

---

# Lucky 8 Ranch

## Amendment to Guest Ranch

### Special Use Permit PL-17-102

---

**ACTIVITY #:** PL-19-195

**HEARING DATES:** Planning Commission: 11/5/20  
Board of County Commissioners: 11/16/20 at 11:30 a.m.

---

**PETITIONER:** Lucky 8 Ranch  
Nicholas Osadchuk

**PETITION:** Amendment to Guest Ranch Special Use Permit PL-17-102  
1) Change to property boundaries  
2) Revise Current Operations

**LEGAL:** Tracts in Sections 31 & 36, T5N R86W; Sections 7 & 12 T4N R85W  
BLM lease of Tracts in Sections 35-5-86, Sections 11&14-5-86

**LOCATION:** Located 6-7 miles North of Oak Creek, CO accessing from CR 29

**ZONE DISTRICT:** Agriculture/Forestry (A/F)

**AREA:** Private property: 1,922 acres  
Private leases: 232+ acres  
BLM Recreational lease: 586 acres

**STAFF CONTACT:** Chris Brookshire, cbrookshire@co.routt.co.us

**ATTACHMENTS:**

- Narrative
- Site Plan Narrative
- L8R Site Plan Map
- Mitigation Plan
- Routt County Area Boundary Map
- Covered arena elevations, site plan & aerial location
- Pavilion elevations, floor plan, site plan
- Special Use Permit PL-17-102
- Minor Change to SUP (3 pages)
- BLM permit (excerpts – 4 pages)
- Pictures

Correspondence:

- 12.19.19 M. Mordi, Assnt Dir, Public Works response

- 12.17.20 T Carr, Building Official response and update
- R. Melzer, Environmental Health response and update
- 10.17.20 DPW email
- 1.13.20 Jim Spillane email
- 1.29.20 Matt Keyser
- 2.5.20 Nancy Spillane

NOTE: This item was scheduled for February 20, 2020, but was not heard at that meeting due to the petitioner not being able to attend the meeting. Attached correspondence is dated earlier in the year when the application was to be heard. The application was then placed on-hold due to COVID and the petitioner has requested to move forward with the application.

### **History:**

In 2017, Lucky 8 Ranch was approved for a Special Use Permit for a Guest Ranch. The ranch contained approximately 506 acres of rural ranch land and portions of the reclaimed Chevron Coal Mine.

Lucky 8 has approximately 232 acres leased from adjoining private properties and also has a lease on adjoining BLM property to the west of approximately for recreational use of 586 acres. The BLM will be used for tours. The original SUP included a 323-acre private property lease. This property has been purchased by Lucky 8 Ranch and they have also acquired an adjoining 700+ acres (referred to as the SW parcel). The newly acquired land will be use for tours and events associated with the SUP. The boundary for the SUP will need to be amended. A revised Area Boundary map is attached.

### **Site Description:**

The land area used for operations is located on both sides of CR 29. The property is a mixture of hay meadows, reclaimed mined property, rolling hills and steep hillsides with mixed vegetation, oak brush and trees. Trout Creek bisects the property on the east side of CR 29 travelling north/south through the center of the land.

The ranch compound is located east of CR 29 on the north side of the property off of Tobiano Trail and consists of the main house (lodge), three cabins, barns and ag buildings and temporary workforce housing. There are also two homes located west of the main house, which are accessed from Tobiano Trail, but with separate driveways. One of the homes is referred to as the 'bunk house' and is located on the north side of Tobiano Trail. The other home is privately owned (Wille), but the land is leased to Lucky 8 Ranch. The residences and cabins are not part of the SUP operations. See attached headquarters map.

The primary use of the ranch is grazing, hay production, raising bison and a new herd of alpacas.

### **Project Description:**

The ranching operations of the Lucky 8 Guest Ranch will continue along with the guest ranch operations.

***NOTE: The COA's of the 2017 SUP will remain as approved with the exception of proposed changes to Conditions #16 and #18. These conditions are listed below with the proposed changes identified.***

There are attached maps showing the revised permit boundary. If this amendment is approved, the permit will be revised with the new legal description and will also include a map. The main acreage change is the additional SW Parcel of 700+ acres and the 323-acre parcel.

The newly acquired SW parcel is proposed to have three new sites for staging areas and amplified music for events. This parcel will be used for tours, weddings and special events. The uses on the SW parcel will be located further away from residences located on the north side of Lucky 8 Ranch. The closest residence to the south is owned by Linda Long and is located approximately 430 feet from the south property line. The proposed staging area is approximately 0.42 mi. to the northwest and the amplified music site is approximately 0.60 miles to the northwest of the Long property. The land is isolated and located over a ridge on the west side of CR 29 and cannot be seen from CR 29 or the ranch headquarters.

The locations of the following new proposed facilities are shown on the attached L8R Site Plan map:

- Covered Riding Arena
- Seasonal events area
- Bison handling facility
- Pole barn/pavilions (referred as mom's retreat & dad's retreat)

Covered Riding Arena – The construction of a riding arena is a use by right, but the applicant would also like to use the facility as part of the Special Use Permit. The building would be 100' x 200', and used for year-round riding lessons, rodeo training and special events. The building would have to be constructed to meet current building codes if used in commercial operations.

Seasonal events – The applicant would like to offer seasonal events such as a haunted house/hay maze in the fall and lighted sleigh rides/holiday lights events.

Bison Handling Facility – This would be an area with a small barn to contain bison that are being corralled while working with the animals. The applicant anticipates that this area could be incorporated into tours to further educate clients. It is also proposed to be used for special/seasonal events. If the public uses this structure it would have to meet building codes.

Pole Barn/Pavilions – The barn/pavilions would be constructed for various public uses associated with the recreational uses at the property. They would be used as shade/picnic areas associated with tours, small weddings, or as places to retreat if there

is a change of weather during tours to shield or protect clients. If food is served with these uses it would be catered.

Note: The following events/facilities are further described in the attached narrative.

### Current Operations

Lucky 8 Guest Ranch has three cabins for overnight guests, used exclusively for family, business clients, corporate retreats and hunters (not hunting on the Lucky 8 Ranch, but in other areas of Routt County). These guests will stay at the ranch headquarters in the main house, three cabins or the bunk house. Parking is provided at each site. There is a total capacity of 24 overnight guests. The private guests will be offered transportation, but can travel to the ranch by private vehicle. These facilities are private and not used by the public or associated with the SUP for recreational tours or events.

Private overnight guests will be offered skiing, snowboarding, cross country skiing, and snowshoeing. There is a 'bunny' hill located at the ranch headquarters which will be groomed for skiing and snowboarding. Private guests will be transported up the hill by ATV's with tracks, snow cats or snowmobiles. Groomed trails will be located in the pastures for cross country skiing or snowshoeing. In the future, these activities will also be offered to elite athletes as a training center. The private guests will also be able to participate in any activities offered to the public described below. No rope tow or lift is proposed for skiing.

The Ranch SUP is approved for summer and winter activities, but no overnight accommodations are currently approved. The activities are:

- Ranch tours, hay rides and sleigh rides
- Horseback rides
- ATV tours
- Snowmobile tours
- Special Events
- Horsemanship clinics

All tours require orientation and training prior to operation of mechanized equipment. The training area is located adjacent to the barn. Equipment and bathrooms or portalets are also located adjacent to or within the barn.

The Special Events include weddings, reunions, retreats, educational seminars, etc. The areas for Special Events are designated on the enclosed Lucky 8 Ranch site plan. The map also indicates the changes that are proposed with this application. The ranch provides the location, parking area and portable tents. The operator/organizer of the Special Event is responsible for all other details such as food service, portalets, transportation, etc. All sites are accessible by interior roads to the designated areas so that service personnel can drive to the sites. If approved, the access road to the event sites will be upgraded and areas will be established for the event sites and tents.

The ranch offers Horsemanship Clinics, Lessons and Horse Boarding to the public. Boarding is offered year round with the capacity of 10 horses on pasture including 3 horses in private stalls.

Lucky 8 Ranch employs six full-time employees and hires additional staff seasonally as needed for ranching and permit operations. Two of the employees reside at the ranch.

Shuttle service is offered to pick up and drop off clients wanting to participate in special events and tours. Weddings use shuttle service for their guests, but other services, such as caterers, use their own vehicles to transport employees and food. Clients for horsemanship training, lessons and clinics usually travel by private vehicles.

No food is provided by Lucky 8 Ranch for any events or tours. Any drinks or water offered is bottled. Guests can bring their own water bottle or purchase bottled water at the ranch.

### **Proposed changes to COA #16 and #18**

**NOTE:** Requested changes are indicated by ~~cross-out~~ and **Boldface** as newly proposed.

**NOTE:** There are proposed *Special Events* and *Seasonal Events* listed.

COA #16. Tours open to the public can be operated from ~~9 a.m. to sunset; Tues – Sunday.~~ **7:00 a.m. – 9 p.m. Seven days a week.** There will be a minimum of two guides per tours. ~~Hours of e~~Operations for tours shall be as follows:

#### Ranch tours, hay rides and sleigh rides

- Tours are offered year round
- 20 people maximum **per** tour ~~in summer~~
- ~~8 people maximum tour in winter~~
- One tour per day – 3 days per week

#### Horseback trail rides

- Tours offered year round
- ~~10-14~~ people maximum per tour
- ~~Two three~~ tours per day ~~5 days per week~~

#### ~~UTV~~ **ATV** tours

- Tours offered Spring, Summer and Fall
- Hay pastures will be used for off trail
- ~~10 people~~ **10 machines** maximum tour ~~(5 vehicles)~~
- 1 hour to full day **tours**

Snowmobile tours

- Trails will be groomed along interior roads and trails **and through fields**
- Hay pastures will also be used for off trail travel
- ~~10 people~~ **10 machines maximum tour**
- Three tours per day ~~—5 days per week~~

**Covered Riding Arena (under Special Events requirements (COA #18))**

**Number of guests allowed: 400**

**Amplified music hours: 8 a.m. – 11 p.m.**

**Hours of operation: 8 a.m. – midnight**

**Special events allowed: 25 per year as allowed under Special Events requirements**

**Sanitation facilities must be provided.**

**Food service must be catered or supplied by event participants.**

**All operations are to be held within the riding arena.**

**Riding lessons in Covered Riding Arena (Not under Special Events requirements COA #18)**

**Conducted year round**

**Access by private vehicle allowed**

**Riding trails can be used in association with this SUP for advanced training**

**Bison Handling Facility/Barn**

**To be used as part of tours associated with the ranch in the education of farm husbandry. This facility may also be used in the seasonal events below.**

**SEASONAL EVENTS (Not under Special Events Requirements COA #18)**

**Haunted house/hay maze**

**Dates: October 1-31**

**Hours: 4 p.m. – 10 p.m.**

**Guests: 60-80 per session – three events per evening**

**Winter lights**

**Dates: December 15 – January 15**

**Hours: 5 p.m. until 10 p.m.**

**Guests: 60-80 per session – two events per evening**

**The Seasonal Events can be associated with hay rides, sleigh rides and horseback rides. Shuttle service must be provided for Seasonal Events.**

**Pole Barn/Pavilions**

**Two pole barn/pavilions – referred as mom's & dad's retreat**

**To be used for weddings or events with no amplified music**

**Weddings or events 25 times per year (under Special Events requirements)**

**Used for recreational tours as a resting/lunch/snack area or inclement/emergency weather shelter**

COA #18. Special Events shall be as follows:

- a. All events shall have port-a-lets/**sanitation facilities**
- b. Food services shall be provided by the client.
- c. Hours of operation shall be 8:00 a.m. to midnight
- d. Adequate off-street parking shall be provided. Any use of CR 29 for transport of guests must meet Public Works requirements.
- e. Events are limited to one per week/25 per year
- f. All amplified music will cease at ~~10:00~~ **11:00** p.m. and shall take place within the ~~two~~ **five** areas designated on the map, and included in the conditions of the special use permit. All music will occur in tents.
- g. If there is no amplified music, the Special Events may take place outside of the designated areas indicated on the map.
- h. Shuttle service to the site is required for all Special Event guests (**caterers, musicians, photographer, wedding party and special exceptions are not part of shuttle service**).
- i. The number of guests allowed at outdoor Special Events is 200. **Events in the covered arena are limited to 400 guests.**
- j. **The covered riding arena is regulated as a Special Event.**

**Additional proposals**

The applicant would like to receive administrative approval to amend the permit boundary as land is acquired through purchase or lease or if leases are terminated. Currently, if a permit boundary is changed the permit must be amended through the same process through which it was approved. In this case, a change to the permit boundary would require a SUP Amendment. Staff is concerned that the public would not be notified and that a public review would not occur if there were a substantial change, e.g., the BLM lease was not renewed, or a lease or purchase of a parcel could take place that could affect the public, wildlife, landscape, etc. If Planning Commission or the Board of Commissioners feels that this request is appropriate a condition should be added.

**Staff Comments:**

The closest private residence is the R. Wille home, which is located approximately 489' south from Tobiano Trail. The Wille property is leased by Lucky 8 Ranch. There are two other homes located in the area adjoining the ranch. To the west of CR 29 is the Kellner 35 acre parcel with the residence 0.14 miles from CR 29 and 1.9 mi. from the lodge. The Kellner home is higher in elevation than the Lucky 8 Ranch and looks down on the lodge. The Orton home is located 0.33 mi. to the north.

There are a number of changes associated with operations. Issues for Discussion listed below should help with the discussion of these revisions.

Due to the increase of operations for ATV and Horseback tours the CPW has submitted comments based on wildlife concerns. Due to elk calving and deer fawning the CPW is has requested the consideration of two different options for changes to the permit as follows:

1. ATV/Horseback tours do not begin until June 15<sup>th</sup>.
2. Tours conducted between May 15-June 15 be conducted from 10 a.m. – 3 p.m.

**\*\*\*Issues for Discussion\*\*\***

- Change in hours of operation for amplified music
- Increased events – Seasonal Events: Haunted House/hay maze and Winter lights
- Additional special event areas (pole barn/pavilions – mom’s & dad’s retreats)
- Events proposed in the covered arena
- Proposed staging sites; additional amplified music sites
- Nighttime lighting associated with winter lighting event
- Increase in days of operation
- Increase in hours of operation to 7 a.m. – 9 p.m. These hours may not be appropriate for winter tours such as snowmobile tours.
- Proposed request of administrative approval to amend the permit boundary with change of leases or land ownership. See ‘Additional Proposals’ on previous page.
- CPW suggested restrictions – COA #30 has been added for your review.
- The Environment Health Department has expressed a concern with the current COVID19 pandemic. COA #34 has been added for your review.

Consideration of the above should be per the suggested Master Plan sections:

- 5.3.E Routt County requires that all new developments do not contribute to light pollution.
- 5.3.F Routt County will continue to consider the impacts of development and uses on view corridors, water, wetland, and air.
- 6.3.A Recreation and Tourist-based development and use intensity should be comparable to traditional agricultural use intensity. Intensity of permitted use should be proportional to permitted acreage.

## **Compliance with the Routt County Master Plan, Sub Area Plans and Zoning Resolution**

The Routt County Master Plan, Sub Area plans and Zoning Resolution contain dozens of policies and regulations regarding land use. Section 5 of the regulations are designed to limit or eliminate conditions that could negatively impact the environment and/or use of surrounding properties, and shall apply in all Zone Districts and to all land uses unless otherwise noted. Section 6 Regulations apply to all Minor, Administrative, Conditional or Special uses allowed by permit only, PUD plans, Site plans, and Subdivisions.



The following checklist was developed by Planning Staff to highlight the policies and regulations most directly applicable to this petition. The checklist is divided into seven (7) major categories:

1. Health, Safety and Nuisances
2. Regulations and Standards
3. Recreation and Tourism
4. Community Character and Visual Issues
5. Roads, Transportation and Site Design
6. Natural Environment
7. Mitigation

Interested parties are encouraged to review the Master Plan, Sub Area plans and Zoning Resolution to determine if there are other policies and regulations that may be applicable to the review of this petition.

Staff Comments are included at the end of each section, highlighting items where the public, referral agencies, or planning staff have expressed questions and/or comments regarding the proposal. **Staff comments regarding compliance with regulations and policies are noted in bold below.**

## Public Health, Safety and Nuisances

### Applicable Regulations – Routt County Zoning Resolution

- 5.1.1 Every use shall be operated so that it does not pose a danger to public health, safety or welfare.
- 5.1.2 Every use shall be operated in conformance with all applicable federal, state and local regulations and standards. Failure to comply with any and all applicable federal, state and local regulations and standards may be cause for review and/or revocation of any Land Use Approval granted pursuant to these regulations.
- 6.1.7.C Natural Hazards
- 6.1.7.H Wildland Fire
- 6.1.7.I Noise
- 6.1.7.L Odors
- 6.1.7.M Vibration

**Staff comments: The amenities and tours offered could potentially pose a danger to the public. The petitioner has explained that during tours guests must remain in the vehicles when near livestock or wildlife. The operators will conduct safety education and training prior to tours. All employees are first-aid and/or CPR certified. There will be a guide in the front and rear of each tour. Guests will not be allowed to approach wildlife or buffalo. There have been no safety issues or accidents filed with the Planning Department for operations under the current SUP.**

**This area is not mapped for natural hazards or high wildfire area. There will be noise associated with motorized tours. The snowmobiles have 4-stroke engines for reduced noise. The closest residence is located south of Tobiano Lane (489') (Wille) and behind the 'bunny hill'. Tours will not be conducted near Mr. Wille's home although he will have traffic**

travel past his driveway. Mr. Wille has renewed the lease for use of his land for Lucky 8 operations.

Special Events will occur in designated areas and all events are proposed to be conducted between 8 a.m. to midnight depending on the event. The applicant is proposing to extend the hours of amplified music from ending at 10 p.m. to 11 p.m. It is not known if the newly proposed staging areas and amplified music sites will affect adjoining properties. There are no residences currently located next to the newly acquired SW parcel with the exception of the Long residence located to the southeast. There are other residences to the north and if complaints are received the applicant will be contacted and the hours of operations or the location of tours will be reviewed for possible mitigation measures or amendment. No complaints have been received from property owners that have homes in the area during operations. Some tours will cross CR 29 to access lands to the west; this crossing has a permit issued by the Routt County Public Works Department. There will be no change to this crossing and no new crossings are proposed. The Public Works Department has reviewed the amendment and has commented that COA's from the previous SUP still apply. They are not requesting any changes to the current conditions of approval.

*\*\*Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

## Regulations and Standards

### Applicable Regulations – Routt County Zoning Resolution

- 5.2 Dimensional Standards:
- 5.3 Secondary Dwelling Unit Standards
- 6.1.2 The proposal shall be consistent with applicable Master Plans and sub-area plans.
- 6.1.5 The proposal shall meet or exceed accepted industry standards and Best Management Practices (BMP's).

### Applicable Policies – Routt County Master Plan

- 5.3.A The County encourages the use of “green” building techniques that lead to the conservation of energy and overall reduction of pollution in our environment.
- 5.3.D Require Best Management Practices and grading plans and strongly discourage overlot grading.

**Staff comments:** If required, any future construction will have to meet any permit requirements from the Routt County Building Department if required. A condition is included to address this.

*\*\*Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

## Community Character and Visual Concerns

### Applicable Regulations – Routt County Zoning Resolution

- 5.1.4 Outdoor storage of materials which might cause fumes, odors, dust, fire hazard, or health hazards is prohibited unless such storage is within enclosed containers or unless a determination is made that such use will not have a detrimental impact on the environment

- 5.9 Sign Standards
- 5.10 Standards for Structures within mapped Skyline Areas
- 6.1.6 Outdoor Lighting: The proposal shall comply with the Outdoor Lighting Standards in Section 6.3 of these Regulations.
- 6.1.7.G Visual Amenities and Scenic Qualities.
- 6.1.7.K Land Use Compatibility.
- 6.1.7.O Historical Significance.

### **Applicable Policies – Routt County Master Plan**

- 5.3.E Routt County requires that all new developments do not contribute to light pollution.
- 5.3.F Routt County will continue to consider the impacts of development and uses on view corridors, water, wetland, and air.
- 6.3.A Recreation and Tourist-based development and use intensity should be comparable to traditional agricultural use intensity. Intensity of permitted use should be proportional to permitted acreage.
- 6.3D Encourage the use of shuttles by recreation operator to minimize the traffic impacts of their businesses.
- 6.3E When appropriate, commercial recreational businesses should be immediately accessed by US 40, Colo State Hwy 131 and 134 and County Road with Primary and Rural classification. Discourage commercial recreational development that create traffic on County roads other than Primary and Rural.

**Staff comments: There is a change to allow evening tours for the proposed seasonal events. There will be lighting in the tents for Weddings or Special Events. The request of a lighting event for the holidays has been submitted and may be associated with tours or a walking event. Conditions limiting the duration of these events are suggested. There will be lighting at the cabins, lodge and bunkhouse for safety. Tours include the history of the reclaimed Chevron coal mine along with the ranching operations and bison viewing. Adjoining lands within the permit boundary are leased. The application should be reviewed if leases are not continued to determine if operations meet 6.3.A. The property is located off of CR 29 which is designated as a primary road. If accessed from Steamboat, CR 33 is paved until it intersects at CR 29 which is a gravel road. Clients using the property for horsemanship clinics/lessons and horse boarding will travel by private vehicle. The applicant will offer free shuttle pick up and drop off in Steamboat, but private vehicles can also be used to access the site for the tours. Special Events using property on the east side of Trout Creek can access the area from CR 179. The access is graded and is a good all weather road. The SUP was issued in 2017 and operations have been on going with no complaints.**

***\*\*Is the application in compliance with the Policies and Regulations outlined above? Yes or No***

## **Roads, Transportation and Site Design**

### **Applicable Regulations – Routt County Zoning Resolution**

- 5.4 Parking Standards
- 5.5 Addressing Standards

- 5.6 Access to Buildable Lot Standards
- 6.1.7.A Public Roads, Services and Infrastructure
- 6.1.7.B Road Capacity, traffic, and traffic safety
- 6.1.7.N Snow Storage

### **Applicable Policies – Routt County Master Plan**

- 11.3P Discourage new use permit and zone changes that increase density that will exceed acceptable traffic levels.

