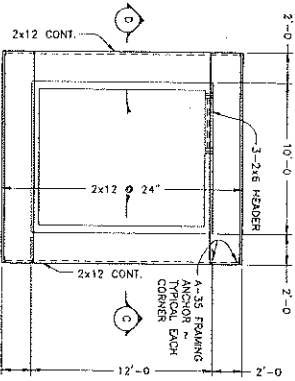
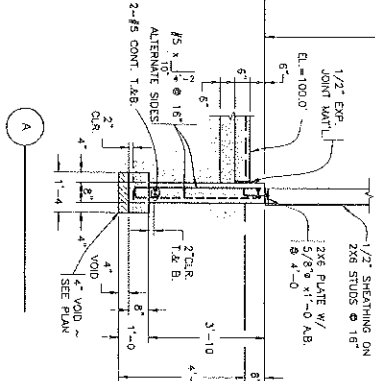
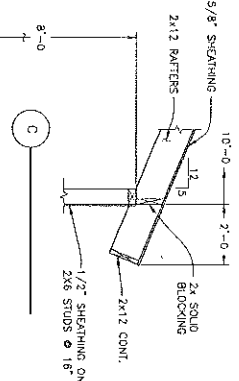
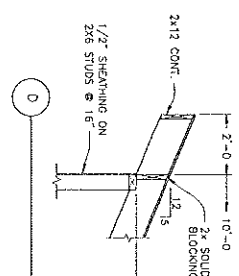
Seneca Hill Tank and
Water System Improvements
DETAILS

City of Seneca
Engineering and Planning
1000 Seneca Drive, Seneca, SC 29133
Tel: 803.685.1234 Fax: 803.685.1235
SHEET NO. C-307 PROJECT NO. 0755.103C



FOUNDATION AND FLOOR PLAN
SCALE 1/4" = 1'-0" (24X36 SHEET)

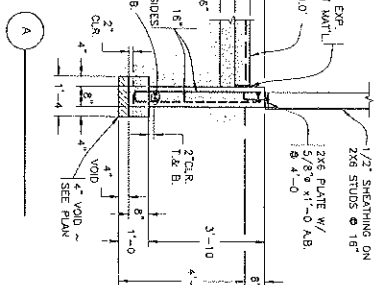
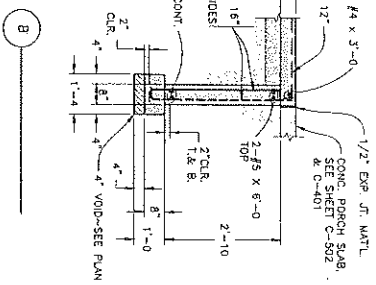
1. FLOOR SHALL BE 6" CONCRETE SLAB REINFORCED WITH #4 @ 18" EACH WAY TOP ON 6" MINIMUM GRAVEL.
2. FLOORING SHALL BE 1-4 WIDE X 1'-0" THICK WITH 4" VOID FORMS.
3. TOP OF FLOORING EL. = 98'-8".
4. PROVIDE 1" DEEP CONTROL JOINTS WHERE SHOWN ON PLAN.
5. PROVIDE 1" DEEP CONCRETE OR S&W-CUT WITHIN 8 HOURS OF FINISHING SLAB.
6. EXTERIOR WALL SHALL BE 1/2" SHEATHING ON 2X6 STUDS @ 16".



ROOF FRAMING PLAN
SCALE 1/8" = 1'-0" (11X17 SHEET)
1/4" = 1'-0" (24X36 SHEET)

1. ROOF SHALL BE 5/8" SHEATHING (40/20 RATING) ON 2X12 RAFTERS @ 24" O.C.

BUILDING SECTIONS
SCALE 1/4" = 1'-0" (11X17 SHEET)
1/2" = 1'-0" (24X36 SHEET)