**Staff comments:** There is adequate parking at the lodge, cabins and bunkhouse and if additional parking is needed there is parking at the barn. Special events are limited to 200 people and a designated parking area will be provided. If the covered arena is approved, the applicant proposes that events in this facility be limited to 400 people and be allowed to have amplified music until 11 p.m. The large events would be held within the arena and adequate parking would be developed. Clients can reserve the hay wagon to transport their guests from parking areas to the wedding or reception sites. CR 29 is crossed for tours and wedding guests under a permit issued by the Routt County Public Works Department. There is adequate snow storage. Many events such as weddings require transportation of guests.

*\*\*Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

## **Natural Environment**

### **Applicable Regulations – Routt County Zoning Resolution**

- 5.11 Waterbody Setback Standards
- 6.1.7.D Wildlife and Wildlife Habitat.
- 6.1.7.E Water Quality and Quantity.
- 6.1.7.F Air Quality.
- 6.1.7.J Wetlands.
- 6.1.7.P Reclamation and Restoration.
- 6.1.7.Q Noxious Weeds.

### **Applicable Policies – Routt County Master Plan**

- 5.3.B While respecting private property rights, the County will not approve development applications or special use permits that would lead to the degradation of the environment without proper mitigation that would bring the proposal into compliance with the Master Plan, appropriate sub-area plans, Zoning Resolution, and Subdivision Regulations.
- 9.3E. Review the impacts on wildlife caused by recreational use, residential developments, and other developments and permits, than adjust, amend, terminate, or revoke as may be deemed beneficial to wildlife.

**Staff comments:** A condition has been included with CPW comments and will remain if the proposed SUP amendment is approved. The applicant has installed waterbody crossings across Trout Creek, under a permit issued by Routt County. The property is also used for

grazing of bison and a newly acquired herd of alpacas. There are other ranching operations such as haying, irrigation, fencing, etc.

*\*\*Is the application in compliance with the Policies and Regulations outlined above? Yes or No*

#### **PLANNING COMMISSION / BOARD OF COUNTY COMMISSIONERS OPTIONS:**

1. **Approve the Amendment Special Use Permit request without conditions** if it is determined that the petition will not adversely affect the public health, safety, and welfare and the proposed use is compatible with the immediately adjacent and nearby neighborhood properties and uses and the proposal is in compliance with the Routt County Zoning Regulations and complies with the guidelines of the Routt County Master Plan.
2. **Deny the Amendment to Special Use Permit request** if it is determined that the petition will adversely affect the public health, safety, and welfare and/or the proposed use is not compatible with the immediately adjacent and nearby neighborhood properties and uses and/or the proposed use is not in compliance with the Routt County Zoning Regulations and/or the Routt County Master Plan, Make specific findings of fact; cite specific regulations or policies by number from the Routt County Master Plan, and the Routt County Zoning Regulations.
3. **Table the Amendment to Special Use Permit request** if additional information is required to fully evaluate the petition. Give specific direction to the petitioner and staff.
4. **Approve the Amendment to Special Use Permit request with conditions and/or performance standards** if it is determined that certain conditions and/or performance standards are necessary to ensure public, health, safety, and welfare and/or make the use compatible with immediately adjacent and neighborhood properties and uses and/or bring the proposal into compliance with the Routt County Zoning Regulations and Routt County Master Plan.

**FINDINGS OF FACT** that may be appropriate if the Special Use Permit is approved:

1. The proposal with the following conditions meets the applicable guidelines of the Routt County Master Plan and is in compliance with Sections 4, 5, 6 of the Routt County Zoning Regulations.

**NOTE: All COA's remain as the original Special Use Permit with the exception that requested changes are crossed out to be removed and boldface indicating proposed changes**

**CONDITIONS** that may be appropriate may include the following:

#### **General Conditions:**

1. The SUP is contingent upon compliance with the applicable provisions of the Routt County Zoning Regulations including but not limited to Sections 5, and 6.
2. The SUP is limited to uses and facilities presented in the approved project plan. Any additional uses or facilities must be applied for in a new or amended application.
3. Any complaints or concerns which may arise from this operation may be cause for review of the SUP, at any time, and amendment or addition of conditions, or revocation of the permit if necessary.
4. In the event that Routt County commences an action to enforce or interpret this SUP, the substantially prevailing party shall be entitled to recover its costs in such action including, without limitation, attorney fees.

5. No junk, trash, or inoperative vehicles shall be stored on the property.
6. This approval is contingent upon any required federal, state and local permits being obtained and complied with; the operation shall comply with all federal, state and local laws. Copies of permits or letters of approval shall be submitted to the Routt County Planning Department prior to operations.
7. Fuel, flammable materials, or hazardous materials shall be kept in a safe area and shall be stored in accordance with state and local environmental requirements.
8. All exterior lighting shall be downcast and opaquely shielded. **This does not include seasonal winter lights event listed under COA #16**
9. Prior to the issuance of the permit, the Permittee shall provide evidence of liability insurance in the amount of no less than \$1,000,000 per occurrence. Routt County shall be named as an additional insured on the policy. Permittee shall notify Routt County Planning Department of an claims made against the policy. Certificate of liability insurance shall include all permit numbers associated with the activity.
10. Accessory structures/uses associated with this permit may be administratively approved by the Planning Director, without notice.
11. The permits/approval shall not be issued until all fees have been paid in full. Failure to pay fees may result in revocation of this permit. Permits/Approvals that require an ongoing review will be assessed an Annual Fee. Additional fees for mitigation monitoring will be charged on an hourly basis for staff time required to review and/or implement conditions of approval.
12. Transfer of this SUP may occur only after a statement has been filed with the Planning Director by the transferee guaranteeing that they will comply with the terms and conditions of the permit. If transferee is not the landowner of the permitted area, Transferee shall submit written consent to the transfer by the landowner. Failure to receive approval for the transfer shall constitute sufficient cause for revocation of the permit if the subject property is transferred. Bonds, insurance certificates or other security required in the permit shall also be filed with the Planning Director by the transferee to assure the work will be completed as specified. Any proposal to change the terms and conditions of a permit shall require a new permit.
13. The Permittee shall prevent the spread of weeds to surrounding lands, and comply with the Colorado Noxious Weed Act as amended in 2013 and Routt County noxious weed management plan.

#### **Specific Conditions:**

14. The Special Use Permit (SUP) is valid for the life of the use provided that all leases are renewed and provided it is acted upon within one year of approval. If leases are not renewed the application should be reviewed to determine if operations meet Section 3.2.10 of the Routt County Zoning Regulations. The SUP shall be deemed to have automatically lapsed if the uses permitted herein are discontinued for a period of one (1) year (except for uses that a customarily operated seasonally or periodically).
15. The Special Use Permit for private overnight guests will consist of the following:

- a. Overnight accommodations are for private guests and not offered to the public. Guests will be offered skiing, snowboarding, cross country skiing or snowshoeing and use of the 'bunny hill' for skiing. They can also participate in tours offered to the public described below.
  - b. Skiing, snowboarding, cross country skiing or snowshoeing for elite athletes will be offered. A rope tow, lift or other similar type of uphill transport is not approved as part of this permit.
16. Tours open to the public can be operated from ~~9 a.m. to sunset; Tues – Sunday.~~ **7:00 a.m. – 9 p.m. Seven days a week.** There will be a minimum of two guides per tours. ~~Hours of e~~Operations for tours shall be as follows:

Ranch tours, hay rides and sleigh rides

- Tours are offered year round
- 20 people maximum **per** tour ~~in summer~~
- ~~8 people maximum tour in winter~~
- One tour per day – 3 days per week

Horseback trail rides

- Tours offered year round
- ~~10-14~~ 14 people maximum per tour
- ~~Two three~~ tours per day ~~5 days per week~~

~~UTV~~ ATV tours

- Tours offered Spring, Summer and Fall
- Hay pastures will also be used for off trail travel
- ~~10 people~~ **10 machines** maximum tour ~~(5 vehicles)~~
- 1 hour to full day **tours**

Snowmobile tours

- Trails will be groomed along interior road and trails **and fields**
- Hay pastures will be used for off trails
- ~~10 people~~ **10 vehicles** maximum tour
- Three tours per day ~~5 days per week~~

**Covered Riding Arena (under Special Events requirements (COA #18))**

**Number of guests allowed: 400**

**Amplified music hours: 8 a.m. – 11 p.m.**

**Hours of operation: 8 a.m. – midnight**

**Special events allowed: 25 per year as allowed under Special Events requirements**

**Sanitation facilities must be provided.**

**Food service must be catered or supplied by event participants.**

All operations are to be held within the riding arena.

**Riding lessons in Covered Riding Arena (Not under Special Events requirements COA #18)**

Conducted year round

Access by private vehicle allowed

Riding trails can be used for advanced training

**Bison Handling Facility/Barn**

To be used as part of tours associated with the ranch in the education of farm husbandry. This facility may also be used in the Seasonal Events below.

**SEASONAL EVENTS (Not under Special Events Requirements COA #18)**

Haunted house/hay maze

Dates: October 1-31

Hours: 4 p.m. – 10 p.m.

Number of Guests: 60-80 per session – three events per evening

Winter lights

Dates: December 15 – January 15

Hours: 5 p.m. until 10 p.m.

Number of Guests: 60-80 per session – two events per evening

The Seasonal Events can be associated with hay rides, sleigh rides and horseback rides. Shuttle service must be provided for Seasonal Events.

**Pole Barn/Pavilions**

Two pole barn/pavilions (mom's and dad's retreat)

To be used for weddings or events with no amplified music

Wedding or events are allowed 25 times per year (under Special Events requirements)

To be used for recreational tours as a resting/lunch/snack area or inclement/emergency weather shelter

17. Horsemanship Clinics are limited to 25 clients. If the clinics are proposed as a larger event it shall be conducted as a Special Event. Clinics, lessons and horse boarding clients shall travel to the site by private vehicle.

18. Special Events shall be as follows:

- a. All events shall have port-a-lets/**sanitation facilities**
- b. Food services shall be provided by the client.
- c. Hours of operation shall be 8:00 a.m. to midnight
- d. Adequate off-street parking shall be provided. Any use of CR 29 for transport of guests must meet Road and Bridge requirements.
- e. Events are limited to one per week/25 per year



- f. All amplified music will cease at ~~40:00~~ **11:00** p.m., and shall take place within the ~~two~~ **five** areas designed on the map included within the conditions of the Special Use Permit, and all music will occur in tents.
  - g. Shuttle service to the site is required for all Special Events guests (**caterers, musicians, wedding party and special exceptions are not part of shuttle service**).
  - h. The number of guests allowed at Special Events is 200. **Events in the covered arena are limited to 400 guests.**
  - i. If there is no amplified music, the Special Events may take place outside of the designated areas indicated on the map
19. Prior to operation, permittee shall submit to Routt County proof of a Sales Tax Account /License.
20. Permits from the Routt County Road and Bridge Department or Building Department shall be obtained and any inspections completed before operations commence.
21. Routt County has the authority to close any county road at its sole discretion if damage to the road may occur by its use. To the extent that a road closure may affect Permittee's operations, Routt County will cooperate with Permittee to allow operations to be continued in a safe and practicable stopping point.
22. Routt County roads shall not be completely blocked at any time. If traffic regulation is deemed necessary, the Permittee shall notify the Routt County Road and Bridge Director, or designee thereof, in advance (if possible), who may then require:
- a. A method of handing traffic in accordance with the Manual on Uniform Traffic Control Devices (MUTCD) and approved by the Road and Bridge Director.
23. Routt County roads affected by this SUP will be inspected by the Routt County Road and Bridge Department at intervals determined by same. Any road damage repair or maintenance needs above and beyond typical maintenance, attributable to this use, shall be made by the County, or a third-party contractor as selected by the Routt County Road and Bridge Department and on a schedule determined by same. Road and Bridge shall inform permittee of such maintenance or repair activities prior to work being performed. Permittee shall solely bear the costs of repairs.
24. Prior to issuance, permittee shall obtain an access permit for the access serving the ceremony site. Permittee shall use and maintain such access to minimize impacts to the County road system during the life of the operations. Maintenance of the access may include sweeping, cleaning, and/or repair. If any improvements to the access are needed or desired, a Work in the Right of Way permit shall be obtained from the Routt County Road & Bridge Department prior to commencing work.
25. There shall be no parking on County Road 29 or the corresponding right-of-way for any events. Parking shall be limited to designated areas onsite only.
26. Permittee shall install snowmobile warning signs in advance of the snowmobile crossing at the county road per the MUTCD when snowmobile tours are operating.

27. All employees shall be first aid certified and be trained on emergency procedures. Radios or cell phones shall be provided to guides in case of emergency.
28. Any accidents requiring emergency service response shall be reported to the Planning Department.
29. Any wildlife encountered along or near the tours shall not be disturbed and given time to move away from any tours. The applicant shall work with the DPW to determine if there are any Sharpe-tailed leks on the property and mitigation measures placed to protect the leks. No pets or firearms shall be allowed.
30. **Due to wildlife concerns, ATV and Horseback tours shall be limited as follows:**
  - a. **Tours do not begin until June 15<sup>th</sup> OR**
  - b. **Tours conducted between May 15-June 15 be conducted from 10 a.m. – 3 p.m.**
31. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.
32. All snowmobiles shall have 4-stroke engines.
33. Horse boarding will be limited to no more than 20 horses at any one time.
34. **All tours, special events and seasonal events shall be conducted under current COVID19 mitigation plans under Routt County and State of Colorado.**

If the request for administrative approval to amend the the permit boundary is considered the following language is suggested:

The Routt County Planning Director may grant administrative approval to amend the permit boundary if private land is acquired by Lucky 8 Ranch. Adjacent property owners must be notified of the change of use on the property that is associated with the existing operations of Lucky 8 Ranch. If no comments are received after 10 days the Planning Director may grant administrative approval. If comments are received that cannot be mitigate through the Planning Deparmtnet, an amendment ot he permit boundary must be applied for and meet requirements for an application to an Amendment of a Special Use Permit.

If a lease holding larger than 35 acre is not renewed or any private property owned by Lucky 8 Ranch is sold, an application for an Amendment to a Special Use Permit must be approved.

**Lucky 8 Ranch Special Use Permit Application  
Written Narrative**



**Contact Info:**

Physical & Mailing Address: 23850 Tobiano TRL, Oak Creek, CO 80467

Contact Email: [nick@lucky8ranchco.com](mailto:nick@lucky8ranchco.com)

Contact Phone: (970) 846-5592

Website: [www.lucky8ranchco.com](http://www.lucky8ranchco.com)

**Description of Use:**

Lucky 8 Ranch's primary mission is:

*The revival of a once endangered species and the reclamation of the American farmland, by practicing Holistic Management while being environmentally conscious and involving the community. We will provide the highest quality Original American Red Meat, other products & services!*

Currently we raise over 270 head and growing of Bison on 2,944 acres. We use our land primarily for agriculture use. We graze and/or hay all our properties, owned & leased. Along with our agriculture operation we operate an agritourism operation out of the ranch. We offer ATV tours, snowmobile tours, hayrides, ranch tours, horseback rides, special events & weddings, and horsemanship clinics. All of our tours are an educational journey around the ranch with informative history and stories about Routt County's History & Heritage and the American Bison Tale. We received our permit on December 9<sup>th</sup>, 2017, PL-17-102. A copy of this permit with the current conditions of approval are attached.

We are now applying to change our permit boundary by adding 36.5 acres of newly leased property and 721 acres of newly purchased property. All shown on the site plan. We will also be terminating a land lease from our original permit, subtracting 323 acres from the permit

boundary. This would increase our current permit boundary from 1165 acres to 1599 acres. Increasing our current permit boundary by about 37%.

We would like to change our hours of operation, to the Routt County Standard, to Monday – Sunday, 7am-9pm.

We would like to increase our days of operation to 7 days per week.

We would also like to change the wording on Condition 16 in the current Special Use Permit PL-17-102:

UTV Tours:

Change UTV to ATV Tours, change the 10 people max to 10 vehicles max per tour.

Snowmobile Tours:

We would like to change the 10 people maximum per tour to 10 snowmobiles maximum per tour.

For special events we would also like to add 3 designated amplified music areas in the proposed property addition, noted on the attached map. These are only potential sites, with no current plan to use in the near future. We would also like to add another allowed amplified music area in the proposed covered horse area. We would like to extend out amplified music cut off time to 11 PM.

We would also like to add seasonal events to the permit. We would like to be able to host community events such as a haunted hayride, haunted house, hay maze, lighted winter sleigh ride/walk, and similar events.

Proposed accessory structures currently to be used & permitted for private use but would like to have the ability to use them for public use if the occasion arise. All structures are being over engineered for public and safety:

- 1) 100' by 200' Covered Riding Arena for year-round riding lessons, rodeo training, and Special Events.
- 2) 2 – Pole Barn Style Pavilions as Recreational/Accessory Structures, both noted on the site plan and in the process of permitting.
- 3) Bison Handling Facilities with a Small Barn, potential for a haunted house attraction in the fall.

We would also like to get prior approval to increase or decrease the permit boundary as more land is acquired or land leases are terminated. The approval is for changing the land area

ONLY without changing the “current” use. We propose this to be completed administratively rather than going through the full Special Use Permit process again.

**Description of Each Activity:**

***Agritourism:***

What is agritourism? Routt County defines agritourism as, “an activity conducted on a working farm or ranch and offered to the public for the purpose of recreation, education, or active involvement in the farm or ranch operation.” Colorado legislature defines agritourism as, “the practice of engaging in activities, events, and services that have been provided for consumers for recreational, entertainment, or educational purposes at a farm, ranch or other agricultural, horticultural, or agribusiness operation in order to allow consumer to experience, learn about, and participate in various facets of agricultural industry, culinary pursuits, natural resources, and heritage.” All of our activities and services follow these definitions. Lucky 8 Ranch is a working bison ranch and a hay contractor. Our activities are offered to the public to enjoy the ranch/country life they may not have access to at home. Along our journeys they learn about Routt County’s history and heritage, agriculture in Routt County, and the American Bison tale. The practice of agritourism began gaining popularity in the 1920’s when families or friends would travel to family or friends’ farms. Back then nearly everyone had a relative or friend on a farm. Today there are fewer and fewer farms having to supplying more food, where people have become disconnected from their food source. During multiple tours we have asked children where their steak comes from. Multiple have replied the grocery store, not understanding that it comes from an animal. Our goal is to bring people more connected to their food source and how the animals are raised. Lucky 8 Ranch currently complies with the standards stated in the Routt County Zoning Regulations Section 8.26.

***Horseback Riding:***

Horseback riding has been a long-standing tradition in agriculture community as well as in Routt County. When travelers come to the area and want the Colorado experience, they seek out horseback riding. When our guests book a trip with us, they take a trip back in time of how it felt to the pioneers of the west to travel on horseback. They learn about local fauna, Routt County history and heritage, and take in breathtaking views that Routt County has to offer.

Currently the ranch offers 2 tours per day, 5 days a week, with a maximum capacity of 10 participants. We offer a 1-hour, a 2-hour horseback ride, and the occasional overnight pack trip.

We would like to change our tours offered per day from 2 to 3 and change the number of days offered per week from 5 to 7. We would also like to change the number of participants from 10 to 14. The increase would happen over time as the ranch acquires more horses.

Other local ranches in the area offer their rides 6 days per week with a capacity of 10-15 riders, 2-3 times per day.

### ***ATV Tours:***

Our ATV Bison Adventure tours have been a big success to visitors and locals of Routt County. After a getting equipped with safety gear, a short safety briefing, and an introductory safety track, then they embark on an educational journey with 20 miles of trail system. By being able to cover more ground on the tour guests are able to enjoy more views of Routt County and learning about its history and heritage at each stopping point. Guests also get to sit amongst the bison herd, in their vehicle, while a guide tells them about the American Bison Tale and the joy & challenges of being part of agriculture in Routt County.

We currently offer ATV tours 5 days per week with a maximum capacity of 10 participants.

We would like to change the number of days offered per week from 5 days to 7 days and change the wording of Condition 16 in the current Special Use Permit PL-17-102 to 10 vehicles max per tour instead of 10 participants. We want to offer more participants, because some of our ATV's are 4 or 6 seaters. Our guide to vehicle ratio will remain the same at 1 guide per 5 vehicles. We usually always have 2 guides when more that 2 vehicles are booked.

Other local outfitters offer 2-3 tours per day with an unknown number of participants, 7 days per week.

### ***Snowmobile Tours:***

Snowmobiling is a big winter sport alternative in Routt County with the many areas to explore. Our tours are a family friendly adventure around the ranch taking in the great views of Routt County, where they also learn a bit about its History and Heritage. Our trails are groomed for ease of navigation, and we let the guests play in our ungroomed hay fields to feel what the deeper snow is like. We guide the guests through a safety track before they embark on the tour to makes sure everyone is safe and comfortable on the machine.

We currently offer snowmobile tours 5 days per week with a maximum capacity of 10 participants.

We would like to increase the number of days offered per week to 7 days. We would like to change the wording on Condition 16 in the current Special Use Permit PL-17-102 to maximum 10 snowmobiles rather than 10 participants, because the snowmobiles are 2 seaters and we could cater to more pairs and families. Our tour guide ration would remain the same at 5 vehicles per 1 guide. We usually always have 2 guides when more than 3 machines are booked.

Other local ranches and outfitters offer 2-8 tours per day with a capacity of 10-20+ participants, 7 days per week.

### ***Special Events:***

We have made a large investment in our current Special Event Site, which gives guests the "Colorado" experience. The location is also historical, located on the Edna/Haybro mine. With almost 100 years of Routt County history and heritage. The sites are fenced in with a huge lawn to relax and enjoy the scenery. The wooden fencing looks like you are in an animal corral

or paddock, keeping the ranch feel. Hay bales are commonly used for decoration around the site. Large boulders sourced from various areas of the mine are used as decoration along the road/trail to the site. During events guests come up to staff and ask questions about the land, the county, and the bison. Once you start talking to one, more join in and are intrigued by the information we share and the place we live. We have multiple event tents to choose from for events. Our current inventory is a 50'x100', 40'x40', 20'x40', 20'x20' tents. Along with general pop up tents. Power for the events is supplied by a whisper watt generator. Sanitation facilities include a restroom on a trailer that is pumped out by a local pump service. Trash and rubbish are added to our bear proof dumpster.

We would like to add three (3) additional special event sites with amplified music allowed in the newly proposed property addition. One site is in an aspen grove, which will help reduce sound travel from the events to neighboring houses, a beautiful location for any type of special event. The location is also located 1 mile away from the nearest neighboring house. The other 2 site are located on a mesa with scrub oak trees and about a +100' ridge blocking any visual or sounds before reaching the nearest neighbor, .75 miles and 1.1 miles away. These two areas have beautiful views that capture the "Colorado and Routt County" picture. We currently do not have any proposed plans for these new sites but would like to have the option to move our special events around to different areas on the property if needed. We would also like to add another amplified music area in the proposed indoor riding arena. Adding the option to host events in the covered horse area could harbor more non-profit style events and fundraisers as well as business convention/conference, meetings/dinners/barn dances., etc. If this location is approved, we would like to be able to increase the capacity of guests at this location to a maximum of 400 guests. We would also like to extend our amplified music cut off time to 11 PM. We have had no noise complaints from current events and neighbors have expressed they didn't know when we had events happening.

#### ***Proposed Accessory Structures:***

##### ***100' by 200' Indoor Riding Arena:***

This structure could have many purposes. The main purpose would be to offer winter riding lessons, rodeo training grounds, and agriculture storage which is a use by right. Accessory uses can be for special events, such as: fundraisers, non-profits, conventions/conferences, educational seminars, barn dances, pond hockey tournaments, sand volleyball tournaments, weddings, etc.

##### ***Pole Barn/Pavilions:***

We are building 2 Pole Barn/Pavilions on the property and would like to have the added option to use them for public use. These structures could also have many uses. Currently the primary intended use would be used for shade when doing private activities at the pond or fishing by the creek and overflow agriculture storage of hay or equipment. Accessory uses could be a ceremony site for a small wedding, a place to stop and have a picnic along one of our tours,

emergency structures in case of extreme weather during a tour, etc. The current name associated with one permit of these structures that has been submitted to Routt County is named "Mom's Retreat."

*Bison Handling Facility with a Small Barn:*

The current primary intended use of this structure is to work our animals, sort animals, administer medication, take animal records, other agricultural uses. Accessory uses could be used during ranch tours to describe how bison are handled and cared for in the area, an animal sales yard, a haunted attraction in the fall, a visual light spectacle in the winter, etc.

***Seasonal Events:***

We would like to be able to offer a haunted hayride/haunted house/hay maze in the fall and a lighted sleigh ride/walk in the winter. Each event would have multiple trips for a certain amount of time per day. We could limit the admissions per day to a designated number of participants. This idea is still in the basic planning stage and are willing to hear ideas on admission capacity and transportation. Or we could apply for a Special Event Permit yearly.

**Hours of Operation:**

Monday – Sunday  
7am – 9pm

**Anticipated number of employees:**

Lucky 8 Ranch currently has 6 full time members on staff (1 General Manager, 1 Ranch Manager, 1 Barn Manager, and 3 Ranch Hands). We hire seasonal workers currently as ranch hands to help with the entire operation.

Each activity will have a different number of employees.

ATV, Snowmobile, and Horseback Rides will have a minimum ratio of 1 guide per 5 vehicles or horses.

**Anticipated & Current Traffic:**

*Horse Back Riding:*

In 2018 we offered horseback rides at 2 tours per day and 5 days per week we had 200 availabilities for 20 weeks. Of those 200 availabilities only 64 tours were booked. Giving us a tour booking rate of 32% of our current maximum allowed. On average we ran 4 tours per week of the 10 tours allowed. We averaged 4 participants per tour out of the 10 maximum participants offered per tour, making the participant booking rate 13% of the maximum allowed.



We did not offer horseback riding in 2019.

*ATV Tours:*

We offered 144 tours from May to October 31<sup>st</sup>, 2018. Of those 144 tours only 49 of those tours were booked, giving a tour booking rate of 34%. Of those booked tours we average 6 participants per tour of the 10 allowed, making the participant booking rate 20% of our maximum. On average we ran 2 tours per week of the 5 tours offered for 28 weeks. Only 24 of those weeks had at least 1 tour booking.

In 2019 we offered 227 tours from May to September 30<sup>th</sup>, of those tours we booked 77 tours. Giving us a booking rate of 34%.

*Snowmobile Tours:*

We offered 235 tours from December 11<sup>th</sup>, 2018 to March 31<sup>st</sup>, 2019. Of those tours offered, 116 tours booked, resulting in a 49% tour booking rate. On average we ran 6.6 tours per week of the 15 tours offered. Of the 116 tours booked, we average 5.3 participants per tour, making the overall participant booking rate 26.2%.

This upcoming season we will be running 2 tours per day and if approved offer them 7 days per week.

*Special Events & Weddings:*

In 2019 we had 3 Special Events, with 150 guests, 181 guests, and 60 guests.

The anticipated traffic would remain the same as the original permit. 1 event per week with a maximum capacity of 200 guests. All events used a local shuttle service for majority of their guests. By shifting the original amplified music designated area to the west and adding other areas in the proposed property, this will help keep the events further away from adjacent property owners with houses to help mitigate noise and visual impact.

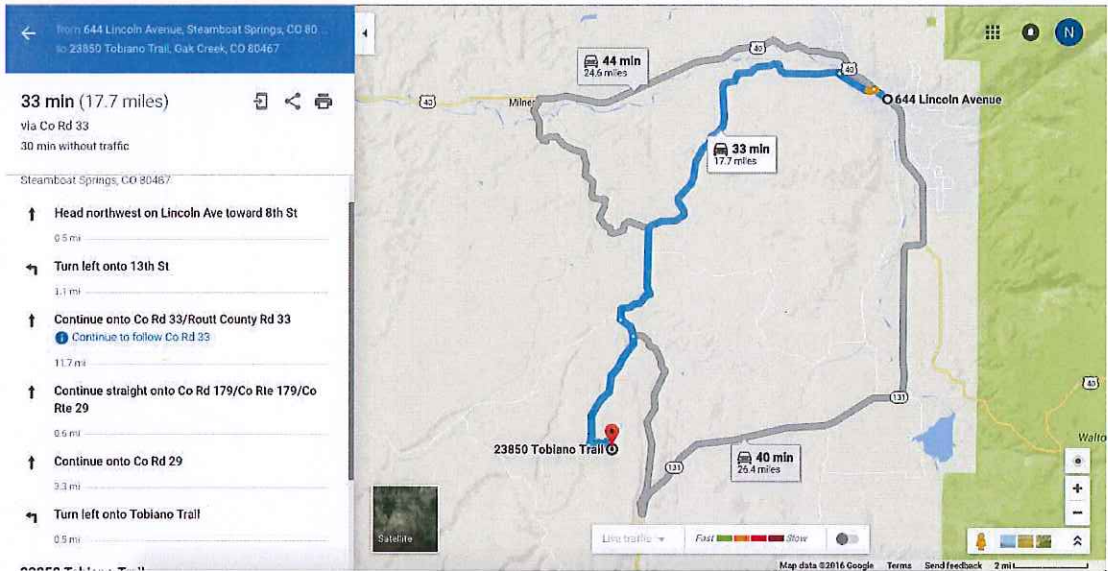
Vehicular traffic was minimal compared to our maximum amount allowed. Majority of our clients used our shuttle service, decreasing the number of vehicles trips on the road per day. To mitigate traffic out to the ranch, we will continue to offer shuttle pick up and drop off in town.

**Access to the Property:**

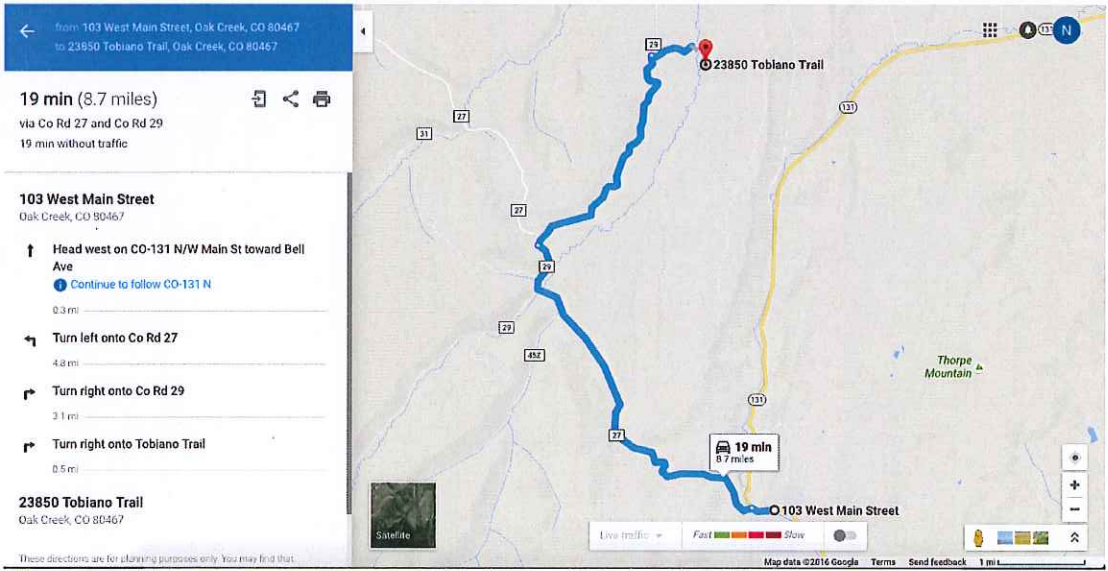
Guests can access the property with their private vehicles, or we will offer a shuttle pick up and drop off service.

There are two main access points to Lucky 8 Ranch. One is from 20 Mile Road and the other is from County Road 33/County Road 179.

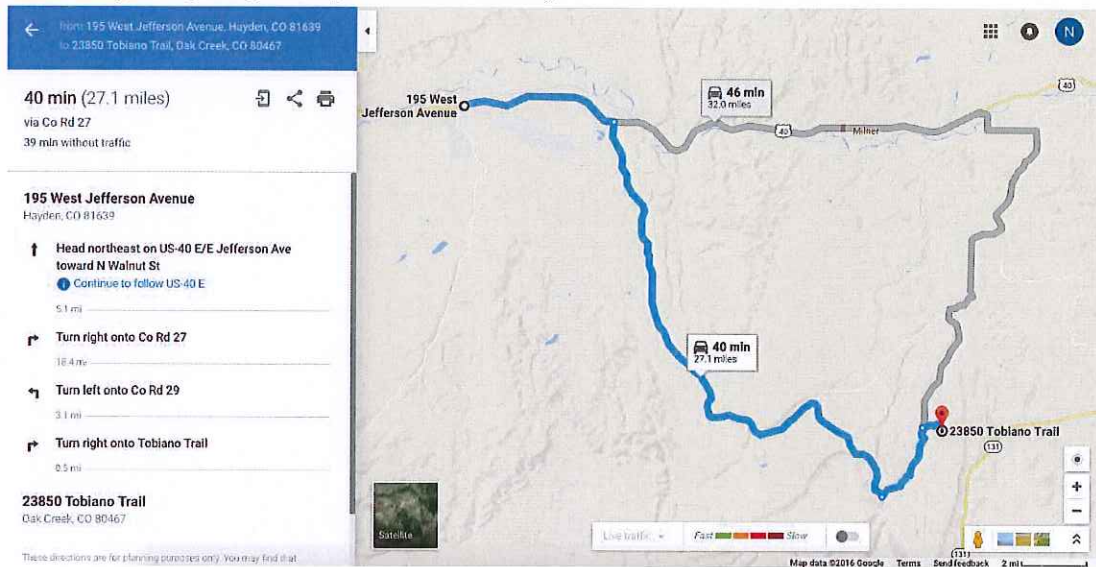
From Downtown Steamboat Springs (Google Maps shows three routes)



From Oak Creek



From Hayden (Google Maps shows 2 routes)



### Type of Equipment and Vehicles:

Our Current Inventory intended for guest ranch use:

- 1 Bombardier Snow Cat with an 8-person cab for winter tours
- 1 Tucker SnoCat Seats 4 persons for tours
- 1 John Deere Model A Tractor in restoration phase for agriculture & agritourism
- 1 Massey Fergusson 285 Tractor for agriculture & agritourism
- 1 Kubota Tractor for agriculture & agritourism
- 1 Case Tractor for agriculture & agritourism
- 6 1940's-1950's GMC Grain Truck in restoration phase for tours
- 1 1926 Model T Truck in restoration phase for tours
- 6 UTV's used for ranch use with the ability to be used for tours
- 4 ATV's used for ranch use with the ability to be used for tours
- 4 Snowmobiles used for personal use with the ability to be used for tours
- 6 UTV's Polaris Ranger for guided tours
- 3 UTV's Arctic Cat HDX for guided tours, personal & ranch use
- 10 Ski Doo 4 Stroke Grand Touring Snowmobiles
- 1 Haglin Snow Cat with two Passenger Bays
- 3 14-Passenger Shuttle Buses
- 2 Chevy Tahoe's
- 1 GMC Denali
- Multiple Pick Ups

Future Inventory (not limited to):

25 total 4 Stroke Snowmobiles used for tours.

20 total 4 Stroke Side by Sides used for tours.

1 Snow Cat for Grooming Trails



## **Lucky 8 Ranch Special Use Permit Application Site Plan Narrative**



### *Existing/Future Buildings, Structures, Fencing:*

We currently have 2 houses, 3 cabins, and 1 barn that the public will be allowed to access for sanitation facilities, not overnight guests. We currently have fences up in multiple pastures and are currently in the process of fencing off the entire perimeter of our owned and leased properties. We are also in the planning phase of our livestock handling facilities, which one-day will be opened to the public for agriculture tours.

There are 3 proposed accessory structures currently being permitted for private use, but we would like to add them to the SUP. An indoor horse arena located next to the barn (number 5) and 2 Pole Barn/Pavilions used as a recreation building, not a dwelling, located at number 9 on Site Plan.

### *Outdoor Storage, Trash Enclosures, Staging Areas, and Outdoor Use Areas:*

We currently have a bear proof trash enclosure in the barn yard and have had no problems with wildlife encounters. We will have a staging area for all tours located near or in the barn, eventually the animal working facility location, on the new northern property addition, and on the new southern property addition. Additional staging areas are annotated number 13 on the site plan. Since we are a ranch most areas will be outdoor use. Staging areas are used to get ready for tours or other activities. All staging areas have ample parking associated with the locations.

### *Parking Areas:*

We have parking areas in front of all houses, cabins, the barn, livestock handling facility location, and all staging areas. Any of our fields can be used for overflow parking.

### *Snow Storage:*

We do not store any snow. All plowed roads get the snow blown into the adjacent pasture.

*Sanitation Facilities:*

We have restrooms on a trailer for tour guests to use. All buildings except the barn have sanitation facilities inside. The trailers are pumped when needed by a local pump service.

*Utilities:*

We use grid power from Yampa Valley Electric or whisper watt generators. We use propane for heating of the houses. All buildings have existing septic systems for sanitation. Water is sourced from multiple wells.

*Water Bodies, Drainages, and Ditches.*

We have multiple ponds, 2 irrigation ditches in use, 2 irrigation ditches not in use, and 1 Creek.

*Irrigation Ditches:*

In Use: Homestead Ditch and Koll Ditch Number 1

Not in Use: Historic Mine Ditch & Connel Ditch

*Wetlands, Floodplains, and Steep Slopes:*

We currently have no known areas classified as wetlands. The floodplain runs adjacent with trout creek. There are a couple areas of steep slopes that are greater than 30%, which lead into the trout creek valley floor and on the ridge in our leased properties and a small portion of the new additional property to the south.

*Sidewalks & Trails:*

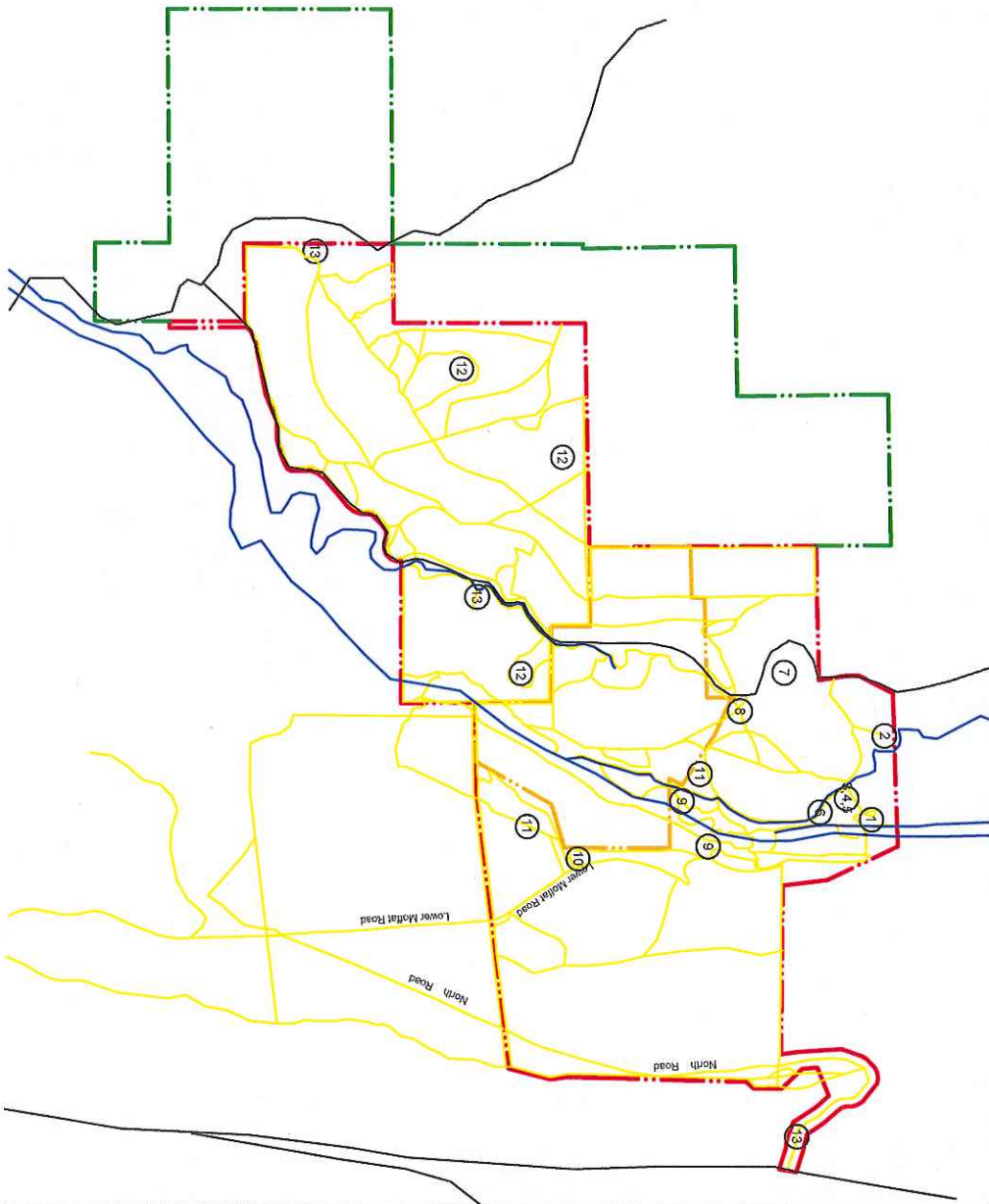
We do not have any built sidewalks. There are many established trails throughout our property from the old Chevron mining operation and various utility companies. We have rebuilt and maintained the old existing trails and roads.

*Hazardous Materials Storage:*

We currently use a sealed shipping container for all our hazardous materials storage located next to the barn.

*How to Access the new property around the subtracted property:*

Lucky 8 Ranch holds the BLM Special Recreation Permit for tours. During all tours the new property addition can be accessed from the trails approved to use on the BLM permit properties. The current BLM permit is attached with a map of the approved trail systems.



# L8R Site Map Legend

- 1 Proposed Permit Boundary
- 2 Permit Boundary Subtraction
- 3 BLM Grazing and Recreational Permit
- 4 Main House
- 5 Bunk House
- 6 Barn
- 7 Cabins
- 8 Proposed Covered Arena Location
- 9 Employee Housing
- 10 Old Barn & Manager House (Not Built)
- 11 Bison Handling Facility Proposed Location
- 12 Proposed Pole Barn/Pavilion Location
- 13 Current Non-Amplified Music SE Site
- 14 Current Amplified Music SE Site
- 15 Proposed Amplified Music SE Site
- 16 Staging Area
- 17 Roads and Trails
- 18 Creeks & Irrigation Ditches
- 19 County Roads



## **Lucky 8 Ranch Special Use Permit Application Mitigation Plan**



As always, we at Lucky 8 Ranch put Safety first. We will make sure our property is always in good standing for the Health, Safety, and Welfare of our lands and visitors. The entire property is our home and we will maintain and preserve it to the highest standards.