GENERAL NOTES

1. LIVE LOADS USED IN DESIGN: 50 PSF.
2. ROOF: 50 PSF.
3. FLOOR: 50 PSF.
4. TOTAL LOAD BEARING PRESSURE USED IN DESIGN: 100 PSF.
5. ALL CONCRETE SHALL BE MADE WITH A MINIMUM OF 600 POUNDS OF CEMENTITIOUS MATERIAL PER CUBIC YARD, AND SHALL DEVELOP 4000 PSI COMPRESSIVE STRENGTH IN 28 DAYS.
6. MAXIMUM WATER TO CEMENTITIOUS MATERIAL RATIO SHALL BE 0.45 EXPOSED CONCRETE SHALL BE FINISHED TO THE SPECIFIED FINISH.
7. CONCRETE SHALL NOT BE PLACED ON FROZEN, WOOD, OR SATURATED SOIL AND SHALL BE PROTECTED FROM FREEZING FOR 7 DAYS.
8. SLABS AND WALLS SHALL NOT HAVE JOINTS IN A HORIZONTAL PLANE ANY STOP IN CONCRETE SHALL BE AT AN EXTERIOR WALL OR ANCHOR BOLT.
9. ANCHOR BOLTS FOR SILL PLATES SHALL BE AS DETAILLED OR AS APPROVED BY THE ENGINEER.
10. MEMBERS SHOWN WITHOUT COUNTERSINKING.
11. ALL REINFORCING BARS SHALL BE ASTM A615-GR60.
12. CONCRETE PROTECTION FOR REINFORCEMENT (UNLESS OTHERWISE NOTED):
A. 1" MINIMUM FOR EXPOSED BARS.
B. 3" MINIMUM FOR BARS IN CONCRETE.
C. 1" MINIMUM FOR BARS IN EXPOSED CONCRETE.
13. LAP SPICES SHALL BE A MINIMUM OF 36 BAR DIAMETERS, WIRE BARS SECURELY TOGETHER AT SPICES AND INTERSECTIONS, NO WELDING TO REINFORCING BARS WILL BE PERMITTED.
14. PROVIDE CORNER BARS OF EQUAL SIZE AND SPACING AS HORIZONTAL BARS.
15. REMOVING AT THE POSITIONS INDICATED.
16. DETAIL AND FABRICATE BARS IN ACCORDANCE WITH THE LATEST EDITION OF THE ACI DETAILING MANUAL, AND ACI BUILDING CODE REQUIREMENTS.
17. SPACE 1-4x BARS, EACH FACE, WITH 2'-0" PROTECTION, AROUND ALL OPENINGS.
18. WOOD FOR STRUCTURAL FRAMING SHALL BE VISUALLY STRESS-GRADED "NO. 2" DRIED, DOUGLAS FIR/LARCH, CONFORMING TO "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION," BY THE NATIONAL FORESTRY PRODUCTS ASSOC.
19. ROOF AND WALL SHEATHING SHALL BE DRY GRADE, TRAVELERMAKED "0-0" EXTERIOR, AND SHALL BE 1/2" THICK.
20. ROOF PANELS SHALL BE PLACED VERTICALLY OR HORIZONTALLY, WITH ALL HORIZONTAL JOINTS BLOCKED AND TOBE NAILLED.
21. SHEATHING SHALL BE NAILLED WITH 8 POUND NAILS SPACED AT 6" ALONG EDGES AND 12" ALONG INTERMEDIATE MEMBERS.
22. SPACING CALLED OUT IS FOR COMMON OR GALVANIZED BOX NAIL SIZE.
23. ROOF: 5/8" SHEATHING WITH 8D @ 6" & 12".
24. FASTER AS: FRAMING WITH COMMON WALLS ACCORDING TO THE IBC WALLING SCHEDULE, UNLESS OTHERWISE NOTED OR DETAILLED.
25. TUBES CONNECTIONS CALLED FOR ON THE DRAWINGS ARE AS MANUFACTURED BY THE SUPPLIER TO THE CONNECTION SPECIFIED.
26. MULTIPLE STUDS CALLED FOR ON THE DRAWINGS MAY BE ON THE WALL PLATE, HEADERS AND/OR BEAMS SHALL BEAR FULLY ON ALL STUDS CALLED FOR, CHAPPE STUDS ARE ADDITIONAL IF SILL PLATES ON CONCRETE ARE NOT DOWEL-FR, PROVIDE ANOTHER DOWEL-FR IF THE STUDS ARE NOT FULLY BEARING ON THE CONCRETE.
27. ENGINEER'S APPROVAL MUST BE SECURED FOR ALL SUBSTITUTIONS.
28. THESE DRAWINGS DO NOT INCLUDE PROVISIONS FOR JOBSITE SAFETY. JOBSITE SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR.