### **Public Roads, Service & Infrastructure, Road Capacity, Traffic & Traffic Safety**

To minimize impacts to our public roads, road capacity, and traffic leading to the ranch we will offer a shuttle service that will pick up and drop off to various locations around Routt County. This will reduce the number of daily vehicles traveling along these roadways. For special events we require the use of shuttles to transport majority of the guests, otherwise they will need a permit from Road and Bridge.

### **Natural Hazards**

We do not have any known avalanche, landslide, rock fall, mudflow, unstable slopes, seismic, or radioactive areas on the ranch.

To help minimize wildfire areas, we graze our livestock and hay areas to keep the grass to an appropriate level. We also maintain and mow within a 50-foot radius of any structure.

To help fight possible fire, fire extinguishers are located in all structures and vehicles located on the ranch. We also have multiple water pumps and water tanks to pump water if needed to specific areas.

There are no known existing flood hazard areas.



For public safety, we will not have tours if there is extreme weather, especially lightning. If lightning does strike within a 5-mile radius during a tour, we will have a plan in place to bring people inside safe structures.

### **Wildlife & Wildlife Habitat**

To avoid disturbing the local wildlife, we will avoid known breeding grounds, nesting areas, dens, and other high concentrated animal habitats, to not disturb these animal species.

During tours, we will avoid making unnecessary noise and disturbing the animal's natural habitat.

Since our property lines will be fenced off, we will add gates in pasture areas to allow wildlife migration when livestock is not present.

We have a covered bear proof 30ft dumpster to keep animals out of the trash.

### **Water Quality & Quantity**

We will maintain and preserve the water that runs through or under our ranch.

To minimize impact to the creek during tours we have bridges in place to allow vehicles to travel over the creek without impacting it. We will also observe the water flow and use the preexisting creek crossing only when suitable to cross when the water is at or below half the tire height.

### **Air Quality**

To reduce the amount of dust stirred up from the county road we have already started to treat our roadways within our property limits with magnesium chloride, applied by Routt County Road & Bridge. We will also use water during dry periods to wet our driveways when increased traffic is expected and high winds.

For the Health of our guests we hand out dust masks to minimize exposure to dust and other particles.

### **Visual Amenities and Scenic Qualities**

To minimize impact to the overall ranch, tours shall be conducted primarily on the existing roadways and dual-purpose trails.

To minimize impact to the ground surface during winter, snowmobile tours will not start until there is a minimum of 6 inches of snowpack on the ground.

We are currently reclaiming all our land especially where the Chevron Mine use to exist.

### **Noise**

To minimize noise impact from motorized vehicle tours we will offer tours between 9am and 1 hour after sunset. We will also restrict the amount of time traveling near neighboring houses.

During winter operations of grooming we will minimize the time of night grooming near neighboring houses. Note: The nearest house is 800-ft away from closest trail and is blocked by a hill and vegetation.

To minimize the noise from special events, we abide by the Colorado Noise Statute.

### **Wetlands**

To minimize impact to any wetlands that may exist, we will avoid them during tours.

### **Other**

To prevent human-livestock contact, fence will be constructed for guest safety. Also, during tours guest will remain in the vehicle when near livestock or wildlife.

Before motorized tours, we will have a safety speech and/or training session for guest safety.

All employees will be first aid and CPR certified. One employee currently has been trained as an EMT.

Lucky 8 Ranch currently employs the mitigations techniques in the Routt County Zoning Regulations of Section of 6.12 and 6.13.

Lucky 8 Ranch will adhere to any of the proposed mitigation techniques set forth in Section 6 of the Routt County Zoning Regulations as decided by the planning commission.

### **Concerns from the Previous Permitting Process:**

*Taking Away from Routt Counties History & Heritage:*

Lucky 8 Ranch shares Colorado and Routt County's history and heritage to all of our guests. Each tour is a scenic educational journey. Special events also embody the history and heritage of Routt County. The current Routt County Master Plan states in Section 10.1, "Routt County's industries of ranching, mining, and recreation have ebbed and flowed throughout its history. All have created a base of support for the citizens of this area." Lucky 8 Ranch embodies all three of these key industries at our ranch. Lucky 8 Ranch is an agriculture operation with a portion of the property located on the historic Enda/Haybro mine and offers recreational activities for the public to enjoy that history and culture.

*Routt County Road 29 being "unsafe":*

Routt County Road 29 has been engineered, inspected, and is well maintained. ASCE Code of Ethics Canon 1, "Engineers shall hold paramount the safety, health, and welfare of the public." In 2015 RCR 29 was a major detour around road construction on RCR 27 for a whole summer. Routt County Road and Bridge deemed RCR 29 acceptable for an increased traffic load. Lucky 8 Ranch cannot fix any issues motorists have with regards to the design of RCR 29.

*Winter Driving/Drivers:*

Colorado Department of Transportation has very strict traction laws that motorists must follow with hefty fines. To keep unfamiliar drivers off of the roads in the winter we HIGHLY suggest all participants use our shuttle service. All shuttles have either four-wheel drive or studded winter tires.

*Speeding:*

Routt County Road 29 has a speed limit of 30 miles per hour. Our shuttles maintain the speed limit or drive under the speed limit to maintain safety of our passengers. Lucky 8 Ranch cannot enforce the speed limit on RCR 29 to other motorists.

*Wildlife Impact:*

We like the wildlife and it is a large part of "Holistic Land Management" to increase biodiversity. Our goal is to also increase the wildlife populations in the area.

*Sandhill Cranes:*

Sandhill cranes habitat is in open wetlands surrounded by shrubs or trees. They nest in marshes, bogs, wet meadows, prairies, burned over aspen stands, and other moist habitats, preferring those with standing water. The key word here is "preferring those with standing water," such as flood irrigated fields. When we are flood irrigating our hay fields, we do not drive through or in them, because we do not want to damage the crops or cause ruts in our fields. Currently we only flood irrigate 85 acres of the property. We avoid any known breeding or nesting grounds during all activities on the ranch.

**Grouse:**

Currently we do not have any known permanent leks on the property. CPW visits the ranch yearly to do a grouse count. CPW submitted conditions of approval with our last permit.

**Elk:**

CPW has also made statements and given areas to avoid during tours. Most of the areas noted are inaccessible by motor vehicle or horseback. We love the elk and want to bring more to the area. The area has been over hunted for years, and with taking over management of specific areas we have lowered the number of hunters and are trying to bring the elk population up. On a side note, we currently have a new herd of pronghorn that have made their home at the ranch over the past few years. Pronghorn are not known to be in our area. A few years ago it started with 2 that took shelter within the bison herd for protection and has grown to 15-20 animals in 2019.

**Noise:**

Lucky 8 Ranch currently follows Colorado Noise Statute to measure potential noise disturbance. We measure the noise with a decibel meter. During Special Events, we have called our closest neighbor to see if they can hear the noise. They have stated they cannot hear the noise inside the house, but when they go outside, they can hear something is going on, but it is not a nuisance. We have also had no noise complaints.

**Concerns with the Master Plan:**

3.3.A "New Residential, commercial, and industrial developments and uses should occur within the vicinity of designated growth centers and in compliance with the adopted comprehensive plans of those areas."

This was in reference to the special event component of the permit. Currently of all ranch style event venues in Routt County, zero (0) are within designated growth centers. However, there is a difference between being open to public and commercial. Marriam-Webster Dictionary currently defines commercial as, "1) occupied with or engaged in commerce or work intended for commerce. 2) viewed with regard to profit. 3) emphasizing skills and subjects useful in business. 4) supported by advertisers." With commerce defined as, "1) interchange of ideas, opinions, and sentiments. 2) the exchange of buying and selling of commodities on a large-scale involving transportation from place to place." If one takes the second definition of "commercial," all ranching operations are technically commercial as we all hope to turn a profit to keep our ranches in business. The Routt County Master Plan also states in Section 4.1 "These often create a need for an individual ranch or farmer to have an additional source of income. Selling a portion of a ranch or using it for tourist-based related recreational uses can often satisfy the need of additional income." Special Events sought after in the country are currently trending. The main reason individuals or entities want to host their events in Rural Routt County is to give their guests the "Colorado" experience. The Routt County Master Plan

also states in Section 1.2, "The County's heritage as a rural and western is largely due to the agricultural lands and ranches that shape its landscape. A high level is placed on the preservation of agricultural lands and heritage." Our mission statement is a testament to this. We want to preserve and reclaim the American farmland, as well as share it with those who do not have the ability.

4.3.B: "Use permits that significantly alter the historical use, or character of an area may be deemed incompatible with this plan."

This was also in reference of the "Special Events". This use does not alter the historical use or the character of the area. Lucky 8 Ranch will always be an agriculture operation, allowing public to enjoy life and place we get to live. We are not proposing any structures that alter the zoning of Agriculture and Forestry rights of use. Lucky 8 Ranch is preserving the historical use and character of the area. Some may not know that the original property owners of our lands had plans to subdivide the parcels we currently own, which would have changed the character of the area.

6.3.A: "Recreation and Tourist-based development and use intensity should be comparable to traditional agricultural use intensity. Intensity of permitted use should be proportional to permitted acreage."

This too was in reference to the "Special Events." Walden Mills Group stated in *A Three-Year Plan For Promotion of Agritourism in the State of Colorado*, "Agriculture is a vital part of Colorado's heritage. Both agritourism and heritage tourism offer opportunities to help preserve important components of Colorado's heritage, whether it is saving a historic building, revitalizing cultural traditions, and ways of life, or making it possible to keep farms, ranches and other land in agriculture use." The Walden Group also states, "As Colorado looks at ways to promote agritourism and heritage tourism experience, the words 'agritourism' and 'heritage tourism' may be less important than the underlying concept of experiencing Colorado's real and authentic heritage through seeing, hearing, touching, smelling, and last but not least tasting." A "special event" held at a ranch or in the country touches on all of these points. Special events may not be a traditional agriculture use, but they do have roots in agriculture. Before there were large event venues most events were carried out in agriculture buildings a long time ago. Community events, barn dances, fairs, and weddings use to take place primarily on agriculture lands or at a country church. Rodeo was started as a competition between cowboys, ranchers, farmers on various agriculture lands to see who had the best skills for their trade. Special events may not be a current traditional use, but they have always been a part of agriculture. Other ranching events that increase the intensity of use on the lands can be cattle drives, branding times, selling animals, harvest, etc. With regards to acreage and special events. There are currently 3 special event venues with much less acreage than Lucky 8 Ranch.

6.3.J: "New permitted recreational uses should avoid the construction of new, permanent structures."

Routt County Zoning Regulations Section 2.3 Definitions state:

**Accessory Uses and Structures:**

A use or structure naturally and normally incidental to a use by right or permitted use.

Accessory uses and structures shall comply with all of the following criteria:

- 1) Is clearly incidental and customary to and commonly associated with the operation of the use by right or permitted use;
- 2) Is built and/or conducted only in conjunction with the use by right or permitted use;
- 3) Is operated and maintained under the same ownership as the use by right or permitted use;
- 4) Includes only those structures or structural features consistent with the use by right or permitted use.

**Indoor Riding Arena or stable:**

An enclosed structure with a footprint over 5,000 square feet used for riding lessons, exercising horses, riding competitions, stabling horses, or other similar uses.

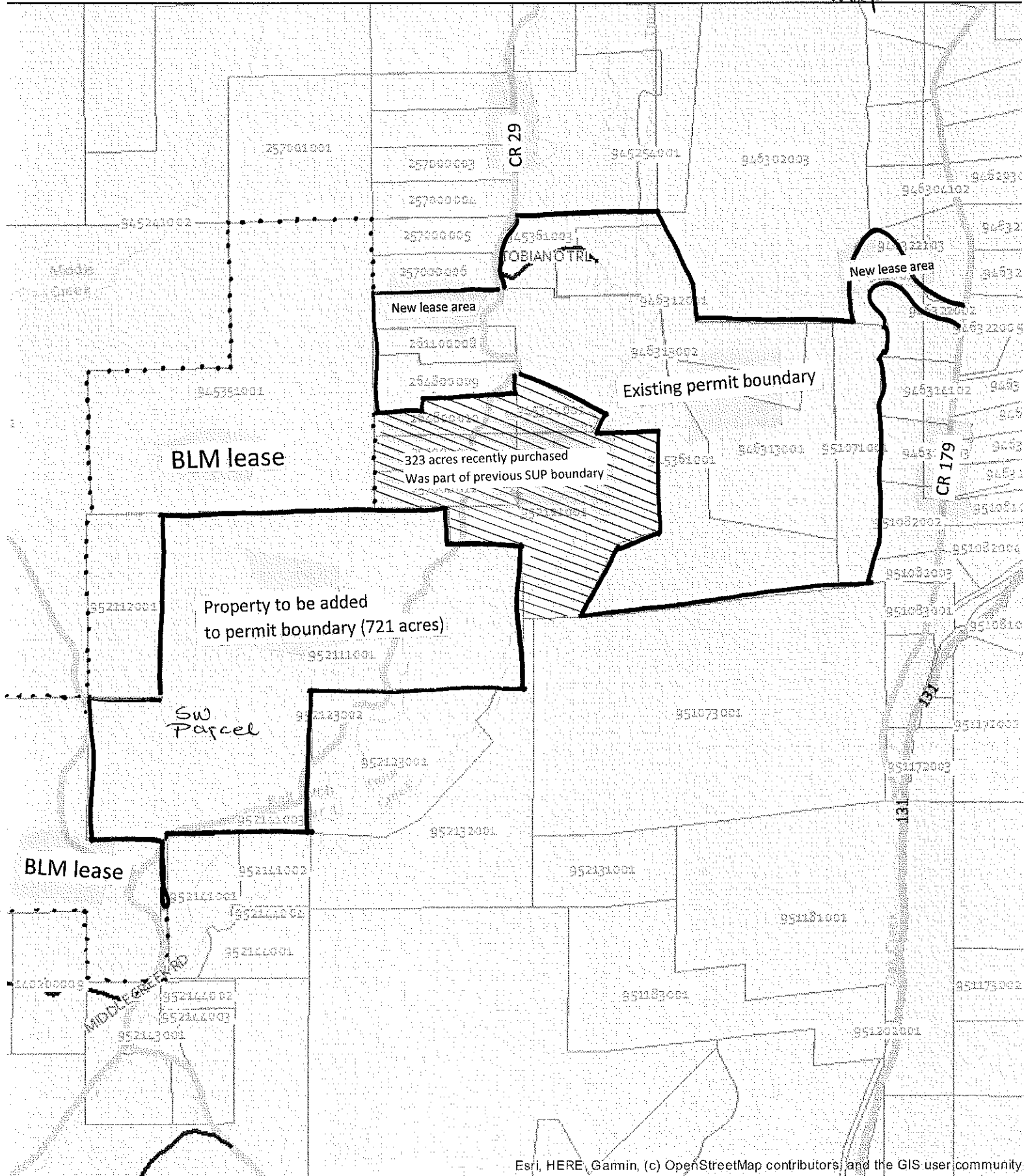
Community or commercial: An enclosed structure with over 5,000 square feet of commercially leasable space available to the public on a fee basis or is owned and operated by a homeowner (or similar) association for use by members of the association.

Private: A non-commercial facility for the use of the owner or occupant of the property where the facility is located.

Currently a "private" indoor riding area is a use by right in areas zoned Agriculture and Forestry. The accessory use of the proposed indoor riding arena fits Routt Counties standards and definitions of being "incidental."

# Lucky 8 Ranch

## Area Boundary Map



Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community.

### Legend

Road Centerlines

Highway

Primary Public Road

Primary Public Road

Primary Public Road

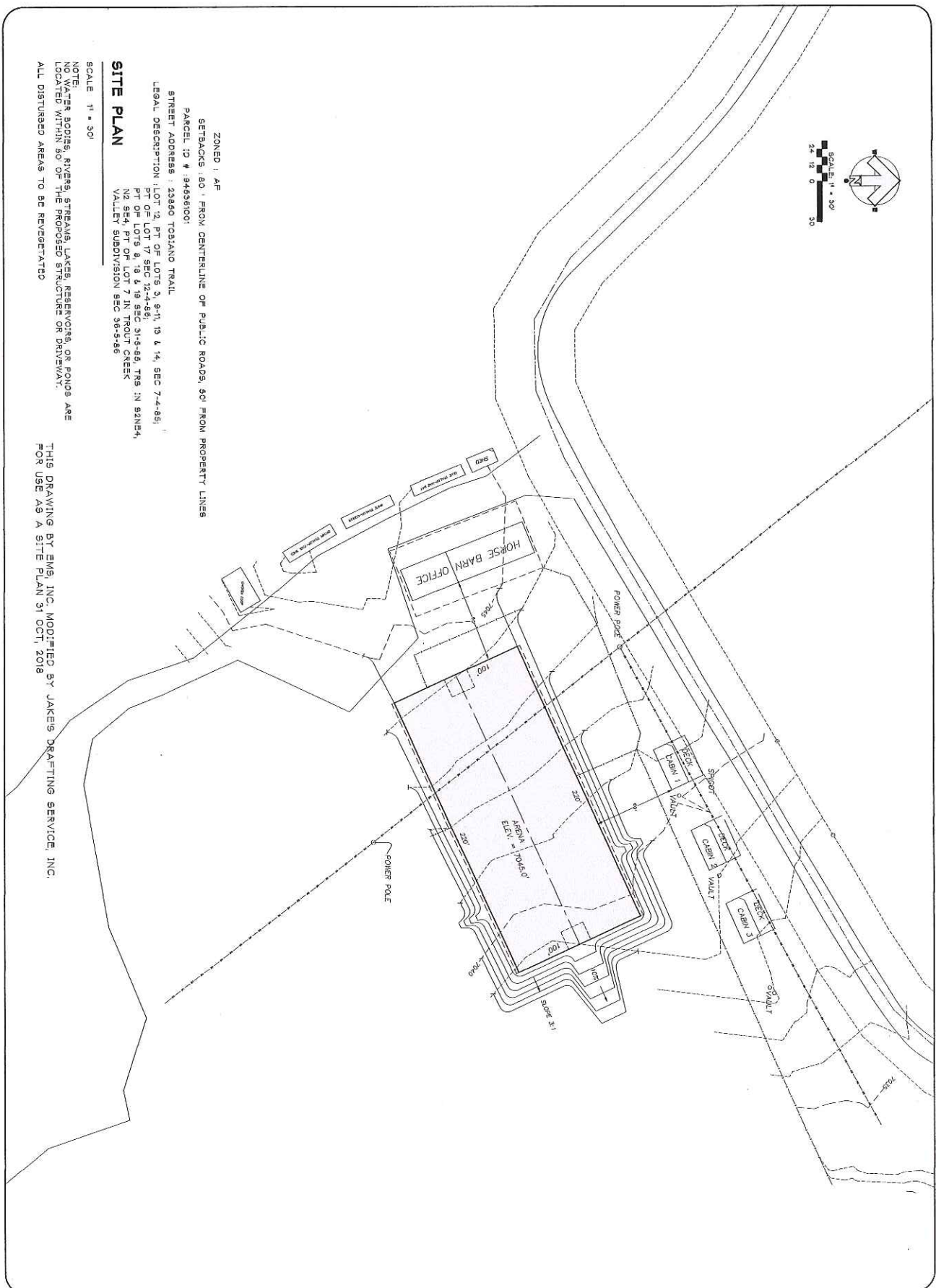
Routt County Boundary

Parcels

Page 8 of 169







ZONED : AF  
 SETBACKS : 50' FROM CENTERLINE OF PUBLIC ROADS, 50' FROM PROPERTY LINES  
 PARCEL ID # : 94531001  
 STREET ADDRESS : 23850 TOBIANO TRAIL  
 LEGAL DESCRIPTION : LOT 2, PT OF LOTS 3, 4, 13 & 14, SEC 7-4-85  
 PT OF LOT 7, SEC 36-5-86  
 PT OF LOTS 8, 9, 10, 11, 12, 13, 14, SEC 36-5-86, TRS. IN S2NE4,  
 N2SE4, PT OF LOT 7 IN TROUT CREEK  
 VALLEY SUBDIVISION SEC 36-5-86

**SITE PLAN**

SCALE : 1" = 30'

NOTE: LOT LINES, BORDERS, RIVERS, STREAMS, LAKES, RESERVOIRS, OR PONDS ARE LOCATED WITHIN 50' OF THE PROPOSED STRUCTURE OR DRIVEWAY.  
 ALL DISTURBED AREAS TO BE REVEGETATED

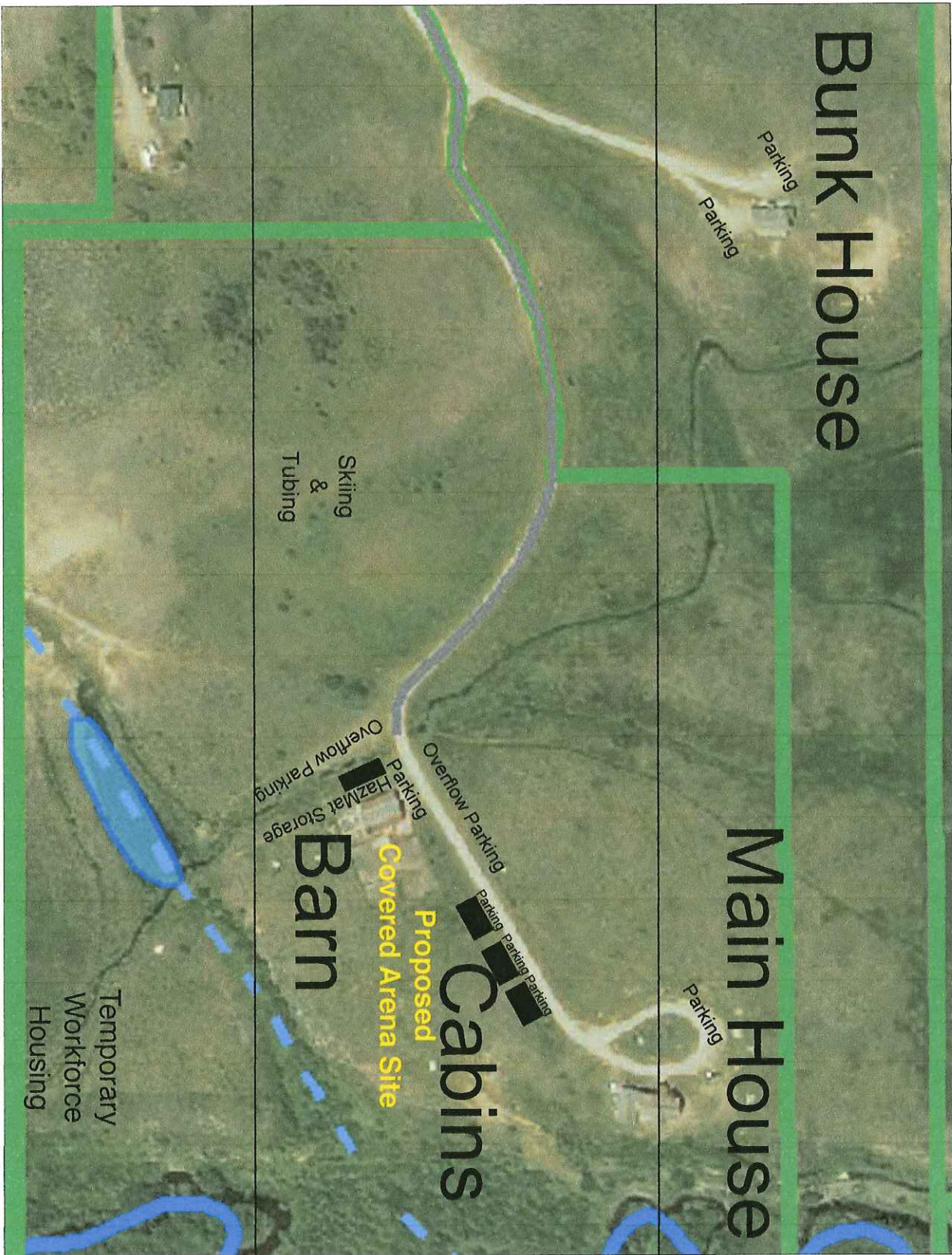
THIS DRAWING BY EMS, INC. MODIFIED BY JAKES DRAFTING SERVICE, INC.  
 FOR USE AS A SITE PLAN 31 OCT. 2018

Sheet Number  
**51**  
 SHEET 1 OF 5

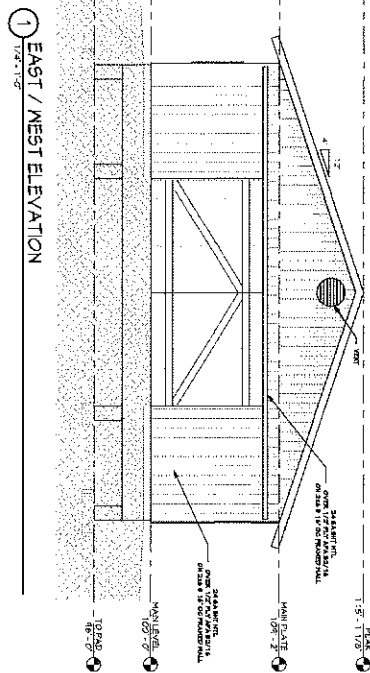
Job # : 18029  
 File : 18029.dwg  
 Date : 10/31/18  
 Drawn : JAK  
 Checked : JAK  
 Rev'd :  
 Rev'd :

SITE PLAN FOR  
**LUCKY 8 - ARENA**  
 23850 TOBIANO TRAIL  
 ROUTT COUNTY, COLORADO  
 OWNER/CONTRACTOR, 970.846.5592

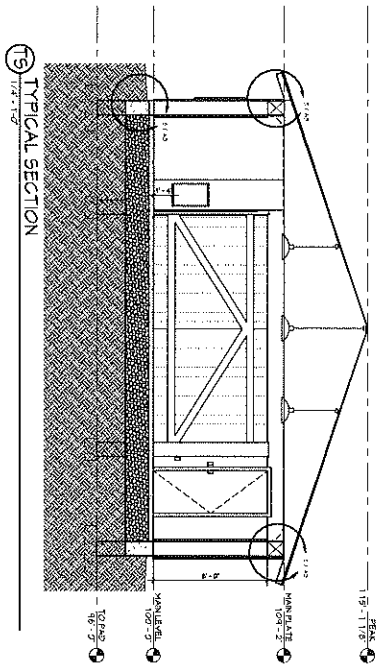
DRAFTING SERVICE, INC.  
 P.O. BOX 174121  
 428 OAK STREET  
 STEAMBOAT SPRINGS, COLORADO  
 80467  
 PHONE 970.846.5592  
 FAX 970.846.5593  
 JAKES@SPRINGSIPS.COM



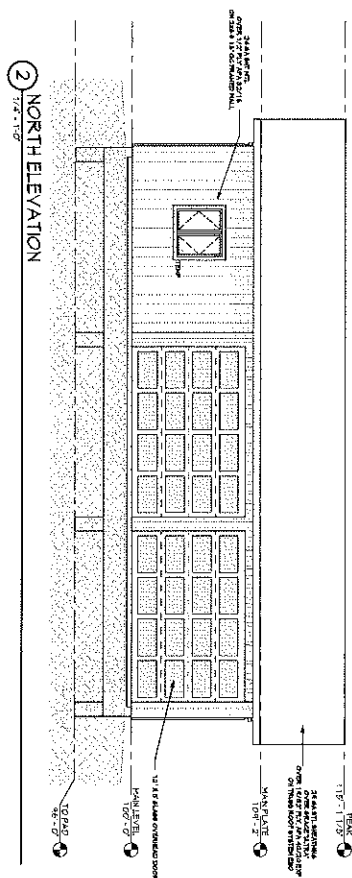




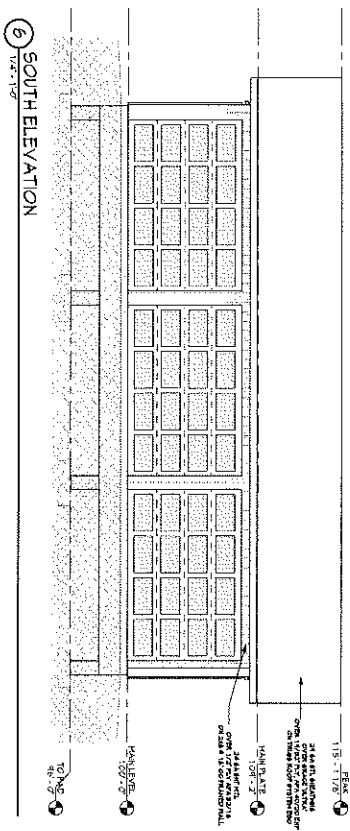
1 EAST / WEST ELEVATION  
1/4" = 1'-0"



TS TYPICAL SECTION  
1/4" - 1'-0"



② NORTH ELEVATION  
1/4" = 1'-0"



6 SOUTH ELEVATION  
1/2" = 1'-0"

ELEVATIONS & TYPICAL SECTION

LUCKY 8 - MOM'S RETREAT

23850 TOBIANO TRAIL  
ROUTT COUNTY COLORADO

OWNER/CONTRACTOR, 846-5592



DRAFTING SERVICE, INC.  
P.O. BOX 774121  
426 OAK STREET  
STEAMBOAT SPRINGS, COLORADO  
Page 43 of 69  
FAX 970.879.3109  
JAKE@DRAFTINGSIPS.COM

AN

Sheet Number

15.007  
18007422  
15 JUL 15  
JCN  
JCN  
16 JUL 77

[illegible]

**FOUNDATION PLAN**

The plan shows a rectangular foundation layout with overall dimensions of 97'-0" by 17'-0". The layout includes several anchor bolts and structural details:

- Anchor Bolts:** Located at various points around the perimeter and interior. Labels include "ANCHOR BOLTS", "NO ANCHOR BOLTS", and specific quantities like "8 @ 16" O.C.", "4 @ 16" O.C.", and "2 @ 16" O.C.". Some are labeled as "ANCHOR BOLTS WITH PLATE" or "ANCHOR BOLTS WITH PLATE AND NUTS".
- Structural Details:** Includes "12" FOUNDATION WALL FOR DETAIL A-1.5", "C-10P", "C-10B", and "C-10A".
- Notes:**
  - "1" THICK CONCRETE SLAB WITH REINFORCING BARS IN CONCRETE PER DETAIL A-1.5"
  - "1" THICK CONCRETE SLAB WITH REINFORCING BARS IN CONCRETE PER DETAIL A-1.5"
  - "1" THICK CONCRETE SLAB WITH REINFORCING BARS IN CONCRETE PER DETAIL A-1.5"
- Dimensions:** Overall dimensions are 97'-0" x 17'-0". Internal dimensions are 97'-0" x 17'-0".
- Orientation:** Indicated by a north arrow pointing towards the top right.

Structural drawing of a rectangular slab with dimensions and reinforcement details. The drawing shows a plan view of the slab with a grid of reinforcement bars. The overall dimensions are 36'-0" by 36'-0". The slab is divided into four quadrants by a central cross-section. The reinforcement bars are labeled with numbers 1 through 10. The drawing includes a section line A-A and a section line B-B. The section line A-A is labeled with '14 #4 @ 12" O.C.' and '14 #4 @ 12" O.C.'. The section line B-B is labeled with '14 #4 @ 12" O.C.' and '14 #4 @ 12" O.C.'. The drawing also includes a detail of a corner reinforcement bar, showing a 90-degree bend and a 12-inch development length. The drawing is a technical drawing of a structural slab, showing the layout of reinforcement bars and the overall dimensions of the slab.