ENGINEER AND SEALER
Civil Engineering
14100 N. 19th Ave., Suite 100
Phoenix, AZ 85021
Phone: 602-997-7013
Fax: 602-997-7014
L & J JOB NO. 13-20

NO.	REVISIONS	DATE
1	ISSUED	
2		
3		
4		
5		
6		
7		
8		
9		
10		

SENeca HILL TANK AND
WATER SYSTEM IMPROVEMENTS
STRUCTURAL DETAILS
TOWN OF HAYDEN
CIVIL DESIGN CONSULTANTS, INC.
3100 N. 19th Ave., Suite 100
Phoenix, AZ 85021
Phone: 602-997-7013
Fax: 602-997-7014
SHEET NO. S-001 PROJECT NO. 0256.1103

Narrative for Seneca Hill Water Storage Tank Project Special Use Permit Application

The Project is to construct a 500,000 gallon water storage tank on a recently subdivided 9.91 acre site to the south east of Yampa Valley Regional Airport ("YVRA") and just east of Routt County Road 51. A second water tank may be added on the site in the future. This is a joint project of Routt County and the Town of Hayden. Routt County currently owns the water tank site. Routt County and the Town are sharing in the costs of the project which will serve the needs of Yampa Valley Regional Airport and the Town. When the water tank and related structures are completed, Routt County will convey the water tank site and its interest in the related structures to the Town and the water tank and related structures will become a part of the municipal water system.

The purposes for the project are to provide better water pressure for YVRA, provide water service to the ARFF and equipment storage buildings on the south side of YVRA, allow for the "looping" of the water lines serving YVRA, allowing the servicing of the existing municipal water tank on Hospital Hill, providing water service for areas within the Town not currently having water service and increasing water pressure in the municipal water system.

As shown in the site plan (which is really the project plans) the water line now serving the general aviation area at the east end of YVRA will be extended to the water tank site and municipal water will be pumped into the tank. Water in the tank will increase the water pressure in the system. A new water line will be run along the south side of YVRA from the water tank to the ARFF building located on the southwest end of YVRA. The new water line will then be connected with an existing municipal water line thus "looping" the water line serving YVRA. In addition to the water tank and water lines, a small booster chlorination building will be constructed adjacent to the water tank. Several pumps will be located on site also. An access road will be constructed from Routt County Road 51 to the tank and a security fence will be constructed to protect the site. Prior to construction of the water tank, the site will be excavated to lower it about 15 feet to comply with FAA regulations concerning the height of structures near airports.

The water tank and related facilities and equipment are designed to operate automatically or remotely so the site will be accessed by very few people and only when repair, maintenance or inspection is required. As a result the tank pad will provide adequate parking.

Kristy Winsor

From: Ted Allen
Sent: Thursday, April 24, 2014 8:20 AM
To: Kristy Winsor
Subject: PP2014-017

Kristy,

I just received your request this morning, understand you were looking for referral comments by 04/16/2014. Tanks of this nature are not exempt from permits. Therefore;

1. Plans and specifications, and the work to be performed shall comply with all applicable codes and standards as adopted by Routt County.
2. It is recommended that the architect and/or developer schedule a preliminary design review meeting with the building department to clarify submittal requirements for building permits and specific design requirements.

Thanks,

Ted Allen, P.E., C.B.C.O. Assistant Building Official
Routt Co. Regional Bldg. Dept.
136 Sixth Street/P.O. Box 773840
(970) 870-5329
tallen@co.routt.co.us



Please consider the environment before printing this email.

Kristy Winser

From: Mike Mordi
Sent: Friday, May 16, 2014 1:54 PM
To: Kristy Winser
Subject: PP2014-017 Water Tank SUP
Attachments: 20140516 - Hayden water tank COAs.doc

Kristy,

Here are the COAs from Road and Bridge for the above mentioned application. Please let Janet know if you have any questions or comments. I can also walk you up a hard copy if you need me to.

Thanks,

Mike

Mike Mordi, P.E.

Assistant Director
Routt County Road and Bridge
P.O. Box 773598 (U.S. mail delivery)
136 6th Street (no U.S. mail delivery)
Steamboat Springs, CO 80487
Phone: 970-870-5337
Fax: 970-870-3992

Access and Traffic

17. Overweight and over length permits for vehicles shall be obtained from the Routt County Road and Bridge Director prior to the use of such vehicles.
18. Access permits shall be obtained to all access roads to be built or improved which intersect Routt County roads.
19. Permittee shall obtain a grading and excavation permit for the onsite construction activities.
20. Routt County has the authority to close any county road at its sole discretion if damage to the road may occur by its use. To the extent that a road closure may affect Permittee's operations, Routt County will cooperate with Permittee to allow operations to be continued in a safe and practicable stopping point.
21. Routt County roads shall not be completely blocked at any time. If traffic regulation is deemed necessary, the Permittee shall notify the Routt County Road and Bridge Director, or designee thereof, in advance (if possible), who may then require:
 - a. The Permittee or Permittee's contractor/sub-contractor to place traffic control signage along haul routes and at intersections as specified by the Routt County Road and Bridge Director and at Permittee's expense; and
 - b. Flaggers to be placed at the intersections of affected county roads as specified by the Routt County Road and Bridge Director and at Permittee's expense; and
 - c. The Permittee or Permittee's contractor/sub-contractor to supplement regular dust control efforts by application of dust palliative, as approved by the Routt County Road and Bridge Director and RCDEH and at Permittee's expense.
22. Permittee shall comply with the following recommendations concerning road improvements and maintenance:
 - a. Permittee shall limit Routt County road traffic to County Road 51.
23. All trucks and equipment accessing from CR 51 shall be able to exit and be located on private property and off of County road right of way before encountering a fence, gate or cattleguard. At a minimum, the distance from the County road right of way to any gate, fence or cattleguard shall be 1.5 times of the length of the longest vehicle
24. Permittee shall provide and post advance warning signs of truck traffic turning from and entering upon County Road 51 during the importation and exportation of construction equipment to the Site. Types and placement of signs shall be in conformance with the Model Traffic Code and shall be coordinated with CDOT.
25. Routt County roads affected by this SUP will be inspected by the Routt County Road and Bridge Department at intervals determined by same. Any road damage shall be repaired by a third-party

Kristy Winser

From: Mike Mordi
Sent: Friday, May 16, 2014 2:21 PM
To: Kristy Winser
Subject: FW: Seneca Hill Tank Project

Here is that traffic email.

Thanks,

Mike

From: JEFF LAKE [mailto:jlake@cdcinc.biz]
Sent: Tuesday, May 06, 2014 4:43 PM
To: Janet Hruby
Cc: Mike Mordi; "Sam Barnes, Public Works Director" (sam.barnes@haydencolorado.org); David Ruppel
Subject: Seneca Hill Tank Project

Janet:

Following are preliminary estimates of heavy construction truck traffic for the Seneca Hill Tank Project. The estimated number of round trips is based on estimates of material weights and projections of haul truck types.