PERSON SCHEDULE									
NO.	LEVEL	NO. OF PERSONS	STATUS	CONTACT	MOBILE PHONE	HOME PHONE	LOCALITY	RELIGION	EDUCATION
PERSON LEVEL 1	PERSON LEVEL 2	PERSON LEVEL 3	PERSON LEVEL 4	PERSON LEVEL 5	PERSON LEVEL 6	PERSON LEVEL 7	PERSON LEVEL 8	PERSON LEVEL 9	PERSON LEVEL 10
PERSON LEVEL 11	PERSON LEVEL 12	PERSON LEVEL 13	PERSON LEVEL 14	PERSON LEVEL 15	PERSON LEVEL 16	PERSON LEVEL 17	PERSON LEVEL 18	PERSON LEVEL 19	PERSON LEVEL 20
PERSON LEVEL 21	PERSON LEVEL 22	PERSON LEVEL 23	PERSON LEVEL 24	PERSON LEVEL 25	PERSON LEVEL 26	PERSON LEVEL 27	PERSON LEVEL 28	PERSON LEVEL 29	PERSON LEVEL 30
PERSON LEVEL 31	PERSON LEVEL 32	PERSON LEVEL 33	PERSON LEVEL 34	PERSON LEVEL 35	PERSON LEVEL 36	PERSON LEVEL 37	PERSON LEVEL 38	PERSON LEVEL 39	PERSON LEVEL 40
PERSON LEVEL 41	PERSON LEVEL 42	PERSON LEVEL 43	PERSON LEVEL 44	PERSON LEVEL 45	PERSON LEVEL 46	PERSON LEVEL 47	PERSON LEVEL 48	PERSON LEVEL 49	PERSON LEVEL 50
PERSON LEVEL 51	PERSON LEVEL 52	PERSON LEVEL 53	PERSON LEVEL 54	PERSON LEVEL 55	PERSON LEVEL 56	PERSON LEVEL 57	PERSON LEVEL 58	PERSON LEVEL 59	PERSON LEVEL 60
PERSON LEVEL 61	PERSON LEVEL 62	PERSON LEVEL 63	PERSON LEVEL 64	PERSON LEVEL 65	PERSON LEVEL 66	PERSON LEVEL 67	PERSON LEVEL 68	PERSON LEVEL 69	PERSON LEVEL 70
PERSON LEVEL 71	PERSON LEVEL 72	PERSON LEVEL 73	PERSON LEVEL 74	PERSON LEVEL 75	PERSON LEVEL 76	PERSON LEVEL 77	PERSON LEVEL 78	PERSON LEVEL 79	PERSON LEVEL 80
PERSON LEVEL 81	PERSON LEVEL 82	PERSON LEVEL 83	PERSON LEVEL 84	PERSON LEVEL 85	PERSON LEVEL 86	PERSON LEVEL 87	PERSON LEVEL 88	PERSON LEVEL 89	PERSON LEVEL 90
PERSON LEVEL 91	PERSON LEVEL 92	PERSON LEVEL 93	PERSON LEVEL 94	PERSON LEVEL 95	PERSON LEVEL 96	PERSON LEVEL 97	PERSON LEVEL 98	PERSON LEVEL 99	PERSON LEVEL 100
PERSON LEVEL 101	PERSON LEVEL 102	PERSON LEVEL 103	PERSON LEVEL 104	PERSON LEVEL 105	PERSON LEVEL 106	PERSON LEVEL 107	PERSON LEVEL 108	PERSON LEVEL 109	PERSON LEVEL 110
PERSON LEVEL 111	PERSON LEVEL 112	PERSON LEVEL 113	PERSON LEVEL 114	PERSON LEVEL 115	PERSON LEVEL 116	PERSON LEVEL 117	PERSON LEVEL 118	PERSON LEVEL 119	PERSON LEVEL 120
PERSON LEVEL 121	PERSON LEVEL 122	PERSON LEVEL 123	PERSON LEVEL 124	PERSON LEVEL 125	PERSON LEVEL 126	PERSON LEVEL 127	PERSON LEVEL 128	PERSON LEVEL 129	PERSON LEVEL 130
PERSON LEVEL 131	PERSON LEVEL 132	PERSON LEVEL 133	PERSON LEVEL 134	PERSON LEVEL 135	PERSON LEVEL 136	PERSON LEVEL 137	PERSON LEVEL 138	PERSON LEVEL 139	PERSON LEVEL 140
PERSON LEVEL 141	PERSON LEVEL 142	PERSON LEVEL 143	PERSON LEVEL 144	PERSON LEVEL 145	PERSON LEVEL 146	PERSON LEVEL 147	PERSON LEVEL 148	PERSON LEVEL 149	PERSON LEVEL 150
PERSON LEVEL 151	PERSON LEVEL 152	PERSON LEVEL 153	PERSON LEVEL 154	PERSON LEVEL 155	PERSON LEVEL 156	PERSON LEVEL 157	PERSON LEVEL 158	PERSON LEVEL 159	PERSON LEVEL 160
PERSON LEVEL 161	PERSON LEVEL 162	PERSON LEVEL 163	PERSON LEVEL 164	PERSON LEVEL 165	PERSON LEVEL 166	PERSON LEVEL 167	PERSON LEVEL 168	PERSON LEVEL 169	PERSON LEVEL 170
PERSON LEVEL 171	PERSON LEVEL 172	PERSON LEVEL 173	PERSON LEVEL 174	PERSON LEVEL 175	PERSON LEVEL 176	PERSON LEVEL 177	PERSON LEVEL 178	PERSON LEVEL 179	PERSON LEVEL 180
PERSON LEVEL 181	PERSON LEVEL 182	PERSON LEVEL 183	PERSON LEVEL 184	PERSON LEVEL 185	PERSON LEVEL 186	PERSON LEVEL 187	PERSON LEVEL 188	PERSON LEVEL 189	PERSON LEVEL 190
PERSON LEVEL 191	PERSON LEVEL 192	PERSON LEVEL 193	PERSON LEVEL 194	PERSON LEVEL 195	PERSON LEVEL 196	PERSON LEVEL 197	PERSON LEVEL 198	PERSON LEVEL 199	PERSON LEVEL 200
PERSON LEVEL 201	PERSON LEVEL 202	PERSON LEVEL 203	PERSON LEVEL 204	PERSON LEVEL 205	PERSON LEVEL 206	PERSON LEVEL 207	PERSON LEVEL 208	PERSON LEVEL 209	PERSON LEVEL 210
PERSON LEVEL 211	PERSON LEVEL 212	PERSON LEVEL 213	PERSON LEVEL 214	PERSON LEVEL 215	PERSON LEVEL 216	PERSON LEVEL 217	PERSON LEVEL 218	PERSON LEVEL 219	PERSON LEVEL 220
PERSON LEVEL 221	PERSON LEVEL 222	PERSON LEVEL 223	PERSON LEVEL 224	PERSON LEVEL 225	PERSON LEVEL 226	PERSON LEVEL 227	PERSON LEVEL 228	PERSON LEVEL 229	PERSON LEVEL 230
PERSON LEVEL 231	PERSON LEVEL 232	PERSON LEVEL 233	PERSON LEVEL 234	PERSON LEVEL 235	PERSON LEVEL 236	PERSON LEVEL 237	PERSON LEVEL 238	PERSON LEVEL 239	PERSON LEVEL 240
PERSON LEVEL 241	PERSON LEVEL 242	PERSON LEVEL 243	PERSON LEVEL 244	PERSON LEVEL 245	PERSON LEVEL 246	PERSON LEVEL 247	PERSON LEVEL 248	PERSON LEVEL 249	PERSON LEVEL 250
PERSON LEVEL 251	PERSON LEVEL 252	PERSON LEVEL 253	PERSON LEVEL 254	PERSON LEVEL 255	PERSON LEVEL 256	PERSON LEVEL 257	PERSON LEVEL 258	PERSON LEVEL 259	PERSON LEVEL 260
PERSON LEVEL 261	PERSON LEVEL 262	PERSON LEVEL 263	PERSON LEVEL 264	PERSON LEVEL 265	PERSON LEVEL 266	PERSON LEVEL 267	PERSON LEVEL 268	PERSON LEVEL 269	PERSON LEVEL 270
PERSON LEVEL 271	PERSON LEVEL 272	PERSON LEVEL 273	PERSON LEVEL 274	PERSON LEVEL 275	PERSON LEVEL 276	PERSON LEVEL 277	PERSON LEVEL 278	PERSON LEVEL 279	PERSON LEVEL 280
PERSON LEVEL 281	PERSON LEVEL 282	PERSON LEVEL 283	PERSON LEVEL 284	PERSON LEVEL 285	PERSON LEVEL 286	PERSON LEVEL 287	PERSON LEVEL 288	PERSON LEVEL 289	PERSON LEVEL 290
PERSON LEVEL 291	PERSON LEVEL 292	PERSON LEVEL 293	PERSON LEVEL 294	PERSON LEVEL 295	PERSON LEVEL 296	PERSON LEVEL 297	PERSON LEVEL 298	PERSON LEVEL 299	PERSON LEVEL 300
PERSON LEVEL 301	PERSON LEVEL 302	PERSON LEVEL 303	PERSON LEVEL 304	PERSON LEVEL 305	PERSON LEVEL 306	PERSON LEVEL 307	PERSON LEVEL 308	PERSON LEVEL 309	PERSON LEVEL 310
PERSON LEVEL 311	PERSON LEVEL 312	PERSON LEVEL 313	PERSON LEVEL 314	PERSON LEVEL 315	PERSON LEVEL 316	PERSON LEVEL 317	PERSON LEVEL 318	PERSON LEVEL 319	PERSON LEVEL 320
PERSON LEVEL 321	PERSON LEVEL 322	PERSON LEVEL 323	PERSON LEVEL 324	PERSON LEVEL 325	PERSON LEVEL 326	PERSON LEVEL 327	PERSON LEVEL 328	PERSON LEVEL 329	PERSON LEVEL 330
PERSON LEVEL 331	PERSON LEVEL 332	PERSON LEVEL 333	PERSON LEVEL 334	PERSON LEVEL 335	PERSON LEVEL 336	PERSON LEVEL 337	PERSON LEVEL 338	PERSON LEVEL 339	PERSON LEVEL 340
PERSON LEVEL 341	PERSON LEVEL 342	PERSON LEVEL 343	PERSON LEVEL 344	PERSON LEVEL 345	PERSON LEVEL 346	PERSON LEVEL 347	PERSON LEVEL 348	PERSON LEVEL 349	PERSON LEVEL 350
PERSON LEVEL 351	PERSON LEVEL 352	PERSON LEVEL 353	PERSON LEVEL 354	PERSON LEVEL 355	PERSON LEVEL 356	PERSON LEVEL 357	PERSON LEVEL 358	PERSON LEVEL 359	PERSON LEVEL 360
PERSON LEVEL 361	PERSON LEVEL 362	PERSON LEVEL 363	PERSON LEVEL 364	PERSON LEVEL 365	PERSON LEVEL 366	PERSON LEVEL 367	PERSON LEVEL 368	PERSON LEVEL 369	PERSON LEVEL 370
PERSON LEVEL 371	PERSON LEVEL 372	PERSON LEVEL 373	PERSON LEVEL 374	PERSON LEVEL 375	PERSON LEVEL 376	PERSON LEVEL 377	PERSON LEVEL 378	PERSON LEVEL 379	PERSON LEVEL 380
PERSON LEVEL 381	PERSON LEVEL 382	PERSON LEVEL 383	PERSON LEVEL 384	PERSON LEVEL 385	PERSON LEVEL 386	PERSON LEVEL 387	PERSON LEVEL 388	PERSON LEVEL 389	PERSON LEVEL 390
PERSON LEVEL 391	PERSON LEVEL 392	PERSON LEVEL 393	PERSON LEVEL 394	PERSON LEVEL 395	PERSON LEVEL 396	PERSON LEVEL 397	PERSON LEVEL 398	PERSON LEVEL 399	PERSON LEVEL 400
PERSON LEVEL 401	PERSON LEVEL 402	PERSON LEVEL 403	PERSON LEVEL 404	PERSON LEVEL 405	PERSON LEVEL 406	PERSON LEVEL 407	PERSON LEVEL 408	PERSON LEVEL 409	PERSON LEVEL 410
PERSON LEVEL 411	PERSON LEVEL 412	PERSON LEVEL 413	PERSON LEVEL 414	PERSON LEVEL 415	PERSON LEVEL 416	PERSON LEVEL 417	PERSON LEVEL 418	PERSON LEVEL 419	PERSON LEVEL 420
PERSON LEVEL 421	PERSON LEVEL 422	PERSON LEVEL 423	PERSON LEVEL 424	PERSON LEVEL 425	PERSON LEVEL 426	PERSON LEVEL 427	PERSON LEVEL 428	PERSON LEVEL 429	PERSON LEVEL 430
PERSON LEVEL 431	PERSON LEVEL 432	PERSON LEVEL 433	PERSON LEVEL 434	PERSON LEVEL 435	PERSON LEVEL 436	PERSON LEVEL 437	PERSON LEVEL 438	PERSON LEVEL 439	PERSON LEVEL 440
PERSON LEVEL 441	PERSON LEVEL 442	PERSON LEVEL 443	PERSON LEVEL 444	PERSON LEVEL 445	PERSON LEVEL 446	PERSON LEVEL 447	PERSON LEVEL 448	PERSON LEVEL 449	PERSON LEVEL 450
PERSON LEVEL 451	PERSON LEVEL 452	PERSON LEVEL 453	PERSON LEVEL 454	PERSON LEVEL 455	PERSON LEVEL 456	PERSON LEVEL 457	PERSON LEVEL 458	PERSON LEVEL 459	PERSON LEVEL 460
PERSON LEVEL 461	PERSON LEVEL 462	PERSON LEVEL 463	PERSON LEVEL 464	PERSON LEVEL 465	PERSON LEVEL 466	PERSON LEVEL 467	PERSON LEVEL 468	PERSON LEVEL 469	PERSON LEVEL 470
PERSON LEVEL 471	PERSON LEVEL 472	PERSON LEVEL 473	PERSON LEVEL 474	PERSON LEVEL 475	PERSON LEVEL 476	PERSON LEVEL 477	PERSON LEVEL 478	PERSON LEVEL 479	PERSON LEVEL 480
PERSON LEVEL 481	PERSON LEVEL 482	PERSON LEVEL 483	PERSON LEVEL 484	PERSON LEVEL 485	PERSON LEVEL 486	PERSON LEVEL 487	PERSON LEVEL 488	PERSON LEVEL 489	PERSON LEVEL 490
PERSON LEVEL 491	PERSON LEVEL 492	PERSON LEVEL 493	PERSON LEVEL 494	PERSON LEVEL 495	PERSON LEVEL 496	PERSON LEVEL 497	PERSON LEVEL 498	PERSON LEVEL 499	PERSON LEVEL 500
PERSON LEVEL 501	PERSON LEVEL 502	PERSON LEVEL 503	PERSON LEVEL 504	PERSON LEVEL 505	PERSON LEVEL 506	PERSON LEVEL 507	PERSON LEVEL 508	PERSON LEVEL 509	PERSON LEVEL 510
PERSON LEVEL 511	PERSON LEVEL 512	PERSON LEVEL 513	PERSON LEVEL 514	PERSON LEVEL 515	PERSON LEVEL 516	PERSON LEVEL 517	PERSON LEVEL 518	PERSON LEVEL 519	PERSON LEVEL 520
PERSON LEVEL 521	PERSON LEVEL 522	PERSON LEVEL 523	PERSON LEVEL 524	PERSON LEVEL 525	PERSON LEVEL 526	PERSON LEVEL 527	PERSON LEVEL 528	PERSON LEVEL 529	PERSON LEVEL 530
PERSON LEVEL 531	PERSON LEVEL 532	PERSON LEVEL 533	PERSON LEVEL 534	PERSON LEVEL 535	PERSON LEVEL 536	PERSON LEVEL 537	PERSON LEVEL 538	PERSON LEVEL 539	PERSON LEVEL 540
PERSON LEVEL 541	PERSON LEVEL 542	PERSON LEVEL 543	PERSON LEVEL 544	PERSON LEVEL 545	PERSON LEVEL 546	PERSON LEVEL 547	PERSON LEVEL 548	PERSON LEVEL 549	PERSON LEVEL 550
PERSON LEVEL 551	PERSON LEVEL 552	PERSON LEVEL 553	PERSON LEVEL 554	PERSON LEVEL 555	PERSON LEVEL 556	PERSON LEVEL 557	PERSON LEVEL 558	PERSON LEVEL 559	PERSON LEVEL 560
PERSON LEVEL 561	PERSON LEVEL 562	PERSON LEVEL 563	PERSON LEVEL 564	PERSON LEVEL 565	PERSON LEVEL 566	PERSON LEVEL 567	PERSON LEVEL 568	PERSON LEVEL 569	PERSON LEVEL 570
PERSON LEVEL 571	PERSON LEVEL 572	PERSON LEVEL 573	PERSON LEVEL 574	PERSON LEVEL 575	PERSON LEVEL 576	PERSON LEVEL 577	PERSON LEVEL 578	PERSON LEVEL 579	PERSON LEVEL 580
PERSON LEVEL 581	PERSON LEVEL 582	PERSON LEVEL 583	PERSON LEVEL 584	PERSON LEVEL 585	PERSON LEVEL 586	PERSON LEVEL 587	PERSON LEVEL 588	PERSON LEVEL 589	PERSON LEVEL 590
PERSON LEVEL 591	PERSON LEVEL 592	PERSON LEVEL 593	PERSON LEVEL 594	PERSON LEVEL 595	PERSON LEVEL 596	PERSON LEVEL 597	PERSON LEVEL 598	PERSON LEVEL 599	PERSON LEVEL 600
PERSON LEVEL 601	PERSON LEVEL 602	PERSON LEVEL 603	PERSON LEVEL 604	PERSON LEVEL 605	PERSON LEVEL 606	PERSON LEVEL 607	PERSON LEVEL 608	PERSON LEVEL 609	PERSON LEVEL 610
PERSON LEVEL 611	PERSON LEVEL 612	PERSON LEVEL 613	PERSON LEVEL 614	PERSON LEVEL 615	PERSON LEVEL 616	PERSON LEVEL 617	PERSON LEVEL 618	PERSON LEVEL 619	PERSON LEVEL 620
PERSON LEVEL 621	PERSON LEVEL 622	PERSON LEVEL 623	PERSON LEVEL 624	PERSON LEVEL 625	PERSON LEVEL 626	PERSON LEVEL 627	PERSON LEVEL 628	PERSON LEVEL 629	PERSON LEVEL 630
PERSON LEVEL 631	PERSON LEVEL 632	PERSON LEVEL 633	PERSON LEVEL 634	PERSON LEVEL 635	PERSON LEVEL 636	PERSON LEVEL 637	PERSON LEVEL 638	PERSON LEVEL 639	PERSON LEVEL 640
PERSON LEVEL 641	PERSON LEVEL 642	PERSON LEVEL 643	PERSON LEVEL 644	PERSON LEVEL 645	PERSON LEVEL 646	PERSON LEVEL 647	PERSON LEVEL 648	PERSON LEVEL 649	PERSON LEVEL 650
PERSON LEVEL 651	PERSON LEVEL 652	PERSON LEVEL 653	PERSON LEVEL 654	PERSON LEVEL 655	PERSON LEVEL 656	PERSON LEVEL 657	PERSON LEVEL 658	PERSON LEVEL 659	PERSON LEVEL 660
PERSON LEVEL 661	PERSON LEVEL 662	PERSON LEVEL 663	PERSON LEVEL 664	PERSON LEVEL 665	PERSON LEVEL 666	PERSON LEVEL 667	PERSON LEVEL 668	PERSON LEVEL 669	PERSON LEVEL 670
PERSON LEVEL 671	PERSON LEVEL 672	PERSON LEVEL 673	PERSON LEVEL 674	PERSON LEVEL 675	PERSON LEVEL 676	PERSON LEVEL 677	PERSON LEVEL 678	PERSON LEVEL 679	PERSON LEVEL 680
PERSON LEVEL 681	PERSON LEVEL 682	PERSON LEVEL 683	PERSON LEVEL 684	PERSON LEVEL 685	PERSON LEVEL 686	PERSON LEVEL 687	PERSON LEVEL 688	PERSON LEVEL 689	PERSON LEVEL 690
PERSON LEVEL 691	PERSON LEVEL 692	PERSON LEVEL 693	PERSON LEVEL 694	PERSON LEVEL 695	PERSON LEVEL 696	PERSON LEVEL 697	PERSON LEVEL 698	PERSON LEVEL 699	PERSON LEVEL 700
PERSON LEVEL 701	PERSON LEVEL 702	PERSON LEVEL 703	PERSON LEVEL 704	PERSON LEVEL 705	PERSON LEVEL 706	PERSON LEVEL 707	PERSON LEVEL 708	PERSON LEVEL 709	PERSON LEVEL 710
PERSON LEVEL 711	PERSON LEVEL 712	PERSON LEVEL 713	PERSON LEVEL 714	PERSON LEVEL 715	PERSON LEVEL 716	PERSON LEVEL 717	PERSON LEVEL 718	PERSON LEVEL 719	PERSON LEVEL 720
PERSON LEVEL 721	PERSON LEVEL 722	PERSON LEVEL 723	PERSON LEVEL 724	PERSON LEVEL 725	PERSON LEVEL 726	PERSON LEVEL 727	PERSON LEVEL 728	PERSON LEVEL 729	PERSON LEVEL 730
PERSON LEVEL 731	PERSON LEVEL 732	PERSON LEVEL 733	PERSON LEVEL 734	PERSON LEVEL 735	PERSON LEVEL 736	PERSON LEVEL 737	PERSON LEVEL 738	PERSON LEVEL 739	PERSON LEVEL 740
PERSON LEVEL 741	PERSON LEVEL 742	PERSON LEVEL 743	PERSON LEVEL 744	PERSON LEVEL 745	PERSON LEVEL 746	PERSON LEVEL 747	PERSON LEVEL 748	PERSON LEVEL 749	PERSON LEVEL 750
PERSON LEVEL 751	PERSON LEVEL 752	PERSON LEVEL 753	PERSON LEVEL 754	PERSON LEVEL 755	PERSON LEVEL 756	PERSON LEVEL 757	PERSON LEVEL 758	PERSON LEVEL 759	PERSON LEVEL 760
PERSON LEVEL 761	PERSON LEVEL 762	PERSON LEVEL 763	PERSON LEVEL 764	PERSON LEVEL 765	PERSON LEVEL 766	PERSON LEVEL 767	PERSON LEVEL 768	PERSON LEVEL 769	PERSON LEVEL 770
PERSON LEVEL 771	PERSON LEVEL 772	PERSON LEVEL 773	PERSON LEVEL 774	PERSON LEVEL 775	PERSON LEVEL 776	PERSON LEVEL 777	PERSON LEVEL 778	PERSON LEVEL 779	PERSON LEVEL 780
PERSON LEVEL 781	PERSON LEVEL 782	PERSON LEVEL 783	PERSON LEVEL 784	PERSON LEVEL 785	PERSON LEVEL 786	PERSON LEVEL 787	PERSON LEVEL 788	PERSON LEVEL 789	PERSON LEVEL 790
PERSON LEVEL 791	PERSON LEVEL 792	PERSON LEVEL 793	PERSON LEVEL 794	PERSON LEVEL 795	PERSON LEVEL 796	PERSON LEVEL 797	PERSON LEVEL 798	PERSON LEVEL 799	PERSON LEVEL 800
PERSON LEVEL 801	PERSON LEVEL 802	PERSON LEVEL 803	PERSON LEVEL 804	PERSON LEVEL 805	PERSON LEVEL 806	PERSON LEVEL 807	PERSON LEVEL 808	PERSON LEVEL 809	PERSON LEVEL 810
PERSON LEVEL 811	PERSON LEVEL 812	PERSON LEVEL 813	PERSON LEVEL 814	PERSON LEVEL 815	PERSON LEVEL 816	PERSON LEVEL 817	PERSON LEVEL 818	PERSON LEVEL 819	PERSON LEVEL 820
PERSON LEVEL 821	PERSON LEVEL 822	PERSON LEVEL 823	PERSON LEVEL 824	PERSON LEVEL 825	PERSON LEVEL 826	PERSON LEVEL 827	PERSON LEVEL 828	PERSON LEVEL 829	PERSON LEVEL 830
PERSON LEVEL 831	PERSON LEVEL 832	PERSON LEVEL 833	PERSON LEVEL 834	PERSON LEVEL 835	PERSON LEVEL 836	PERSON LEVEL 837	PERSON LEVEL 838	PERSON LEVEL 839	PERSON LEVEL 840
PERSON LEVEL 841	PERSON LEVEL 842	PERSON LEVEL 843	PERSON LEVEL 844	PERSON LEVEL 845	PERSON LEVEL 846	PERSON LEVEL 847	PERSON LEVEL 848	PERSON LEVEL 849	PERSON LEVEL 850
PERSON LEVEL 851	PERSON LEVEL 852	PERSON LEVEL 853	PERSON LEVEL 854	PERSON LEVEL 855	PERSON LEVEL 856	PERSON LEVEL 857	PERSON LEVEL 858	PERSON LEVEL 859	PERSON LEVEL 860
PERSON LEVEL 861	PERSON LEVEL 862	PERSON LEVEL 863	PERSON LEVEL 864	PERSON LEVEL 865	PERSON LEVEL 866	PERSON LEVEL 867	PERSON LEVEL 868	PERSON LEVEL 869	PERSON LEVEL 870
PERSON LEVEL 871	PERSON LEVEL 872	PERSON LEVEL 873	PERSON LEVEL 874	PERSON LEVEL 875	PERSON LEVEL 876	PERSON LEVEL 877	PERSON LEVEL 878	PERSON LEVEL 879	PERSON LEVEL 880
PERSON LEVEL 881	PERSON LEVEL 882	PERSON LEVEL 883	PERSON LEVEL 884	PERSON LEVEL 885	PERSON LEVEL 886	PERSON LEVEL 887	PERSON LEVEL 888	PERSON LEVEL 889	PERSON LEVEL 890
PERSON LEVEL 891	PERSON LEVEL 892	PERSON LEVEL 893	PERSON LEVEL 894	PERSON LEVEL 895	PERSON LEVEL 896	PERSON LEVEL 897	PERSON LEVEL 898	PERSON LEVEL 899	PERSON LEVEL 900
PERSON LEVEL 901	PERSON LEVEL 902	PERSON LEVEL 903	PERSON LEVEL 904	PERSON LEVEL 905	PERSON LEVEL 906	PERSON LEVEL 907	PERSON LEVEL 908	PERSON LEVEL 909	PERSON LEVEL 910
PERSON LEVEL 911	PERSON LEVEL 912	PERSON LEVEL 913	PERSON LEVEL 914	PERSON LEVEL 915	PERSON LEVEL 916	PERSON LEVEL 917	PERSON LEVEL 918	PERSON LEVEL 919	PERSON LEVEL 920
PERSON LEVEL 921	PERSON LEVEL 922	PERSON LEVEL 923	PERSON LEVEL 924	PERSON LEVEL 925	PERSON LEVEL 926	PERSON LEVEL 927	PERSON LEVEL 928	PERSON LEVEL 929	PERSON LEVEL 930
PERSON LEVEL 931	PERSON LEVEL 932	PERSON LEVEL 933	PERSON LEVEL 934	PERSON LEVEL 935	PERSON LEVEL 936	PERSON LEVEL 937	PERSON LEVEL 938	PERSON LEVEL 939	PERSON LEVEL 940
PERSON LEVEL 941	PERSON LEVEL 942	PERSON LEVEL 943	PERSON LEVEL 944	PERSON LEVEL 945	PERSON LEVEL 946	PERSON LEVEL 947	PERSON LEVEL 948	PERSON LEVEL 949	PERSON LEVEL 950
PERSON LEVEL 951	PERSON LEVEL 952	PERSON LEVEL 953	PERSON LEVEL 954	PERSON LEVEL 955	PERSON LEVEL 956	PERSON LEVEL 957	PERSON LEVEL 958	PERSON LEVEL 959	PERSON LEVEL 960
PERSON LEVEL 961	PERSON LEVEL 962	PERSON LEVEL 963	PERSON LEVEL 964	PERSON LEVEL 965	PERSON LEVEL 966	PERSON LEVEL 967	PERSON LEVEL 968	PERSON LEVEL 969	PERSON LEVEL 970
PERSON LEVEL 971	PERSON LEVEL 972	PERSON LEVEL 973	PERSON LEVEL 974	PERSON LEVEL 975	PERSON LEVEL 976	PERSON LEVEL 977	PERSON LEVEL 978	PERSON LEVEL 979	PERSON LEVEL 980
PERSON LEVEL 981	PERSON LEVEL 982	PERSON LEVEL 983	PERSON LEVEL 984	PERSON LEVEL 985	PERSON LEVEL 986	PERSON LEVEL 987	PERSON LEVEL 988	PERSON LEVEL 989	PERSON LEVEL 990
PERSON LEVEL 991	PERSON LEVEL 992	PERSON LEVEL 993	PERSON LEVEL 994	PERSON LEVEL 995	PERSON LEVEL 996	PERSON LEVEL 997	PERSON LEVEL 998	PERSON LEVEL 999	PERSON LEVEL 1000

NOTED  
APPLICATIONS FOR CRIMINAL PROCEEDINGS AGAINST REPRESSIVE SOLDIERS REPORT FOR THE  
BY NUCLEIC ACIDS, ALLOYS 2300 PER IN TO BEAD LAD ON SANDS AND GRAVELA FOUNDATIONS AND  
NOTED FOR THESE CONDITIONS.

CONSTRUCTION TYPE: 198	
OCCUPANCY:	
BUILDING AREA:	80 FT
LOWER LEVEL FINISHED:	80 FT
MAIN LEVEL FINISHED:	1200 SQ FT
UPPER LEVEL FINISHED:	80 FT
UNFINISHED AREA:	80 FT
BASEMENT:	80 FT
TOTAL:	1280 SQ FT
ADJACENT:	80 FT
CARPET:	80 FT
DRINKS:	80 FT
FOODS:	80 FT

# ROUTT COUNTY

Board of County Commissioners

P.O. Box 773598  
Steamboat Springs, CO 80477

(970) 879-0108  
fax (970) 879-3992

946312001

## SPECIAL USE PERMIT

Routt County, Colorado

**Permit No.** PL-17-102

**Project Name:** Lucky 8 Ranch Guest Ranch

**Permittee:** Lucky 8 Ranch LLC

**Address:** 23850 Tobiano Tr.  
Oak Creek, CO 80467

**Type of Use:** Special Use Permit for Guest Ranch with Recreational Facilities

**Location/Legal Description:** Tracts in Sections 31 & 36 T5N R86W; Sections 7 & 12 T4N R85W

Located 6-7 miles North of Oak Creek, CO accessing from CR 29

**Period of Permit:** See Specific Condition #14

**Board Approval Date:** September 26, 2017

**Conditions of Approval:**

**General Conditions:**

1. The SUP is contingent upon compliance with the applicable provisions of the Routt County Zoning Regulations including but not limited to Sections 5, and 6.
2. The SUP is limited to uses and facilities presented in the approved project plan. Any additional uses or facilities must be applied for in a new or amended application.

3. Any complaints or concerns that may arise from this operation may be cause for review of the SUP, at any time, and amendment or addition of conditions, or revocation of the permit if necessary.
4. In the event that Routt County commences an action to enforce or interpret this SUP, the substantially prevailing party shall be entitled to recover its costs in such action including, without limitation, attorney fees.
5. No junk, trash, or inoperative vehicles shall be stored on the property.
6. This approval is contingent upon any required federal, state and local permits being obtained and complied with; the operation shall comply with all federal, state and local laws. Copies of permits or letters of approval shall be submitted to the Routt County Planning Department prior to operations.
7. Fuel, flammable materials, or hazardous materials shall be kept in a safe area and shall be stored in accordance with state and local environmental requirements.
8. All exterior lighting shall be downcast and opaquely shielded.
9. Prior to the issuance of the permit, the Permittee shall provide evidence of liability insurance in the amount of no less than \$1,000,000 per occurrence. Routt County shall be named as an additional insured on the policy. Permittee shall notify Routt County Planning Department of any claims made against the policy. Certificate of liability insurance shall include all permit numbers associated with the activity.
10. Accessory structures/uses associated with this permit may be administratively approved by the Planning Director, without notice.
11. The permits/approval shall not be issued until all fees have been paid in full. Failure to pay fees may result in revocation of this permit. Permits/Approvals that require an ongoing review will be assessed an Annual Fee. Additional fees for mitigation monitoring will be charged on an hourly basis for staff time required to review and/or implement conditions of approval.
12. Transfer of this SUP may occur only after a statement has been filed with the Planning Director by the transferee guaranteeing that they will comply with the terms and conditions of the permit. If transferee is not the landowner of the permitted area, Transferee shall submit written consent to the transfer by the landowner. Failure to receive approval for the transfer shall constitute sufficient cause for revocation of the permit if the subject property is transferred. Bonds, insurance certificates or other security required in the permit shall also be filed with the Planning Director by the transferee to assure the work will be completed as specified. Any proposal to change the terms and conditions of a permit shall require a new permit.
13. The Permittee shall prevent the spread of weeds to surrounding lands, and comply with the Colorado Noxious Weed Act as amended in 2013 and Routt County noxious weed management plan.

**Specific Conditions:**

14. The Special Use Permit (SUP) is valid for the life of the use provided that all leases are renewed and current fee ownership is maintained or converted to a lease and provided it is acted upon within one year of approval. If leases are not renewed or fee ownership is not maintained or converted to a lease the application should be reviewed to determine if operations meet Section 6.3A of the Routt County Zoning Regulations. The SUP shall be

deemed to have automatically lapsed if the uses permitted herein are discontinued for a period of one (1) year (except for uses that a customarily operated seasonally or periodically).