<u>Task</u>	<u>Vehicle Type</u>	<u># Round Trips(in/out)</u>	<u>Axles</u>	<u>Gross Weight</u>
Mobilization/ Demob.	Lowboy 18 wheeler	20	5	80,000
Waterline materials	Flatbed 18 wheeler	14	5	80,000
Tank, other materials	Flatbed 18 wheeler	4	5	80,000
Road/site gravels	Tractor & Belly Dump	134	5	80,000
Pipeline Bedding	Tandem Dump	708	3	48,000
Waste Haul-off *	Tandem Dump	115	3	48,000
Construction Water	Tandem Tanker	45	3	48,000
Concrete	Tandem	10	3	48,000
Service Truck	Heavy Duty Industrial	75	3	48,000

*Note that excess topsoil will be generated at the tank site. Topsoil waste material will be bid to remain on the tank site for grading and reclamation, with an alternate to haul material to the YVRA site if needed. This estimate assumes a portion of the material will be hauled to the YVRA site (to be determined). If transported to the YVRA site, we anticipate the material will be hauled from the tank site, along RCR 51 to one of the 3 YVRA east entrance gates on RCR 51.

Crew Trucks, passenger pick-up trucks and worker vehicles are not included.

We anticipate the majority of these truck trips will access RCR 51. However, some of the material deliveries pertinent to the ARFF water line connection could alternately access RCR 37 to the ARFF building. Let us know if there should be any restrictions on the use of RCR 37.

Let me know if this information is sufficient for your needs and if not what additional information you would like to see.

Sincerely,

Jeff Lake
Civil Design Consultants, Inc.



May 19, 2014

TO: Kristy Winsor, Assistant Director, Routt County Planning

FROM: David Torgler, Town Manager

RE: Special Use Permit - Seneca Hill Water Tank

Since the installation of water service to the Yampa Valley Regional Airport (YVRA) there have been water issues that needed to be addressed and the Town of Hayden has conducted engineering analysis to find the best solution. Civil engineers have determined that the best solution is to construct a 0.5 million gallon water storage tank at the proposed Seneca Hill site and provide distribution system additions to the Town's current water system. The proposed site is near the airport and lies at an elevation higher than the YVRA which will provide the water utility system with operational redundancy, increased water storage capacity and reliability, and improved water quality in the Airport Zone and improved water efficiency, water pressure stabilization and energy efficiency throughout the Town's water utility system. Per an engineering analysis and study by engineers working for the Town of Hayden and confirmation by civil engineering firms working for the town and Routt County the Seneca Hill site is the best site to meet these needs.

The Hayden Town Council supports the Seneca Hill Water Tank Project and respectfully requests approval of any permits necessary by Routt County officials to install water utility facilities, including water storage, water lines, vehicular access, storage and back-up structures and facilities, telecommunication, electric and natural gas utilities, and other equipment and facilities necessary to provide water utility services for the Town of Hayden's water utility customers.

Please advise me if any additional information is needed to support this SUP application.

Kristy Winsor

From: Mike Zopf
Sent: Monday, May 19, 2014 11:50 AM
To: Kristy Winsor
Subject: RE: pp2014-018- Seneca Hill Water Tank (Hayden)

Kristy,

Our comments for the Seneca Hill Water Project are as follows;

1. Erosion and sediment from land disturbance activities associated with this project shall be controlled to the greatest practical extent through the use of appropriate Best Management Practices (BMP'S).
2. Plans and specifications for the water tank and related facilities shall be submitted to and approved the drinking water section of the Colorado Department of Public Health and Environment prior to construction.

Thank you for the opportunity to review this application.

Mike

From: Kristy Winsor
Sent: Monday, May 19, 2014 9:42 AM
To: Mike Zopf; Greg Brown
Subject: pp2014-018- Seneca Hill Water Tank (Hayden)

Hi Mike and Greg, I sent a request for comments for the above-mentioned project and was wondering if you had the chance to review the project? I will be out of the office this Wednesday and returning next Tuesday but I will need to have my staff report completed by tomorrow, otherwise I wouldn't be bothering you.