15. The Special Use Permit for private overnight guests will consist of the following:
- Overnight accommodations are for private guests and not offered to the public. Guests will be offered skiing, snowboarding, cross country skiing or snowshoeing and use of the 'bunny hill' for skiing. They can also participate in tours offered to the public described below.
  - Skiing, snowboarding, cross country skiing or snowshoeing for elite athletes will be offered. A rope tow, lift or other similar type of uphill transport is not approved as part of this permit.
16. Tours open to the public can be operated from 9 a.m. to sunset; Tues – Sunday. There will be a minimum of two guides per tour. Hours of operations for tours shall be as follows:

Ranch tours, hay rides and sleigh rides

- Tours are offered year round
- 20 people maximum tour in summer
- 8 people maximum tour in winter
- One tour per day – 3 days per week

Horseback rides

- Tours offered year round
- 10 people maximum tour
- Two tours per day/5 days per week

UTV tours

- Tours offered Spring, Summer and Fall
- 10 people maximum tour (5 vehicles)
- 1 hour to full day

Snowmobile tours

- Trails will be groomed along interior roads and trails
- Hay pastures will be used for off trail
- 10 people maximum tour
- Three tours per day – 5 days per week

17. Horsemanship Clinics are limited to 25 clients. If the clinics are proposed as a larger event it shall be conducted as a Special Event. Clinics, lessons and horseboarding clients shall travel to the site by private vehicle and shall not bring a horse trailer.
18. Special Events shall be as follows:
- All events shall have port-a-lets.
  - Food service shall be provided by the client.
  - Hours of operation shall be 8:00 a.m. to midnight.
  - Adequate off-street parking shall be provided. Any use of CR 29 for transport of guests must meet Road and Bridge requirements.
  - Events are limited to one per week.
  - All amplified music will cease at 10:00 p.m, shall take place within the two areas designated on the map included within the conditions of the special use permit, and all music will occur in tents.
  - Shuttle service to the site is required for all Special Events.
  - The number of Special Events shall be limited to 25 per year.
  - The maximum number of guests allowed at Special Events is 200.
  - If there is no amplified music, the special event may take place outside of the designated areas indicated on the map.

19. Prior to operation, permittee shall submit to Routt County proof of a Sales Tax Account /License.
20. Permits from the Routt County Road and Bridge Department or Building Department shall be obtained and any inspections completed before operations commence.
21. Routt County has the authority to close any county road at its sole discretion if damage to the road may occur by its use. To the extent that a road closure may affect Permittee's operations, Routt County will cooperate with Permittee to allow operations to be continued in a safe and practicable stopping point.
22. Routt County roads shall not be completely blocked at any time. If traffic regulation is deemed necessary, the Permittee shall notify the Routt County Road and Bridge Director, or designee thereof, in advance (if possible), who may then require: a. A method of handing traffic in accordance with the Manual on Uniform Traffic Control Devices (MUTCD) and approved by the Road and Bridge Director.
23. Routt County roads affected by this SUP will be inspected by the Routt County Road and Bridge Department at intervals determined by same. Any road damage repair or maintenance needs above and beyond typical maintenance, attributable to this use, shall be made by the County, or a third-party contractor as selected by the Routt County Road and Bridge Department and on a schedule determined by same. Road and Bridge shall inform permittee of such maintenance or repair activities prior to work being performed. Permittee shall solely bear the costs of repairs.
24. Prior to issuance, permittee shall obtain an access permit for the access serving the ceremony site. Permittee shall use and maintain such access to minimize impacts to the County road system during the life of the operations. Maintenance of the access may include sweeping, cleaning, and/or repair. If any improvements to the access are needed or desired, a Work in the Right of Way permit shall be obtained from the Routt County Road & Bridge Department prior to commencing work.
25. There shall be no parking on County Road 29 or the corresponding right-of-way for any events. Parking shall be limited to designated areas onsite only.
26. Permittee shall install snowmobile warning signs in advance of the snowmobile crossing at the county road per the MUTCD when snowmobile tours are operating.
27. All employees shall be first aid certified and be trained on emergency procedures. Radios or cell phones shall be provided to guides in case of emergency.
28. Any accidents requiring emergency service response shall be reported to the Planning Department.
29. Any wildlife encountered along or near the tours shall not be disturbed and given time to move away from any tours. The applicant shall work with the DPW to determine if there are any Sharpe-tailed grouse leks on the property and mitigation measures placed to protect the leks. No pets or firearms shall be allowed.
30. Revegetation of disturbed areas shall occur within one growing season with a seed mix which avoids the use of aggressive grasses. See the Colorado State University Extension Office for appropriate grass seed mixes.
31. All snowmobiles shall have 4-stroke engines.



PL-17-102

Lucky 8 Ranch

Special Use Permit

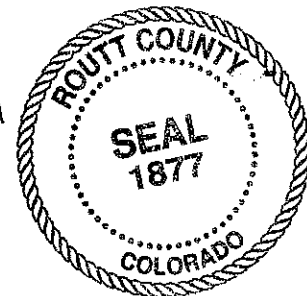
32. Horse boarding will be limited to no more than 20 horses at any one time.

Permit Issued by the Routt County Board of Commissioners:

*Timothy Corrigan* 11/29/2017  
Timothy Corrigan, Chair Date

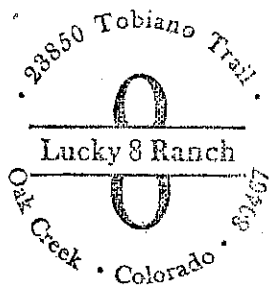
ATTEST:

*Kim Bonner* 12-7-17  
Kim Bonner, Routt County Clerk and Recorder Deputy



ACCEPTED:

*Nicholas Osadchuk* 11-13-17  
Printed Name: NICHOLAS OSADCHUK Date  
Permittee  
Title CM



**Lucky 8 Ranch**

23850 Tobiano Trail  
Oak Creek, Colorado 80467  
Phone: (970) 846-5592

**Routt County Planning Department**

P.O. Box 773749  
Steamboat Springs, CO 80477  
Phone: (970) 879-2704


---

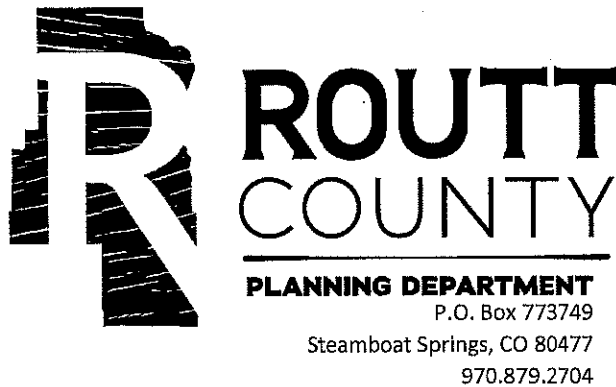
**To Whom It May Concern,**

After surveying the land and estimating excavation and building cost to put a special event site at the current proposed location (circled on the attached map), we at Lucky 8 Ranch decided it would disturb too much land and cost too much to make a special event site at the current proposed location. We would like to exchange this site for a site more suitable and conducive to construct a special event site. The new site remains near our southernmost property line to keep away from neighboring properties. It is shown by a black box on the attached map. By moving this location to a lower site, it will aid in building ease, lower costs, and reduce the amount of ground disturbance than that of the originally proposed site. It will also help with the visual aspect of seeing the special event site from neighboring properties. The location is hidden from neighbors in lower elevations, by a small hill, but remains visible to the neighbors who live at the higher elevations located west of CR29.

Let me know if you have any questions.

Thanks,

  
\_\_\_\_\_  
Lucky 8 Ranch  
Nicholas Osadchuk  
General Manager  
Date: 1-30-2019



January 31, 2019

Nick Osadchuk  
Lucky 8 Ranch  
23850 Tobiano Trail  
Oak Creek, CO 80467

RE: Request for Minor Change to Special Use Permit PL-17-102

Dear Nick:

Routt County has received your request for a Minor Change to your Special Use Permit to move one of your special events sites to a new location per Section 3.2.10.

The original special events site located on the south side of the property on the east side of the access road will be eliminated and new site established on the west side of the road as shown on the attached map submitted by your request. This request is deemed to be in compliance with the Routt County Zoning Regulations Section 3.2.10 A. and is consistent with the approval of the Special Use Permit.

Any additional changes to the Special Use Permit will be reviewed as a full amendment to the Special Use Permit.

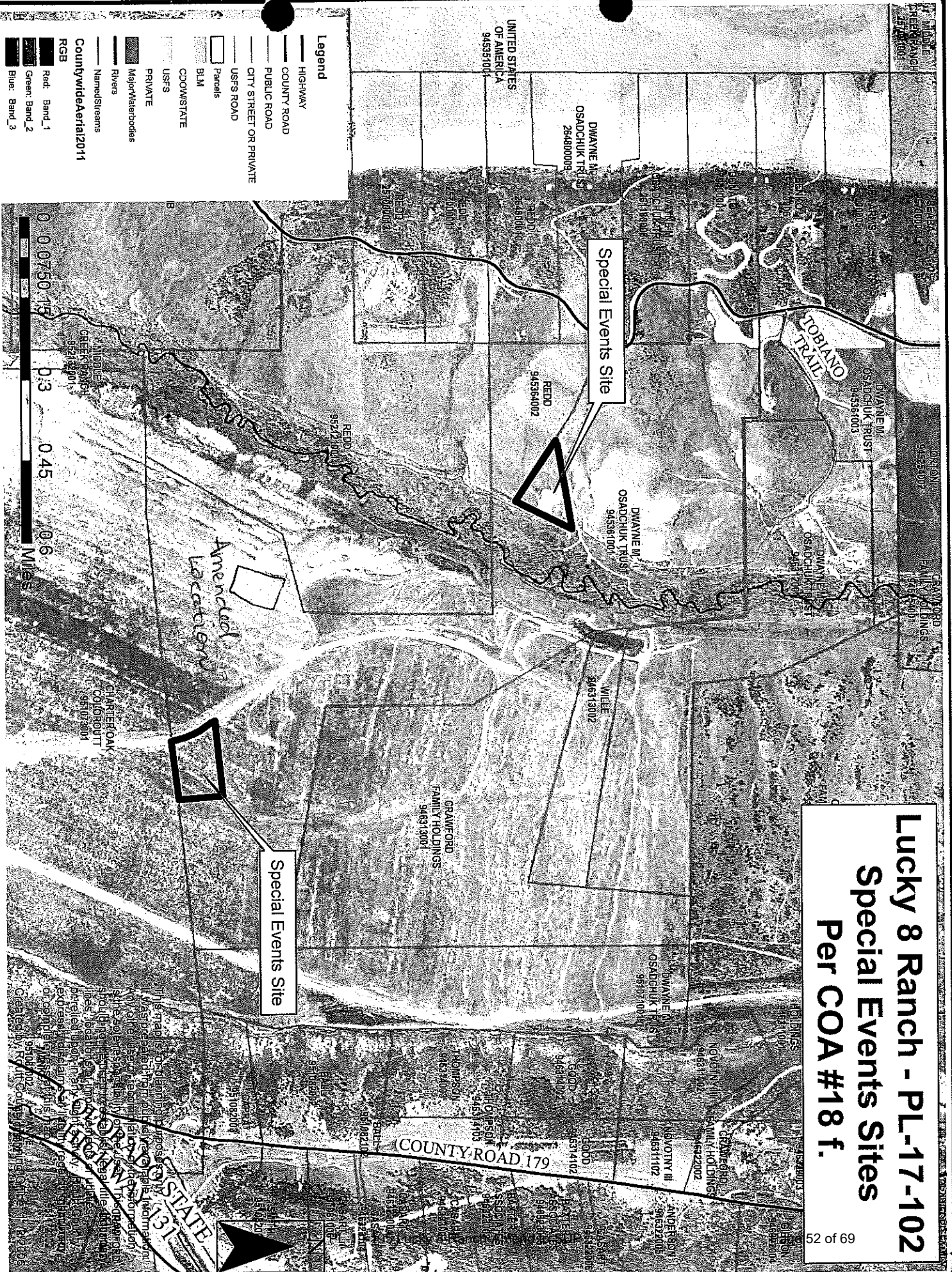
Sincerely,

A handwritten signature in black ink, appearing to read 'Chad Phillips', is written over a light blue horizontal line.

Chad Phillips  
Planning Director

# **Lucky 8 Ranch - PL-17-102** **Special Events Sites** **Per COA #18 f.**

52 of 69



RECEIVED  
BLM UNITED STATES  
DEPARTMENT OF THE INTERIOR  
BUREAU OF LAND MANAGEMENT  
-5 JUL 2019 12 58  
SPECIAL RECREATION PERMIT

(43 U.S.C. 1201; 43 U.S.C. 1701; 16 U.S.C. 460L-6(a); and 43 CFR 2930)

Permit No.

CO-100-19-140

BLM Issuing Office

Little Snake Field Office

Permittee Lucky 8 Ranch, LLC.

Authorized Representative Nicholas Osadchuk

Address

23850 Tobiano TRL  
Oak Creek, CO. 80467

Phone Number (970) 846-5592

Email Address nick@lucky8ranchco.com

Web Site www.lucky8rancho.com

Permit is for (check all that apply): ☒ Commercial ☐ Competitive ☐ Organized Group ☐ Vending

Date Issued 06/17/2019 Date Expires 06/17/2020 (Terms greater than one year subject to annual authorization.)

Seasonal or other period of use limitations \_\_\_\_\_

Permit Fee Formula Commercial: Greater of \$110/year or 3% of gross revenue

Assigned Sites (commercial only): ☒ None No. of Assigned Sites subject to fees \_\_\_\_\_

Special Area Fees Apply: ☐ Yes ☒ No Special Area Fee \_\_\_\_\_

Minimum insurance coverage requirements Moderate Risk: \$500,000 per occurrence, \$1,000,000 annual aggregate

Permit is valid only if a current Certificate of Insurance, listing the United States as additional insured, is on file with the issuing BLM Office.

Post use report due date(s) 07/17/2020 Bond Requirement: ☒ None Bond Amount \_\_\_\_\_

Purpose and activities authorized

ATV Tours, Snowmobile Tours, Horseback Riding, Guided Hiking, Guided Snowshoeing, Guided Cross Country Skiing

Approved Area of Operation

ATV, foot, and horseback traffic are limited to routes on map attached to this permit.

Certification of Information: I certify use of this permit will be as per the operations plan on file with BLM. I acknowledge I am required to comply with any conditions or stipulations required by the BLM including the General Terms listed on page two of this form and any additional stipulations which may be attached.

Additional Stipulations are attached: ☒ Yes ☐ No

[Signature]  
(Permittee Signature)

7-2-19  
(Date)

Approved and issued for the conduct of permitted activities and locations shown on this permit and in conformance with the operating plan. Permit is subject to General Terms and any additional stipulations attached.

Kathy McKinstry  
(BLM Authorized Officer Printed Name)

Kathy McKinstry  
(BLM Authorized Officer Signature)

7/10/19  
(Date)

Lucky 8 Ranch, LLC Tours, Permit #CO-100-19-140

Additional Stipulations

The following additional stipulations apply to Lucky 8 Ranch tour activities.

1. Participants and staff must stay on existing roads and trails shown on permit map during ATV, foot, and horseback activities.
2. Over-the-snow vehicle travel is allowed if snow depth is equal to or greater than two feet.
3. Tours will not occur if unusually muddy conditions exist.
4. Camping is not allowed with this permit.

Certification:

I have read these additional stipulations and understand that I must abide by them while performing activities in connection with the permitted operations.

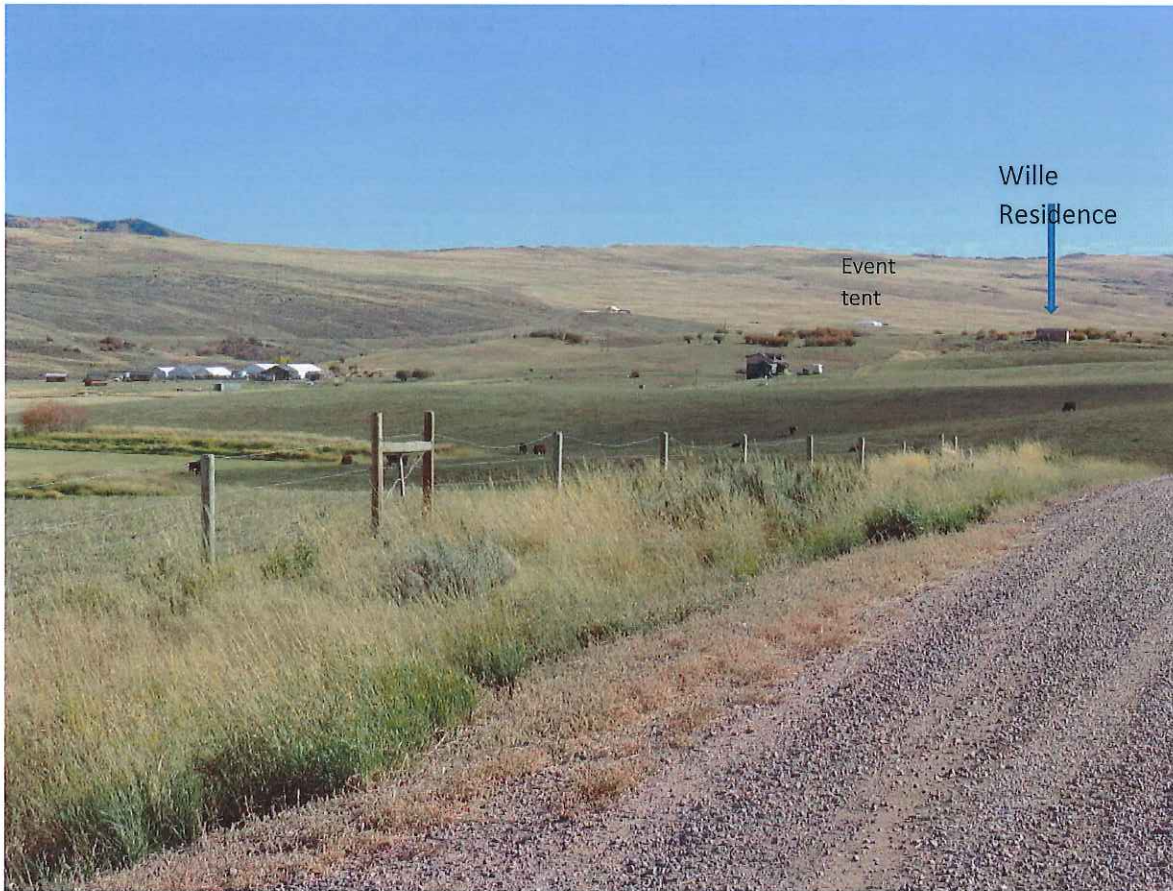
Date: 7-2-19

Signature: [Handwritten Signature]