Greg, I'm assuming there wouldn't be a need for a weed management plan for something like this since there will not be continuous disturbance on site like our gravel pits review but, we would require one of our standard conditions of approval? The following is one of our standard conditions I could include but please advise me at your earliest convenience:

The applicant is responsible for identifying when during a pre-disturbance noxious weed inspection if any of the weed species on either the 13 Noxious Weeds of Routt County list, or the Noxious Weeds of Colorado List A, B or C are present on the site. If the answer is yes, the applicant must submit a plan for controlling the weeds to the Routt County Weed Program or contact the Routt County weed Program for assistance in developing a weed management plan.

Let me know if either one of you need additional information. If you have no comments, an email indicating that would be fine.

Thanks,
Kristy

Kristy Winsor
Assistant Director
Routt County Planning
970-879-2704
PO Box 773749
Steamboat Springs, CO 80477

Kristy Winser

From: Greg Brown
Sent: Monday, May 19, 2014 3:59 PM
To: Kristy Winser
Cc: Janet Hruby
Subject: RE: pp2014-018- Seneca Hill Water Tank (Hayden)

Kristy,

I apologize for the lack of a more timely response. The condition of approval you included is I feel adequate for this type of disturbance. Let me know if you do need more. Greg

From: Kristy Winser
Sent: Monday, May 19, 2014 9:42 AM
To: Mike Zopf; Greg Brown
Subject: pp2014-018- Seneca Hill Water Tank (Hayden)

Hi Mike and Greg, I sent a request for comments for the above-mentioned project and was wondering if you had the chance to review the project? I will be out of the office this Wednesday and returning next Tuesday but I will need to have my staff report completed by tomorrow, otherwise I wouldn't be bothering you.

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Let me know if either one of you need additional information. If you have no comments, an email indicating that would be fine.

Thanks,
Kristy

Kristy Winser
Assistant Director
Routt County Planning
970-879-2704
PO Box 773749
Steamboat Springs, CO 80477
Kwinser@co.routt.co.us



Please consider the environment before printing my e-mail

Kristy Winser


From: David Ruppel
Sent: Tuesday, May 20, 2014 4:08 PM
To: Kristy Winser
Subject: RE: pp2014-17 - Seneca Hill Water Storage Tank (Hayden)

Kristy,

The COA's that you listed will cover the FAA requirements. The FAA will require the tank to be lighted and we are working with the Town to ensure that the correct FAA approvals are acquired. Thanks for the heads up!

Dave

David E. Ruppel
Airport Manager
Yampa Valley Regional Airport
11005 RCR 51A (P.O. Box 1060)
Hayden, CO 81639
W 970-276-5004
C 970-846-3626
FAX: 970-276-5030
druppel@co.routt.co.us

 Please consider the environment before printing this e-mail

From: Kristy Winser
Sent: Monday, May 19, 2014 9:59 AM
To: David Ruppel
Subject: pp2014-17 - Seneca Hill Water Storage Tank (Hayden)

Good Morning Dave,

I sent a request for comments for the above-mentioned project I am reviewing. For your convenience the application can be viewed at
<http://co-routtcounty.civicplus.com/index.aspx?NID=190>.

I will need to have my staff report completed by tomorrow. Do you have any comments or concerns with this project that you would like me to include in my staff report? Also, do you know if the FAA will require lighting on the tank? I do have two standard conditions of approval I can include that address permitting if required by other agencies, but I wasn't sure if you had that information for sure or had other specific conditions you would like me to include?

COA's

1. This approval is contingent upon any required federal, state and local permits being obtained and complied with; the operation shall comply with all federal, state and local laws. Copies of permits or letters of approval shall be submitted to the Routt County Planning Department prior to operations.
2. **(This is what we use for Cell towers but I'm not sure if it applies for this project?)** If structure lighting is required by the FAA, the operator shall use only white (preferably) or red strobe lights at the minimum intensity, minimum number of flashes per minute, and minimum number of lights allowable by the FAA.

If you prefer an email response will be fine. Contact me anytime with questions.