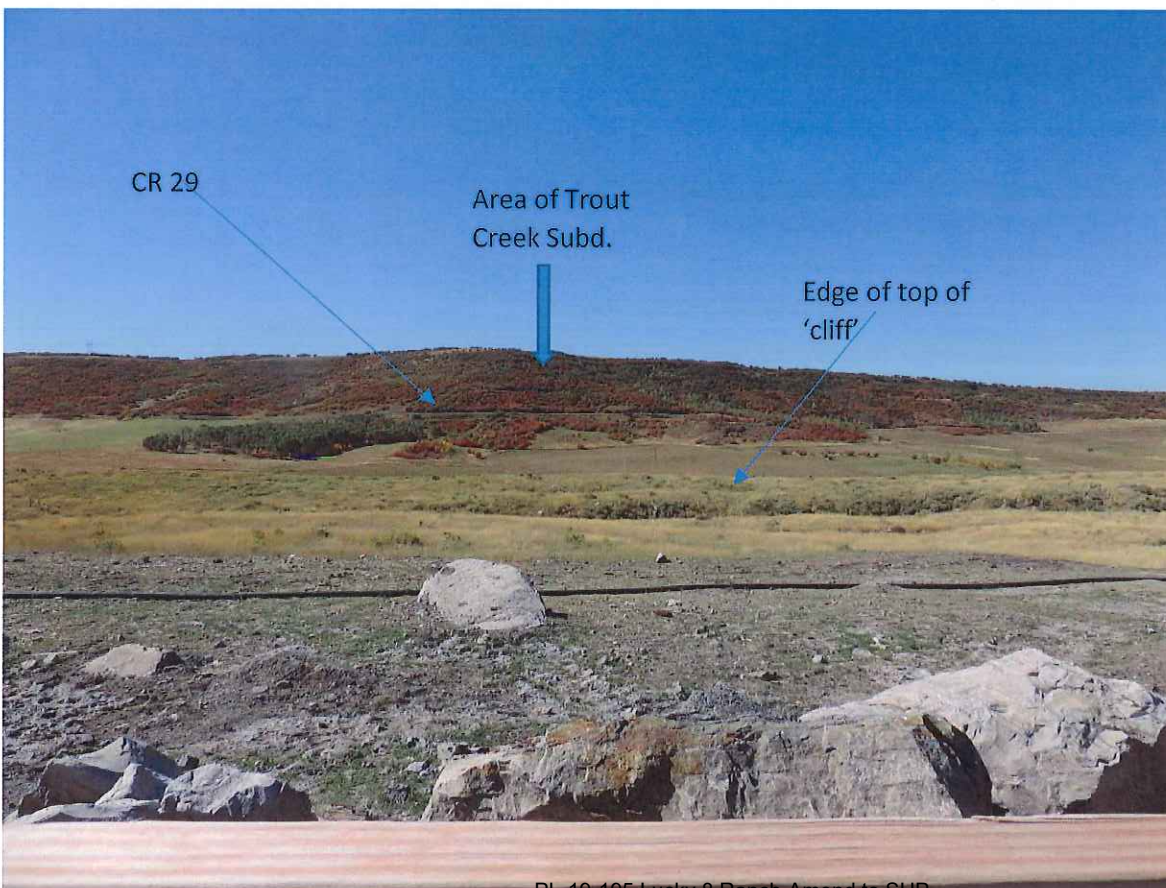
Print Name: NICHOLAS OSADCHUK

Company Name: LUCKY 8 RANCH



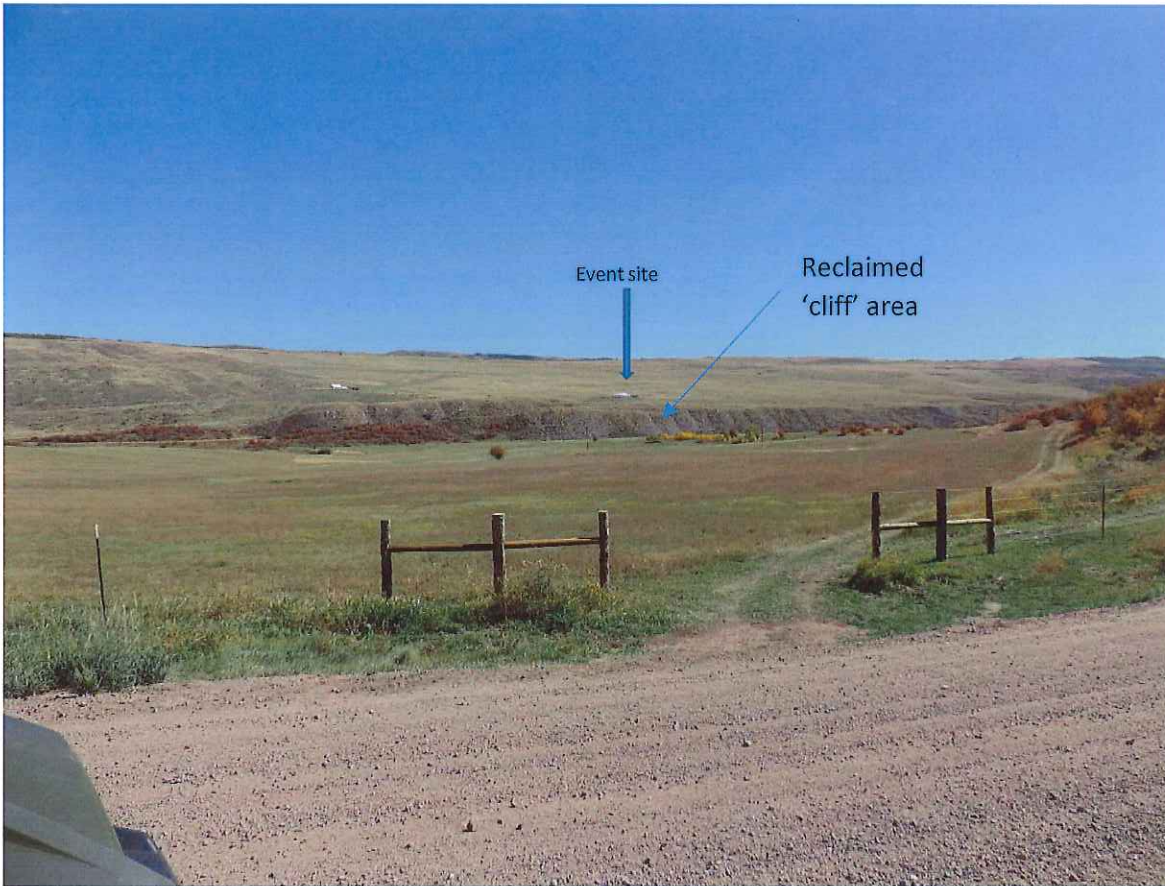


View from CR 29 facing south. White tents on left are hay storage. Main headquarters are on the left and not pictured



West edge of event site. Looking west. CR 29 bisecting center of pic. Trout Creek Subd. is located in center.. BLM property on the backside of hill





View from CR 29 property looking southeast. Cliff area is on east site of Trout Creek which is from reclaimed mine. Event tent site under arrow



Main barn on left. Facing SW





Facing West.  
 "Bunk house"  
 in center.  
 "Kellner house  
 under arrow.



Staging area.  
 Barn on left.





Reception/event site. The tent has a cement floor; electricity supplied by generator.



Wedding ceremony site. Note sprinkler system. Looking north





Telephoto of wedding site from Lot 9 Trout Creek Subd facing east. The surrounding area is reclaimed mining and the foreground is 'cliff' area of reclamation that drops down to Trout Creek



Outside seating at reception/event tent. Note fire extinguisher. Access road in background



ROUTT COUNTY PLANNING DEPARTMENT  
PO Box 773749 \* Steamboat Springs, CO 80477 \* (970) 879-2704 \* FAX(970)  
879-3992

## REFERRAL AGENCY NOTICE OF APPLICATION

Date : 12/9/2019

This office has received a request for the following activity and seeks your input as a referral agency.

**ACTIVITY#:** TPL-19-195

**PROJECT:** Lucky 8 Guest Ranch

**PETITIONER:** DWAYNE M OSADCHUK TRUST

**PETITION:** Amendment to Special Use Permit PL-17-102 to change property boundaries and add/revise current operations

**ADDRESS:** 23700 TOBIANO TRL, OAK CREEK

### LOCATION/LEGAL:

Located 6-7 mi. N of Oak Creek, CO accessing from CR 29

Tracts in Sections 31&36 T5N R86W; Sec 7, T4N R85W; Secs 11,12 T4N R86W and adj BLM lease Sec 35-5-86; Secs 11&14-4-86 1,922 acres

The matter will be reviewed on:

**Scheduled Review:** **Date**

Routt County Planning Commission 1/16/2020 at 6:00

Routt County Board of Commissioners 2/11/2020 at 1:30

Please submit comments by

**December 30, 2019**

to **Chris Brookshire**

Referral Agency Response: ☐ No  
Comment

☐ Will Send a memo by the comment due date.

☐ Will attend hearing because there is technical complexity associated with this petition.

☒ Comment:

ALL COMMENTS FROM PREVIOUS SUP STILL APPLY

\*\*\*\*\*  
Reviewed by: [Signature] Date: 12/19/19

If no comments are received by the due date, staff must assume you have no concerns on this project.

\*\*\*\*\*

The Planning Department has placed the application on the Routt County website for your review. You can access this site at : [www.co.routt.co.us/planning/pending](http://www.co.routt.co.us/planning/pending).



Proudly Serving Rural Routt County \* City of Steamboat Springs \* Town of Hayden \* Town of Oak Creek \* Town of Yampa \* Routt County School

## Plan Review Comments for Application PL-19-195

Date: 12/17/2019

Subject Property Address: 23850 Tobiano Trail  
Project Name: Lucky 8 Ranch LLC  
Applicant: Lucky 8 Ranch LLC

Dear Applicant,

The Routt County Regional Building Department has provided the following Plan Review Comments for your application with the Routt County Planning Department.

1. This application is being reviewed under the 2015 ICC Building Codes and the 2017 NEC State Adopted Electrical Code.
2. The Building Department would request County Planning to review our items, and where Building Permit Applications are required with any of the new proposed uses we would simply request that County Planning Approval letters if they shall be provided list out all the Conditions of Approval required from all other County Departments for all of the new proposed uses.
3. 2-Pole Barn Style Pavilions: Recreational Accessory Structures are currently under review by the Building Department.

The Building Department would like to remind the applicant that most recently you submitted a permit application and plans for a Building called "Moms Retreat" with County Planning, Building, and Environmental Health Departments. Permit Number is TB-18-512. The Building Department would like to remind the applicant and all other County Departments this building is not to be used or associated with any public use or special events or ATV/Snowmobile tours held on your property at this time. If you intend to switch the intended use of the structure under the County Special Use Permit, they you will need to re-submit new plans to call this out as Commercial Use Structure associated with your SUP Permit, this will change the review of this structure from a Building Code Standpoint. We are glad to work through this change with you, and we can simply accept a addendum to recognize this change versus a new permit application.

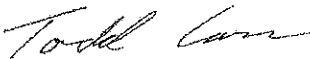
4. Proposed Covered Riding Arena: This Building Department would like to remind the applicant and their professional that this proposed building would need to be designed as an A-4 Occupancy as Public/Commercial Riding Arena. A-4 Occupancy has specific requirements

based on the proposed use and number of occupants that would be allowed inside the building. This would drive the design requirements along with type of construction of the building for Egress and Exiting of chapter 10, Fire and Smoke protection within Chapter 7, Accessibility within Chapter 11, and Plumbing Facilities per Chapter 12 and 29. You additionally will want to review this project with Oak Creek Fire District, as per Chapter 9 of the IBC this currently proposed building would need to have sprinklers installed due to being greater than 12,000 Square Feet, however this decision is at the discretion of the Fire District. If the Fire District was not to require this Building to have sprinklers installed, then you will need to work through the design in the IBC as a non-sprinkled building. You additionally mention other types of events in the future to be held in this Riding Arena, for your benefit I would plan ahead in advance for these other types of events, as an example if you were to hold wedding receptions or other types of public events that have a high volume of occupants attending, then I would design in advance for this Occupant Load number, to cover any possible event you may wish to offer in the future saving you time and money on resubmittals to increase this Occupant Load number. The Building Department can review the total number of Plumbing Fixture required by code with you and the owner, and can work through reviewing special requests to reduce the total number of fixtures potentially based on the type of events and number of events to be held per year, or the reduction could potentially be made up with delivery of portable restrooms for large events.

6. Bison Handling Facilities and Small Barn for Potential Haunted House: The Building Department would need more information on this proposed use, specifically the total number of Occupants to be inside the Haunted House tour at one time. This type of use by Building Code would be considered an A-Occupancy, most commonly viewed as a A-3. However if you were to design this to have 49 or less persons in the building at any given time you could be viewed as a B-Occupancy for this type of use which may be better or easier on design requirements.

The Building Department is willing to meet in advance of the Permit Application submittal to discuss any design questions or concerns to help the professional and owner save time on the design. We look forward to working with you on this project and appreciate your time in reading this letter.

Sincerely,



Todd Carr, Building Official

Routt County Regional Building Department



---

## REFERRAL

**TO:** Routt County Planning Department

**FROM:** Rick Melzer-Routt County Department of Environmental Health

**RE:** TPL-19-195: Special Use Permit Lucky 8 Ranch

---

Review of Special Use Permit for Lucky 8 Ranch

- If food service is provided for guests for overnight pack trips it must be from a Retail Food Establishment. In Routt County, Retail Food Establishments, including catering, temporary/special events, and mobile food service, are required to have a State of Colorado Retail Food Service license. Retail Food establishments are also required to use water from an approved source. If guests provide their own food and water, no license is required.



**ROUTT COUNTY PLANNING DEPARTMENT**  
136 6th St., Suite 200 \* Steamboat Springs, CO 80477 \* (970) 879-2704

**REFERRAL AGENCY NOTICE OF APPLICATION**

Date : 11/6/20

This office has received a request for the following activity and seeks your input as a referral agency.

**ACTIVITY#:** TPL-19-195

**PROJECT:** Lucky 8 Guest Ranch

**PETITIONER:** DWAYNE M OSADCHUK TRUST

**PETITION:** Amendment to Special Use Permit PL-17-102 to change property boundaries and add/revise current operations

**ADDRESS:** 23700 TOBIANO TRL, OAK CREEK

**LOCATION/LEGAL:** Located 6-7 mi. N of Oak Creek, CO accessing from CR 29

Tracts in Sections 31&36 T5N R86W; Sec 7, T4N R85W; Secs 11,12 T4N R86W and adjacent BLM lease Sec 35-5-86; Secs 11&14-4-86 1,922 acres

*This item was previously placed on hold due to the COVID-19 pandemic. It has be re-scheduled to the dates below. Any previous information submitted will be included in the staff report. If you want to change or replace any correspondence, please contact the staff planner below.*

The matter will be reviewed on:

<b>Scheduled Review:</b>	<b>Date</b>
Planning Commission	11/5/20 at 6:00 pm
Board of County Commissioners	11/16/20 at 11:00 a.m.

Please submit comments by 10/19/20 to **Chris Brookshire**

Referral Agency Response:

- ☐ No Comment
- ☐ Will Send a memo by the comment due date.
- ☐ Will attend hearing because there is technical complexity associated with this petition.
- ☒ Comment: No comments on the application. Please contact Routt County Env. Health for information regarding COVID19 mitigations plans and self-certifications needed for events.

Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

If no comments are received by the due date, staff must assume you have no concerns on this project. \*\*\*\*\*

The Planning Department has placed the application on the Routt County website for your review. You can access this site at : [www.co.routt.co.us/planning/pending](http://www.co.routt.co.us/planning/pending).



## Chris Brookshire

---

**From:** Bond - DNR, Kyle <kyle.bond@state.co.us>  
**Sent:** Saturday, October 17, 2020 9:11 AM  
**To:** Chris Brookshire  
**Cc:** Elissa Slezak - DNR  
**Subject:** Re: Permit/Application: TPL-19-195 at 23700 TOBIANO TRL, OAK CREEK for Special Use - General

Chris,

CPW does not have any major concerns with this proposal as many of the wildlife issues are addressed in the wildlife mitigation plan. We observed in the proposal that ATV and Horseback tours began in mid-May this past year. Since the proposal is asking to increase operational hours to 7 days per week and increasing ATV tours from 10 people max to 10 vehicles max, that the ranch consider not conducting ATV/Horseback tours until June 15th to allow for elk calving and deer fawning. If that is not a practical timeframe for the ranch, please consider restricting hours of operation from May 15-June 15 to 10am-3pm. Additionally, CPW recommends the implementation and use of Interagency Grizzly Bear Committee (IGBC) certified trash cans to avoid conflicts with bears in the area. Thank you.

On Wed, Oct 7, 2020 at 9:50 AM Chris Brookshire <[cbrookshire@co.routt.co.us](mailto:cbrookshire@co.routt.co.us)> wrote:

Please see attached letter for your review.

If you have any questions, please contact me.

Chris

*Chris Brookshire*

*Routt County Planning*

*136 6<sup>th</sup> St., Ste 200*

*Steamboat Springs, CO 80487*

*970.879.2704*

*[cbrookshire@co.routt.co.us](mailto:cbrookshire@co.routt.co.us)*

**Chris Brookshire**

---

**From:** Ronee Blake  
**Sent:** Monday, January 13, 2020 2:09 PM  
**To:** Chris Brookshire  
**Subject:** FW: Lucky 8 Ranch

This was sent to me. ☺

*Veronica 'Ronee' Blake  
Routt County Planning  
Office Manager  
970-879-2704*

**From:** Jim Spillane <spillane25@gmail.com>  
**Sent:** Monday, January 13, 2020 1:27 PM  
**To:** Ronee Blake <rblake@co.routt.co.us>  
**Subject:** Lucky 8 Ranch

Dear Planning Department,

It has come to my attention that the Lucky 8 Ranch is requesting numerous extensions of operating hours for their commercial ATV, snowmobile and horse back tours and has also requested to extend the permitted hours and more than double the number of allowed amplified music sites for wedding receptions and special events. I am a nearby neighbor and wish to make the following comments:

It is my understanding that the 2019 participant booking rate for their ATV tours was 20% and 26.2% for snowmobile trips and that there were only three weddings. I am pleased to say that, to the best of my knowledge, none of these operations caused disturbances of any consequence.

While this is good news, these small samples shed only a minimum of light upon how well issues of traffic and noise will be mitigated as the Lucky 8 Ranch business grows and nears the currently allowed capacity. We simply do not yet know the degree to which these issues can be effectively managed at higher numbers.

Therefore, I submit to the Planning Department that it is premature to allow an extension to a higher level of use. It seems to me that it would be far more prudent on the part of the Planning Department, and in the best interest of all property owners in close proximity to these operations, to wait until there is further evidence on which to make a fair and appropriate judgment. It is simply too soon to authorize extended use that might come back to haunt effected parties later. Let's see what happens at the currently permitted levels first.

## Chris Brookshire

---

**From:** Ronee Blake  
**Sent:** Wednesday, January 29, 2020 4:55 PM  
**To:** Chris Brookshire  
**Subject:** FW: Lucky 8 Ranch

*Veronica 'Ronee' Blake  
Routt County Planning  
Office Manager  
970-879-2704*

---

**From:** Matt Keyser <Matt.Keyser@sheratonsteamboatresort.com>  
**Sent:** Wednesday, January 29, 2020 3:16 PM  
**To:** Ronee Blake <rblake@co.routt.co.us>  
**Subject:** Lucky 8 Ranch

Hello Ms. Blake,

If you would be so kind to forward this over to the Routt County Planning Department that would be most appreciated.

We have been working with Nick and his wife Alicia and Lucky 8 Ranch for the last 2 years. They have provided a wonderful guest experience both during summer and winter months. Our guests comment on how the experience with the Bison is so unique, fun and interesting. They have given the experience a double thumbs up each and every time. We sincerely recommend granting them the permit renewal so they can continue to provide this wonderful and unique Routt County experience. It really showcases the beauty, heritage and history of the North American Bison and how it played such a interesting part in Routt County's history.

All the best,

Matthew Keyser

**MATTHEW KEYSER**  
Concierge Team Leader  
T +1 970 871 6460 F +1 970 879 7686  
[sheraton.com](http://sheraton.com) | like us on [Facebook](#) | follow us on [Twitter](#) | follow us on [Instagram](#)

**SHERATON STEAMBOAT RESORT & VILLAS**  
2200 Village Inn Court, Steamboat Springs, CO 80477

## Chris Brookshire

---

**From:** Kristy Winser  
**Sent:** Wednesday, February 5, 2020 9:19 AM  
**To:** Chris Brookshire  
**Subject:** FW: Lucky 8 Application for Expansion

Thanks,  
Kristy

**From:** Nancy Spillane [mailto:nancyspillane25@gmail.com]  
**Sent:** Tuesday, February 4, 2020 4:51 PM  
**To:** Kristy Winser <kwinser@co.routt.co.us>  
**Subject:** Lucky 8 Application for Expansion

February 4, 2020

**TO:** Routt County Planning  
Routt County Commissioners

**FROM:** Nancy Spillane, 23855 County Road 29, Oak Creek, CO 80467  
970.756.1488

**RE:** Lucky 8 Ranch Application for Expansion of Commercial Business

My husband, Jim, and I are property owners on County Road 29. We live about a mile and a half down the road from the Lucky 8 Ranch. We have lived in Routt County for 40 years. I did come, in good faith, to attend the meeting of the Planning Commission on January 15. However, when I arrived I learned that the Lucky 8 application had been moved to February 20. I will be out-of-state on that day, thus I am now submitting my concerns.

In general, I am in agreement with everything written in the letter you received from our neighbor, John Redd, which outlines his opposition to the expansion of the Lucky 8 commercial operations. More particularly, I support Mr. Redd's comments regarding his opposition to the expansion the business' numbers are substantially below the current permitted capacity.

As well, my opposition is the same as it was when this commercial entity asked for its original permits in 2017. Some of you might recall that many neighbors showed up for those hearings. NOT ONE neighbor was in support of this commercial enterprise being located in a neighborhood designated as an agricultural zone. NOT ONE. The only people in the room who supported the commercial operation in an agricultural zone were the applicants, their family members, and their current and prospective employees. Not one neighbor voiced support. As far as I am aware, there still are no neighbors in support of this commercialism on our rural county road.

When the commissioners originally voted for the commercial operation permit, they voted against the Routt County Master Plan. Two commissioners pointed this out at the time, and their clarifications were ignored. Like Mr. Redd, I am in agreement that the provisions for which Lucky 8 is asking are a violation

of the wording and intent of the Master Plan. In the Master Plan you will find these words: "New...commercial... uses should occur within the vicinity of designated growth centers and in compliance with adopted comprehensive plans of those areas." Additionally, the Master Plan states that "use permits that significantly alter the historical use, or character of an area may be deemed incompatible with this plan."

Is County Road 29 in a designated growth center? No, it is not. Does the Lucky 8 commercial business alter historical use of County Road 29? Yes, it does. Historically, County Road 29 has never been home to commercial operations other than agricultural ones. Lucky 8 states that its intent is to promote agri-tourism. I fail to understand how wedding and entertainment venues are related to the agricultural industry in any manner. Historically the area has been used for ranching, haying, grazing, and livestock. Does a commercial operation of this type alter the character of our area? Yes it does. The character of our area is rural and tranquil. Adding snowmobiles, ATVs, shuttle buses, wedding and entertainment venues is not compatible with the rural tranquility we all want to preserve. Is the Lucky 8 commercial expansion compatible with the Master Plan designation of agricultural use? No, it is not.

When a commercial use permit was originally gifted to Lucky 8 in 2017, Lucky 8 owners agreed to bring all shuttle bus traffic to its location via Highway 131 (from a southern direction so as to avoid a traffic increase for most of the houses on CR 29). Numerous and many shuttles have not followed that agreement. Many shuttle buses have been coming from County Road 33 (from a northern direction) and completely ignore what was agreed to with the Routt County Planning Commissioners. This presents a dangerous road situation given that many spots on our road are one lane and inappropriate for two-way traffic when shuttle buses are on the road. It is especially dangerous in the winter months. Also, many sections of the road are one lane; when people who do not know this road drive down it, it presents a less than safe scenario for those of us who live on this road. Monitoring the agreement with Lucky 8 to bring traffic from Highway 131 seems to have gone by the wayside.

I, along with our other concerned neighbors, respectfully request that you deny the changes requested by the Lucky 8 Ranch.

Thank you.  
Nancy Spillane

*We can easily forgive a child who is afraid of the dark;  
the real tragedy of life is when men are afraid of the light.*  
-Plato